

”MEADOWVIEW AT SALISBURY”
CONDOMINIUM
AT
10 FOREST ROAD &
MEADOWVIEW LANE
IN
SALISBURY, MA

JUNE 2021

OWNER OF RECORD

20 44 20 45
N/F FREEMAN J. AND MAUREEN
F. CONDON
REVOCABLE TRUST
BK. 21338 PG. 332

20 43 20 91
N/F FREEMAN J. AND MAUREEN
F. CONDON
REVOCABLE TRUST
BK. 21338 PG. 324

TOTAL AREA
1,173,380 S.F.
26.94 ACRES

ZONING TABLE

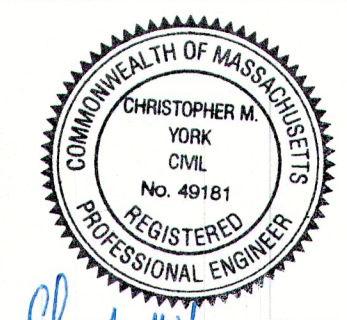
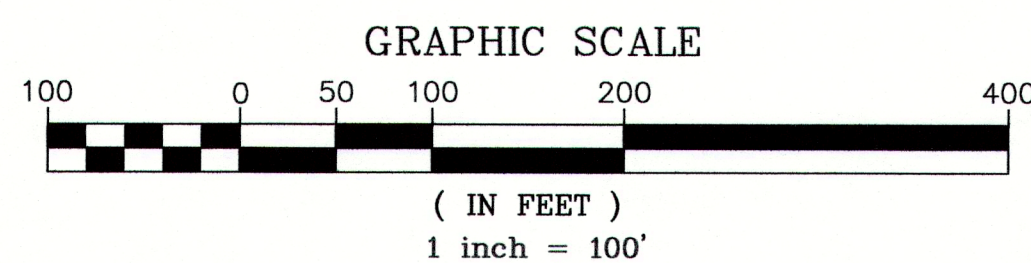
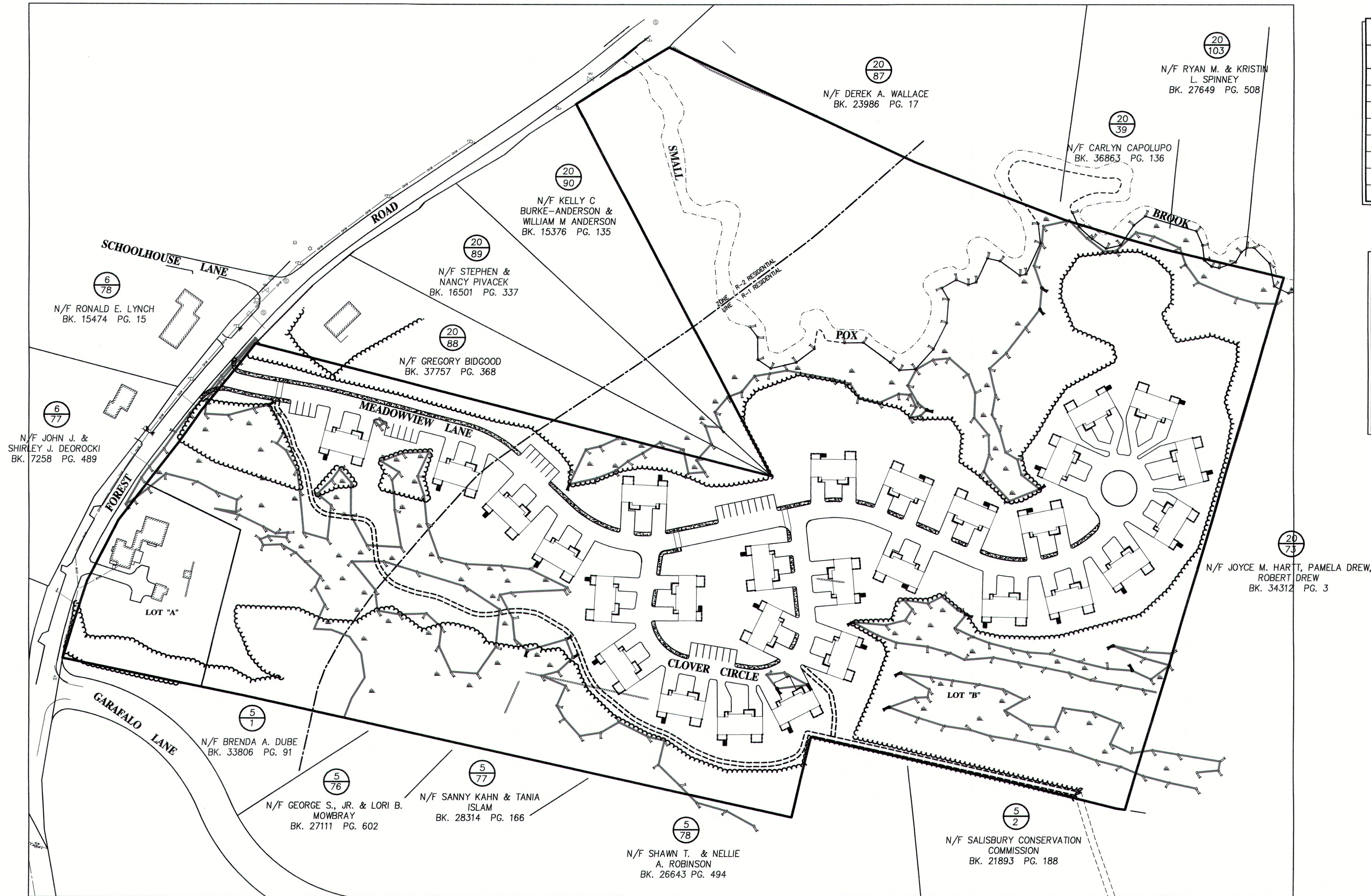
6 FOREST ROAD – ASSESSORS MAP 20 LOTS 43, 44, 45 & 91 ZONING DISTRICT R-1			
	REQUIRED	EXISTING	PROPOSED
LOT AREA:	2 ACRES	26.94 ACRES	26.94 ACRES
LOT FRONTAGE:	200 FEET	725.26 FEET	725.26 FEET
FRONT SETBACK:	40 FEET	10.9 FEET	112.6 FT
SIDE SETBACK:	20 FEET	150.8 FEET	21.5 FT
REAR SETBACK:	20 FEET	1012.4 FEET	21.7 FT
LOT COVERAGE:	20% MAX	**	6.1%
OPEN SPACE:	N/A	**	**
BLDG HEIGHT:	35 FEET	**	< 35 FEET

6 FOREST ROAD – ASSESSORS MAP 20 LOTS 43, 44, 45 & 91
ZONING DISTRICT R-2

	REQUIRED	EXISTING	PROPOSED
LOT AREA:	1 ACRES	26.94 ACRES	26.94 ACRES
LOT FRONTAGE:	150 FEET	725.26 FEET	725.26 FEET
FRONT SETBACK:	40 FEET	10.9 FEET	112.6 FT
SIDE SETBACK:	20 FEET	150.8 FEET	21.5 FT
REAR SETBACK:	20 FEET	1012.4 FEET	21.7 FT
LOT COVERAGE:	25% MAX	**	6.1%
OPEN SPACE:	N/A	**	**
BLDG HEIGHT:	35 FEET	**	< 35 FEET

PLAN INDEX

SHEET NO.	TITLE
C-1	COVER SHEET
C-2-3	EXISTING CONDITIONS PLAN
C-4	LEGEND/NOTES
C-5-7	GRADING PLANS
C-8-10	UTILITY PLAN & PROFILE
C-11	SITE DETAILS
C-12	SEWER DETAILS
C-13	DRAINAGE DETAILS
C-14	DRAINAGE/EROSION CONTROL DETAILS
C-15	WETLAND REPLICATION DETAILS
C-16	SOIL LOGS
E-1-2	LIGHTING PLAN
F-1-2	FIRE TRUCK TEMPLATE
L-1-2	LANDSCAPE PLAN
A1	ARCHITECTURAL PLAN



PREPARED FOR

6 FOREST ROAD LLC

71 COMMERCIAL STREET, #263
BOSTON, MA 02109

NO.	DATE	DESCRIPTION	BY
3	6/17/21	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
2	6/10/21	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
1	4/12/21	ADDRESS REVIEWER'S COMMENTS	C.M.Y.

MEI **MILLENNIUM ENGINEERING, INC.**
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=60'

DATE: OCT. 26, 2020

DES. BY: C.M.Y.

CHKD. BY: E.W.B.

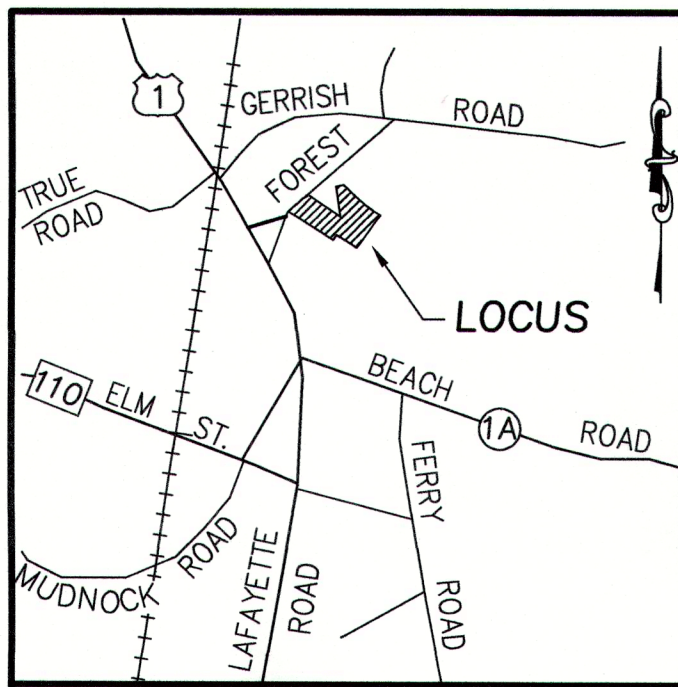
PROJECT: M193659

PLAN OF LAND
IN
SALISBURY, MA

SHOWING
56 UNIT TOWNHOUSE COMMUNITY
AT
10 FOREST ROAD & MEADOWVIEW LANE

COVER SHEET

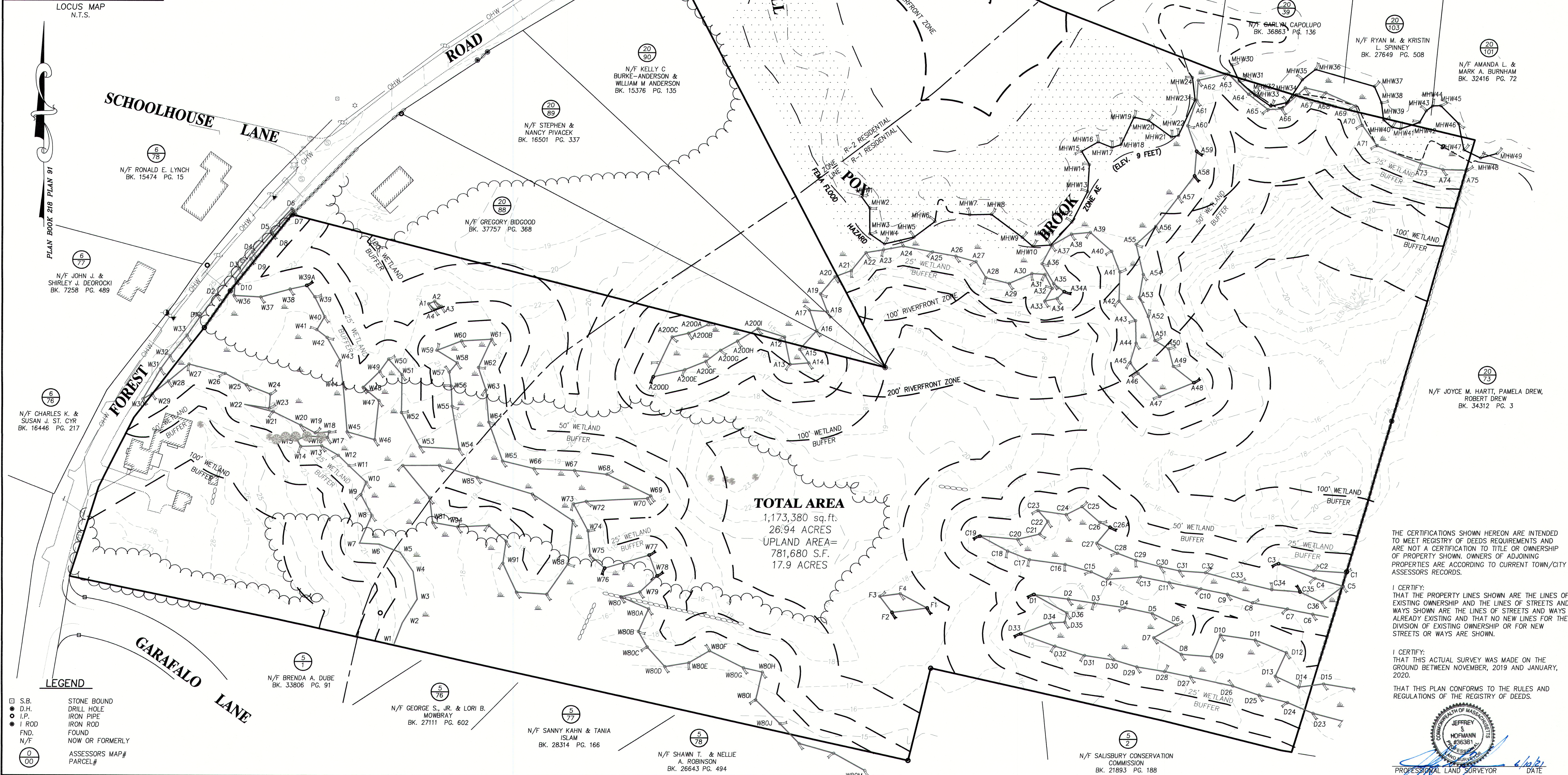
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LOT COVERAGE:	25%	**	**
OPEN SPACE:	N/A	**	**
BLDG HEIGHT:	35 FEET	**	**

WETLAND DELINEATED BY:
WEST ENVIRONMENTAL
(DELINEATED: NOVEMBER 2019)
WETLAND LINE APPROVED PER ORDER OF
RESOURCE AREA DELINEATION ON MAR. 30, 2021
DEP FILE #065-1228

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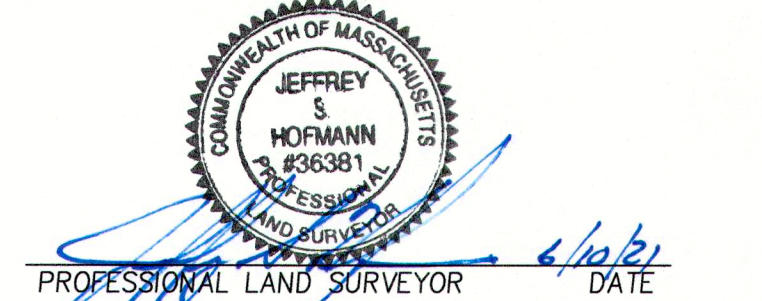


THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN/CITY ASSESSORS RECORDS.

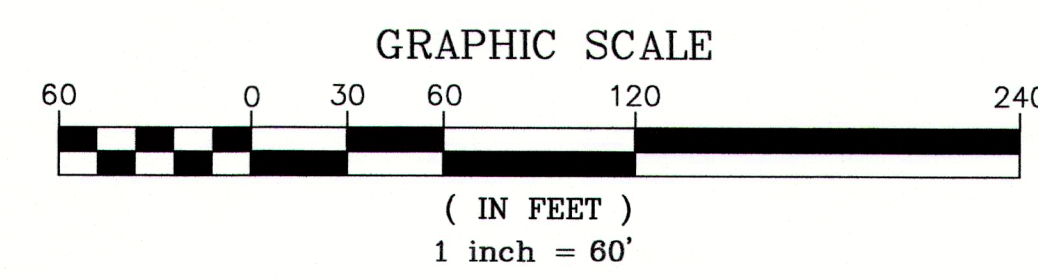
I CERTIFY: THAT THE PROPERTY LINES SHOWN ARE THE LINES OF EXISTING OWNERSHIP AND THE LINES OF STREETS AND WAYS SHOWN ARE THE LINES OF STREETS AND WAYS ALREADY EXISTING AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW STREETS OR WAYS ARE SHOWN.

I CERTIFY: THAT THIS ACTUAL SURVEY WAS MADE ON THE GROUND BETWEEN NOVEMBER, 2019 AND JANUARY, 2020.

THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.



- LEGEND**
- S.B. STONE BOUND
 - D.H. DRILL HOLE
 - I.P. IRON PIPE
 - I ROD IRON ROD
 - FND. FOUND
 - N/F NOW OR FORMERLY
 - ASSESSORS MAP#
 - PARCEL#



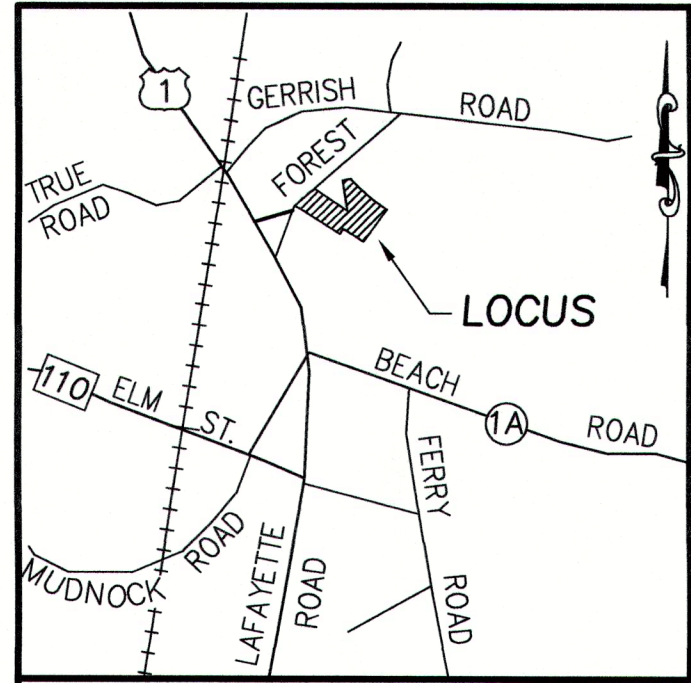
PREPARED FOR
6 FOREST ROAD LLC
71 COMMERCIAL STREET, #263
BOSTON, MA 02109

MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
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PLAN OF LAND
IN
SALISBURY, MA
SHOWING
64 UNIT TOWNHOUSE COMMUNITY
AT
10 FOREST ROAD & MEADOWVIEW LANE

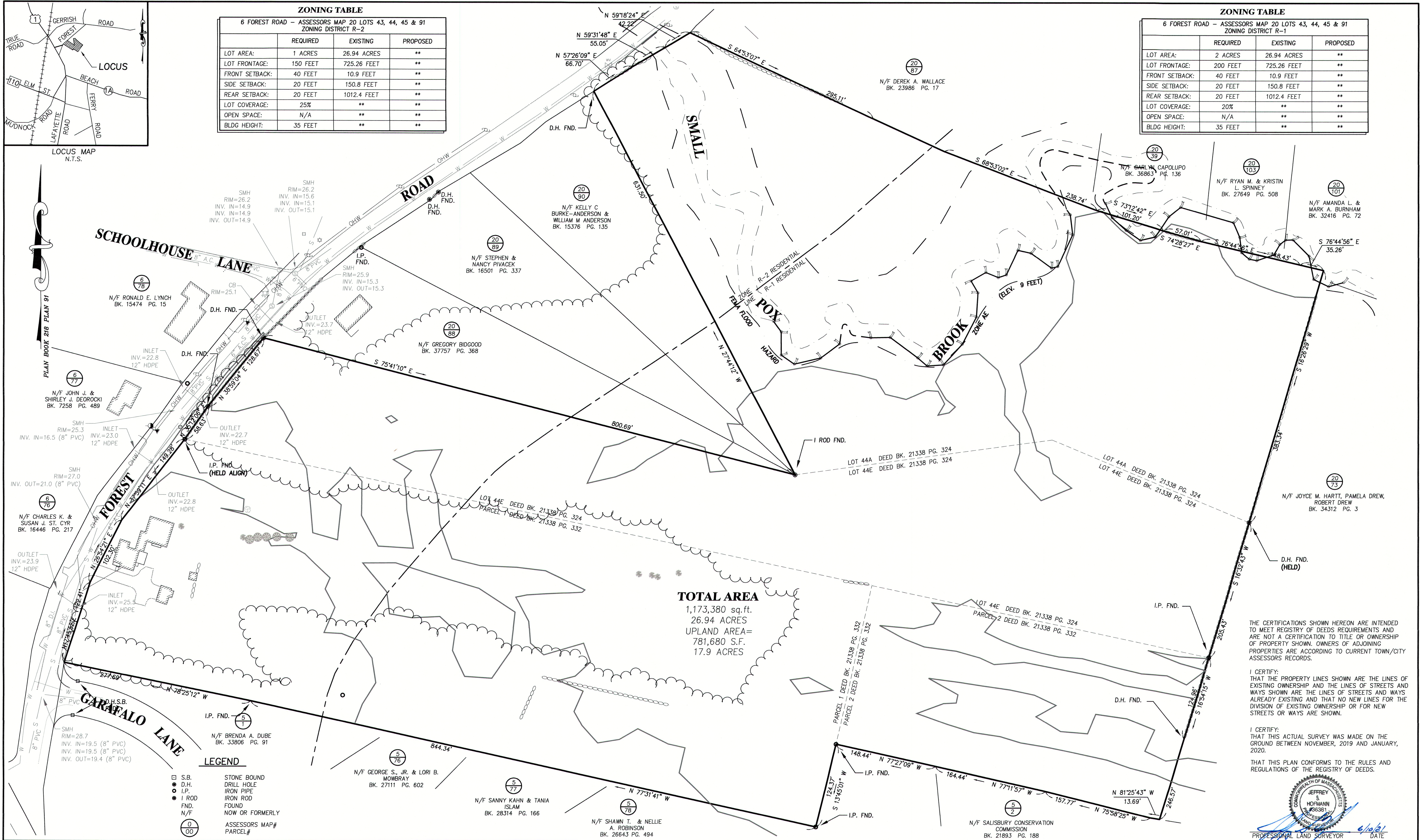
**EXISTING
CONDITIONS
TOPOGRAPHY**

SHEET: C-2



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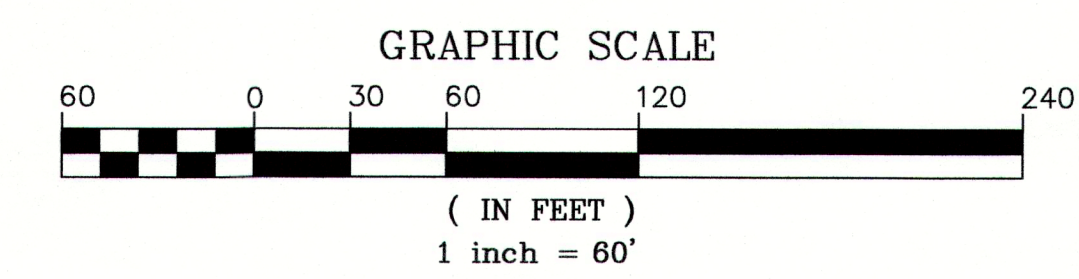
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THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

JEFFREY S. HOFMANN
PROFESSIONAL LAND SURVEYOR
6/10/21



PREPARED FOR
6 FOREST ROAD LLC
71 COMMERCIAL STREET, #263
BOSTON, MA 02109

NO.	DATE	DESCRIPTION	BY
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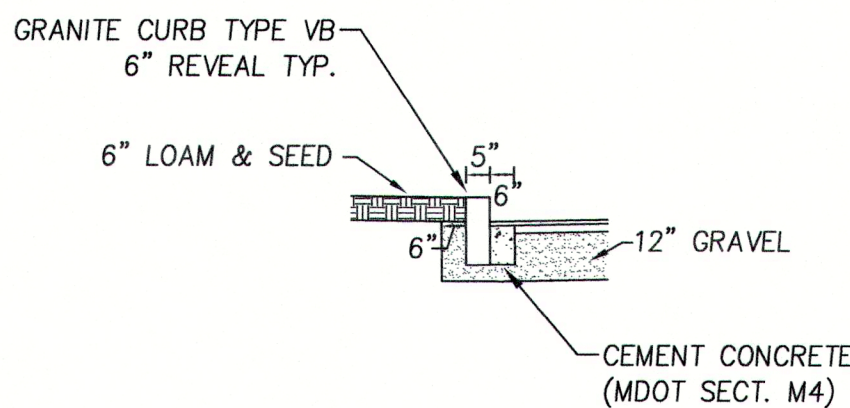
SCALE: 1"=60'	CALC. BY: P.D.B.	PROJECT: M193659
DATE: OCT. 26, 2020	CHKD. BY: J.S.H.	

PLAN OF LAND
IN
SALISBURY, MA
SHOWING
64 UNIT TOWNHOUSE COMMUNITY
AT
10 FOREST ROAD & MEADOWVIEW LANE

EXISTING CONDITIONS UTILITIES
SHEET: C-3



N.T.S.

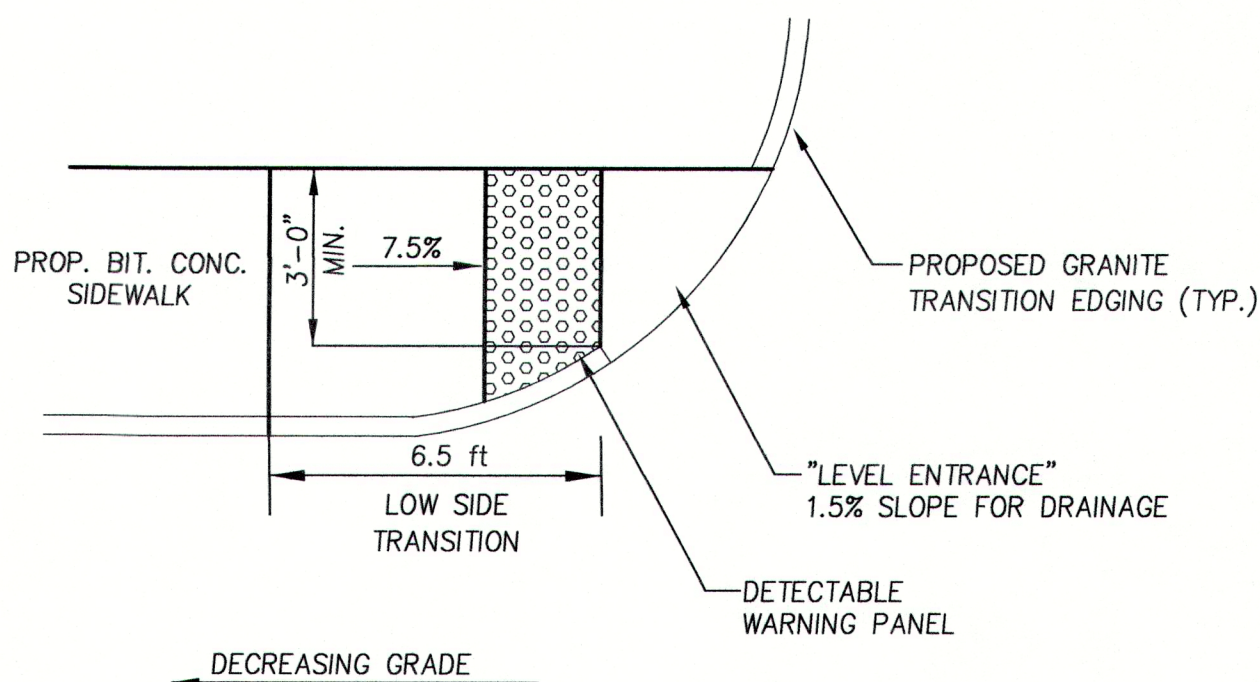


TYPICAL GRANITE CURBING DETAIL

N.T.S.



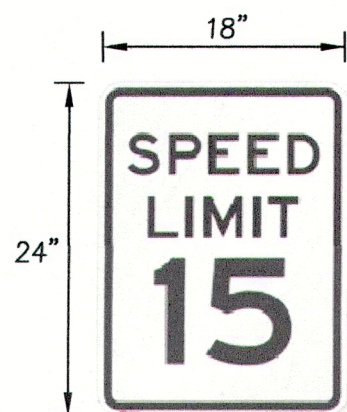
1. RAMP CROSS SECTION TO BE SAME AS SIDEWALK; I.E. DEPTH OF SURFACE AND FOUNDATION.
2. PORTLAND CEMENT CONCRETE RAMPS ARE TO BE TEXTURED BY BROOMING IN A DIRECTION PARALLEL TO THE LENGTH OF THE RAMP.
3. BASE OF RAMP SHALL MEET PAVEMENT GUTTER SUCH THAT THERE IS NO DIFFERENCE IN ELEVATION. RAMP SHALL BE CONSTRUCTED SUCH THAT WATER DOES NOT "PUDDLE" AT THE BASE OF THE RAMP.
4. THE PAVEMENT AT THE BASE OF THE RAMP SHALL BE PART OF THE CONTINUOUS TOP COURSE. THE USE OF A "PAVEMENT PATCH" TO COMPLY WITH THE CONDITIONS IN NOTE 3, ABOVE IS PROHIBITED.
5. RAMPS SHALL CONFORM TO MASS DOT WHEELCHAIR RAMP STANDARDS - LATEST REVISION.



ROADWAY PROFILE GRADE		HIGH SIDE TRANSITION LENGTH
%	G	ENGLISH UNITS
0	0.00	6'-6"
1	0.01	7'-8"
2	0.02	9'-0"
3	0.03	11'-0"
4	0.04	14'-0"
>4	>0.04	15'-0" MAX

A.D.A. ACCESS
RAMP DETAIL

N.T.S.



SPEED LIMIT SIGN DETAIL

N.T.S.

GENERAL NOTES

1. THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS. ANY PROPOSED REVISIONS TO THE WORK SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND REGULATING CITY AND/OR STATE AGENCIES.
2. THE CONTRACTOR SHALL INSTALL ALL SYSTEM COMPONENTS IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND ALL APPLICABLE ELECTRICAL, PLUMBING, AND SANITARY CODES.
3. ALL WORK SHALL CONFORM TO; THE SALISBURY PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, THE WETLANDS PROTECTION ACT (310 CMR 10.00), THE ORDER OF CONDITIONS ISSUED BY THE SALISBURY CONSERVATION COMMISSION, AND THESE PLANS.
4. THE LOCATION OF ALL UTILITIES, AS SHOWN ON THESE PLANS, ARE BASED UPON PLANS AND RECORD INFORMATION PROVIDED BY MUNICIPAL AND PRIVATE UTILITY COMPANIES AND ARE CONSIDERED APPROXIMATE BOTH AS TO SIZE AND LOCATION. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UTILITIES ARE SHOWN. THE CONTRACTOR SHALL NOT RELY ON THESE PLANS FOR SUCH INFORMATION AND WILL MAKE EXAMINATIONS IN THE FIELD BY VARIOUS AVAILABLE RECORDS, UTILITY COMPANIES AND INDIVIDUALS, AS TO THE LOCATION OF ALL SUBSURFACE STRUCTURES.
5. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES BY CONTACTING "DIG-SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION. DIG-SAFE TELEPHONE NUMBER: 1-888-344-7233.
6. THE CONTRACTOR SHALL FIELD CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE NEW WORK. HE/SHE SHALL EXCAVATE TO VERIFY PERTINENT DRAINAGE INVERTS AND POTENTIAL UTILITY CONFLICTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
7. ALL EXISTING STRUCTURES AND SURFACES, UNLESS OTHERWISE SHOWN, SHALL BE COMPLETELY REMOVED FROM THE AREAS OF WORK. ALL TREES OUTSIDE THE PROPOSED DEPICTED TREELINE/LIMIT OF WORK WILL REMAIN.
8. THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF THE PUBLIC, EMPLOYEES, AND ALL OTHER PERSONS ASSOCIATED WITH THE PROJECT. HE/SHE SHALL COORDINATE AND BE RESPONSIBLE FOR ALL SAFETY SIGNING, BARRIERS AND TEMPORARY PAVEMENT MARKINGS NECESSARY TO PROVIDE A SMOOTH AND PROPER TRANSITION FOR TRAFFIC FLOW.
9. IF REQUIRED BY THE CONTRACTOR, OVERHEAD LINES SHALL BE RELOCATED BY THE UTILITY COMPANY AT THE CONTRACTORS EXPENSE.
10. ALL SEWER MAINS AND SERVICES SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY OR 18 INCHES VERTICALLY FROM PROPOSED WATER MAINS AND SERVICES AND SHALL MAINTAIN 5 FEET OF COVER OVER THE TOP OF THE PIPING, UNLESS OTHERWISE SHOWN OR APPROVED. PIPES SHALL BE ENCASED IN CONCRETE WHERE THIS SEPARATION CANNOT BE OBTAINED.
11. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 5 FEET OF COVER OVER THE TOP OF THE PIPE, UNLESS OTHERWISE SHOWN OR APPROVED.
12. WHENEVER SEWER MAINS MUST CROSS WATER MAINS, THE SEWER SHALL BE CONSTRUCTED AS FOLLOWS: A) JOINTS SHALL BE MECHANICAL TYPE WATER PRESSURE RATED WITH ZERO LEAKAGE WHEN TESTED AT 25 PSI FOR GRAVITY SEWERS AND 1.5 TIMES WORKING PRESSURE FOR FORCE MAINS AND JOINTS NOT TO BE LOCATED WITHIN 9 FEET OF THE CROSSING; B) SEWER SERVICES SHOULD BE INSTALLED A MINIMUM OF 18 INCHES BELOW WATER MAINS. IF SEPARATION IS LESS THAN 18 INCHES, SEWER SERVICE SHALL BE CONCRETE ENCASED OR CONSTRUCTED WITH PRESSURE CLASS PVC FOR A DISTANCE OF 10 FEET EACH SIDE OF THE WATER MAIN. 10-FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE SHALL BE MAINTAINED.
13. INDIVIDUAL BUILDING (CONDO) OWNERS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THEIR SEWER SERVICE FROM THE BUILDING TO THE PUMP AND THE CONDO ASSOCIATION SHALL BE RESPONSIBLE FOR THE REMAINDER OF THE SERVICE INCLUDING THE PUMPS AND THE FORCEMAIN.
14. ALL SIGNS AND PAVEMENT MARKINGS TO BE INSTALLED WITHIN THE PROJECT SITE SHALL CONFORM TO THE APPLICABLE SPECIFICATIONS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
15. 14 DAYS PRIOR TO COMMENCING CONSTRUCTION, THE OWNER/DEVELOPER SHALL PRESENT A CONSTRUCTION SCHEDULE TO THE PLANNING DEPARTMENT.
17. THE OWNER/DEVELOPER SHALL SUBMIT TWO HARD COPIES OF AS-BUILT DRAWINGS TO THE PLANNING BOARD WITHIN 90 DAYS OF ISSUANCE OF OCCUPANCY PERMIT. AS-BUILTS SHALL INCLUDE ALL LANDBASE AND UTILITIES INFORMATION.
18. ONSITE BURIAL OF STUMPS OR ANY OTHER DEBRIS IS PROHIBITED.
19. THE REAR OF THE PROPERTY BY SMALLPOX BROOK LIES WITHIN THE 100-YEAR FLOOD PLAIN ACCORDING TO F.I.R.M. COMMUNITY PANEL NUMBER 25009C 0126F.
20. ALL ELEVATIONS ARE BASED ON N.A.V.D. 1988.

SIDEWALK NOTES

SIDEWALKS SHALL BE FIVE FEET IN WIDTH FOR THEIR ENTIRE LENGTH, WITH A 1% CROSS SLOPE (1.5% MAX).

SIDEWALKS SHALL BE CONSTRUCTED WITH A 1.5" TYPE I-1 BITUMINOUS CONCRETE FINISH COURSE, A 1.5" TYPE I-1 BITUMINOUS CONCRETE BINDER COURSE OVER AN 8" GRAVEL BASE (MDOT M1.03.0 TYPE B).

WHERE SIDEWALKS TRAVERSE A DRIVEWAY, THE GRAVEL BASE SHALL BE 12" THICK.

MATERIAL NOTES

ALL MATERIALS OF THE ELEMENTS IN THE SITE PLAN MUST CONFORM TO THE FOLLOWING STANDARDS:

1. COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION
STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES (LATEST EDITION)
2. 521 CMR RULES AND REGULATIONS OF THE ARCHITECTURAL ACCESS BOARD
(AAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA)
3. SPECIFICATIONS BY THE TOWN OF SALISBURY AS SET FORTH BY SECTION 7
IN THE PLANNING BOARD RULES AND REGULATIONS GOVERNING THE
SUBDIVISION OF LAND, DATED NOVEMBER 1, 2013
4. UTILITIES INSTALLED PER PENNICHUCK WATER SERVICE CORPORATION
SPECIFICATIONS

ROADWAY NOTES

- 1.) ALL STUMPS, ROCKS AND LEDGE WITHIN THE LIMITS OF THE PROPOSED PAVED WAY SHALL BE REMOVED. ALL LEDGE SHALL BE REMOVED TO A MINIMUM DEPTH OF 2' BELOW FINISHED PAVEMENT GRADE.
- 2.) ROADWAY SHALL NOT BE CONSTRUCTED DURING FREEZING WEATHER OR ON WET OR FROZEN SUBGRADE.
- 3.) GRADING AND ROLLING SHALL BE REQUIRED TO PROVIDE A SMOOTH, EVEN, AND UNIFORM COMPACTED BASE WHICH IS COMPACTED TO A MINIMUM DRY DENSITY OF 95 PERCENT.
- 4.) TO MAINTAIN SLOPE FROM THE CROWN OF FINISHED BASE COURSE SHALL BE 1/4"PER FOOT UNLESS OTHERWISE SHOWN.
- 5.) ALL UNSUITABLE MATERIAL SHALL BE EXCAVATED AND REPLACED WITH SATISFACTORY MATERIAL AND BROUGHT UP TO GRADE WITH GRAVEL BORROW CONTAINING NO STONES GREATER THAN 6" DIAMETER.
- 6.) AT ALL TIMES DURING CONSTRUCTION, THE SUB-GRADE AND ALL DITCHES SHALL BE CONSTRUCTED AND MAINTAINED SO THAT THE ROADWAY WILL EFFECTIVELY BE DRAINED.
- 7.) THE CONTRACTOR SHALL REFER TO THE SALISBURY PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, SECTIONS I - VII.

LEGEND


































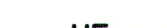









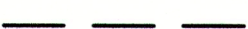





EXISTING	PROPOSED	
	 CB	CATCH BASIN (OR GUTTER INLET, OR LEACHING BASIN)
	 CB (OR GIC)	CATCH BASIN (OR GUTTER INLET) WITH CURB INLET
		CURB (OR BERM) - TYPE NOTED
		EDGE OF ROAD
 -109-		CONTOUR
		SEWER MANHOLE
		DRAINAGE MANHOLE
		GAS GATE
		WATER GATE
		SEPTIC TANK
		HYDRANT
 ○ FA	 ● FA	FIRE ALARM BOX
		POST MOUNTED PEDESTRIAN LIGHT
		UTILITY POLE
 -D-	 -D-	DRAIN PIPE
 -S-	 -S-	SEWER MAIN
 -S-		SEWER FORCE MAIN
 -UE-	 -UE-	UNDERGROUND ELECTRIC
 -W-	 -W-	WATER MAIN
 □ MB	 ■ MB	MAIL BOX
 -x-x-	 -x-x-	HIGHWAY GUARD (TYPE NOTED)
		FENCE (SIZE AND TYPE NOTED)
		EASEMENT LINE
		PROPERTY LINE
		100 FT BUFFER ZONE

Diagram illustrating the relationship between a survey line and a construction baseline:












- Survey Line:** Represented by a thin line with a circle at station 8+00'00"E.
- Construction Baseline:** Represented by a thicker line below the survey line, also with a circle at station 8+00'00"E.
- Vertical Offset:** The vertical distance between the survey line and the construction baseline is +12.34.
- Labels:**
 - BASE OR SURVEY LINE
 - CONSTRUCTION BASELINE



HAND COM

SILT SOCK

SURVEY

- 120  WETLAND DELINEATION FLAG
- | | |
|--|----------------|
|  C.B. | CONCRETE BOUND |
|  S.B. | STONE BOUND |
|  D.H. | DRILL HOLE |
|  PK | MASONRY NAIL |
|  I.P. | IRON PIPE |
|  I ROD | IRON ROD |
|  FND. | FOUND |
|  N/FND. | NOT FOUND |
-  0
-  00
- ASSESSORS MAP AND PARC

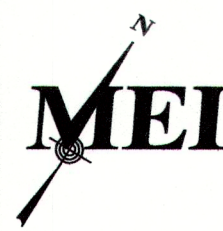


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62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: AS NOTED	DESG. BY: C.M.Y.	PROJECT: M193659
DATE: OCT. 26, 2020	CHKD. BY: E.W.B.	

PLAN OF LAND

IN

SALISBURY, MA

SHOWING

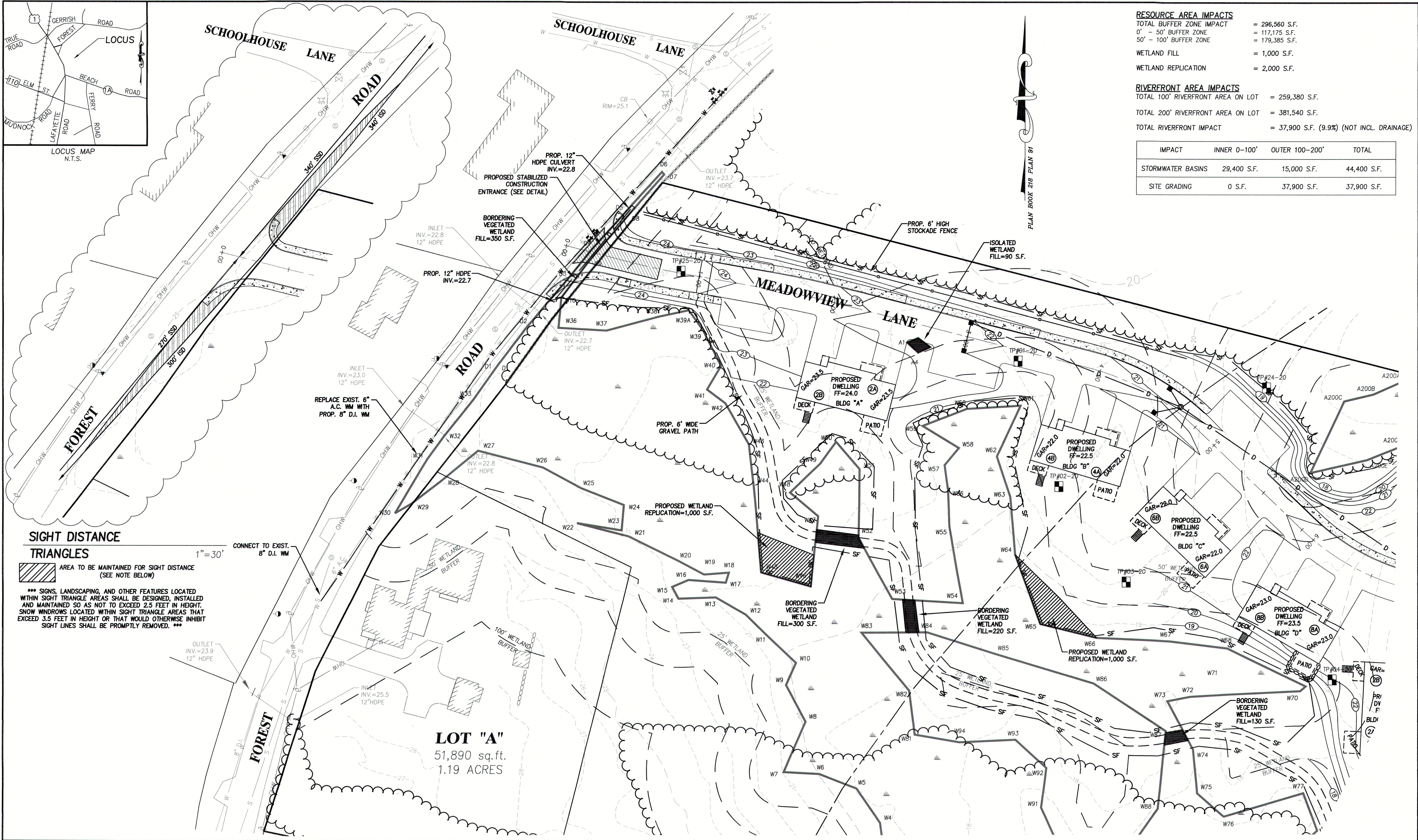
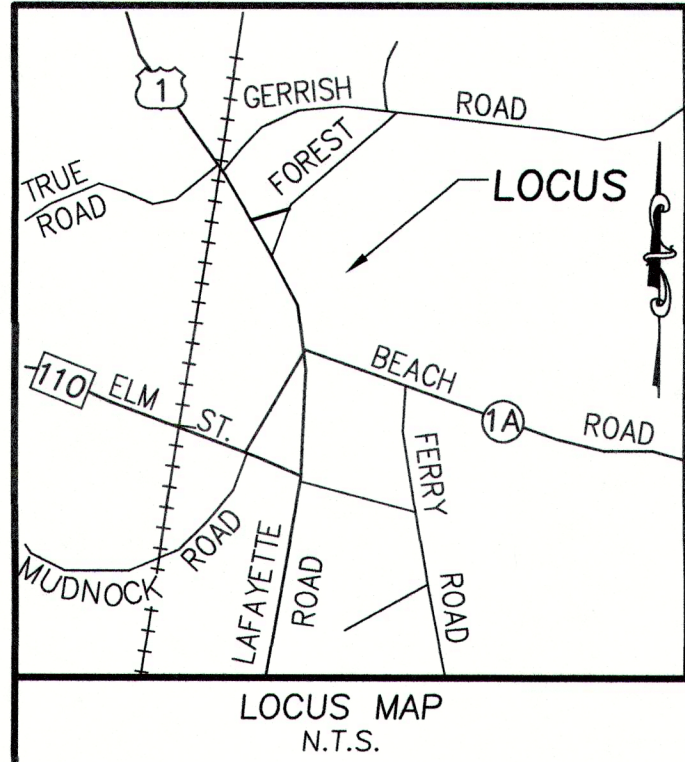
56 UNIT TOWNHOUSE COMMUNITY

145

10 FOREST ROAD & MEADOWVIEW LANE

**TYPICAL
SECTIONS/
LEGEND/
GENERAL
NOTES**

SHEET: C-4



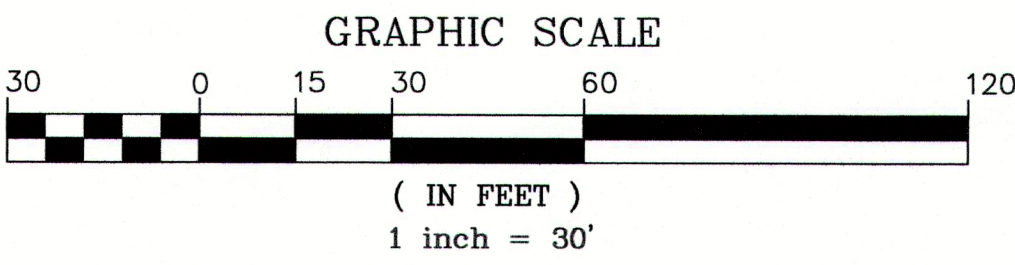
RESOURCE AREA IMPACTS	
TOTAL BUFFER ZONE IMPACT	= 296,560 S.F.
0' - 50' BUFFER ZONE	= 117,175 S.F.
50' - 100' BUFFER ZONE	= 179,385 S.F.
WETLAND FILL	= 1,000 S.F.
WETLAND REPLICATION	= 2,000 S.F.
RIVERFRONT AREA IMPACTS	
TOTAL 100' RIVERFRONT AREA ON LOT	= 259,380 S.F.
TOTAL 200' RIVERFRONT AREA ON LOT	= 381,540 S.F.
TOTAL RIVERFRONT IMPACT	= 37,900 S.F. (9.9%) (NOT INCL. DRAINAGE)

IMPACT	INNER 0-100'	OUTER 100-200'	TOTAL
STORMWATER BASINS	29,400 S.F.	15,000 S.F.	44,400 S.F.
SITE GRADING	0 S.F.	37,900 S.F.	37,900 S.F.

SIGHT DISTANCE TRIANGLES

AREA TO BE MAINTAINED FOR SIGHT DISTANCE (SEE NOTE BELOW)

*** SIGNS, LANDSCAPING, AND OTHER FEATURES LOCATED WITHIN SIGHT TRIANGLE AREAS SHALL BE DESIGNED, INSTALLED AND MAINTAINED SO AS NOT TO EXCEED 2.5 FEET IN HEIGHT. SNOW WINDROWS LOCATED WITHIN SIGHT TRIANGLE AREAS THAT EXCEED 3.5 FEET IN HEIGHT OR THAT WOULD OTHERWISE INHIBIT SIGHT LINES SHALL BE PROMPTLY REMOVED. ***



PREPARED FOR
6 FOREST ROAD LLC
71 COMMERCIAL STREET, #263
BOSTON, MA 02109

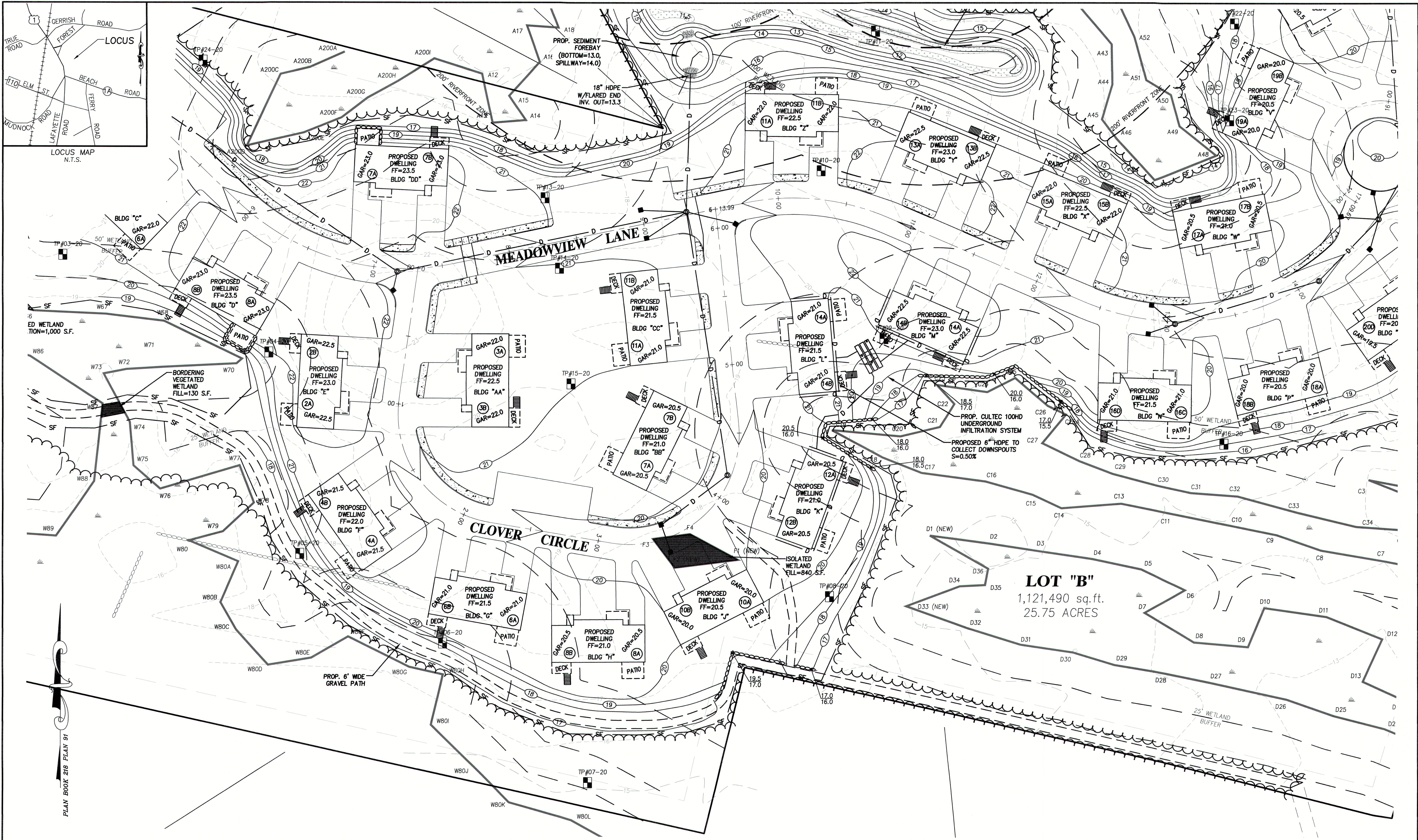
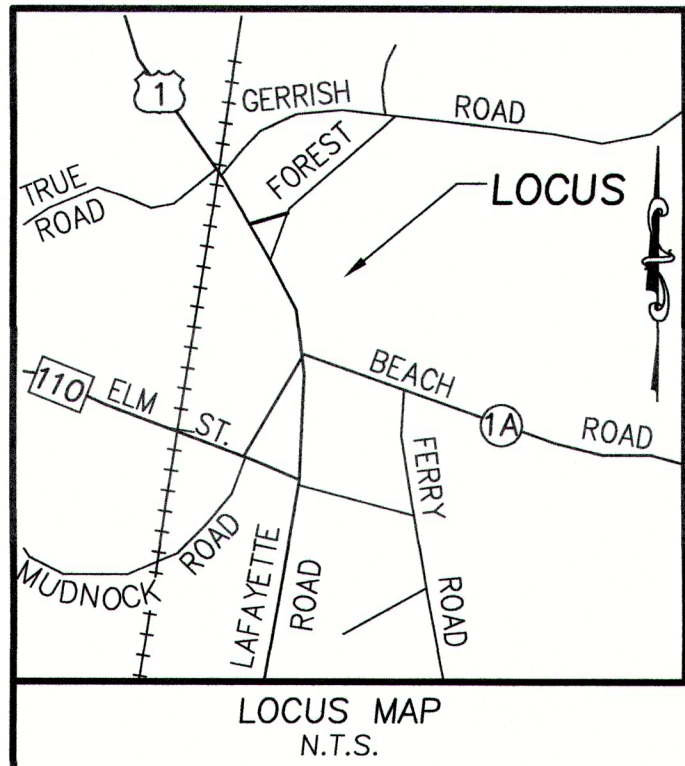
NO.	DATE	DESCRIPTION	BY
3	6/17/21	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
2	6/10/21	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
1	4/12/21	ADDRESS REVIEWER'S COMMENTS	C.M.Y.

MEI **MILLENNIUM ENGINEERING, INC.**
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=30'
DATE: OCT. 26, 2020
DESIGNER: C.M.Y.
CHECKER: E.W.B.
PROJECT: M193659

PLAN OF LAND
IN
SALISBURY, MA
SHOWING
56 UNIT TOWNHOUSE COMMUNITY
AT
10 FOREST ROAD & MEADOWVIEW LANE

GRADING PLAN
SHEET: C-5



GRAPHIC SCALE

30 0 15 30 60 120

(IN FEET)

1 inch = 30'

COMMONWEALTH OF MASSACHUSETTS

CHRISTOPHER M. YORK

CIVIL

No. 49181

REGISTERED

PROFESSIONAL ENGINEER

Christ M. York 6-17-21

PREPARED FOR

6 FOREST ROAD LLC

71 COMMERCIAL STREET, #263
BOSTON, MA 02109

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DATE: OCT. 26, 2020	CHKD. BY: E.W.B.	

MILLENNIUM ENGINEERING, INC.

ENGINEERING AND LAND SURVEYING

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13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

PLAN OF LAND

IN

SALISBURY, MA

SHOWING

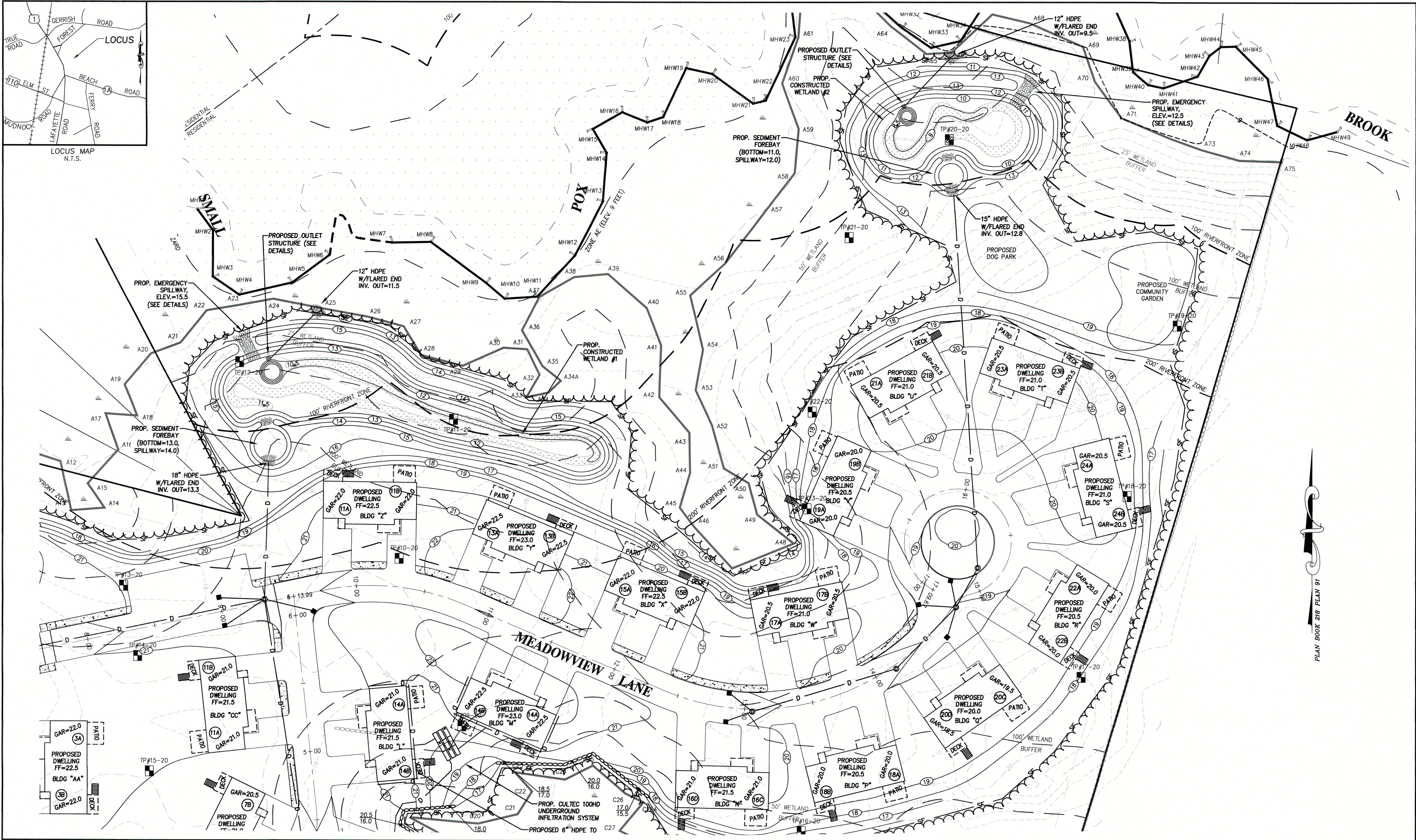
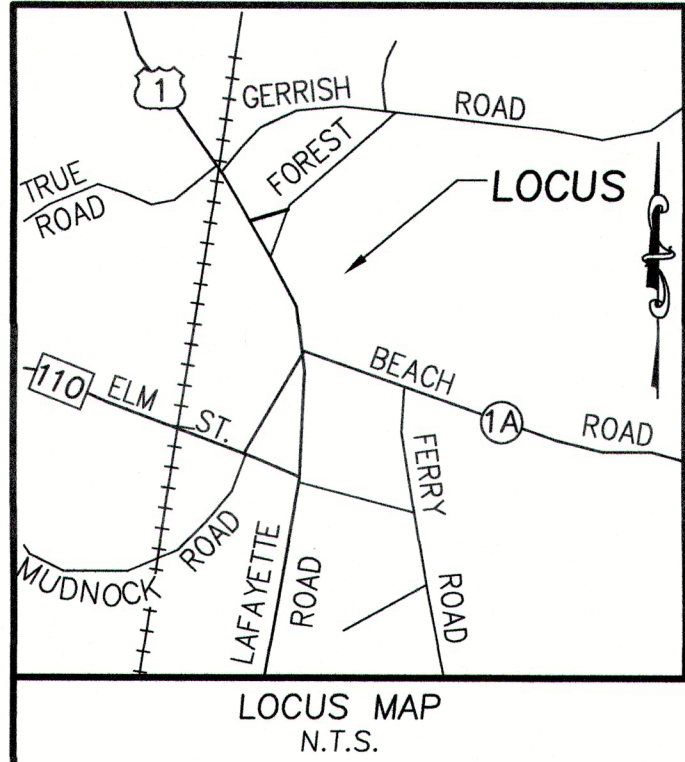
56 UNIT TOWNHOUSE COMMUNITY

AT

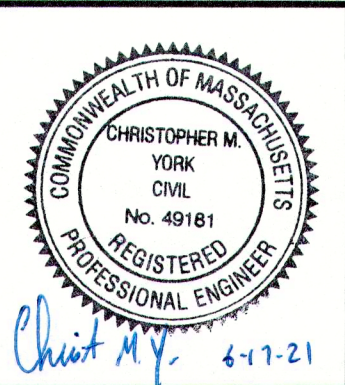
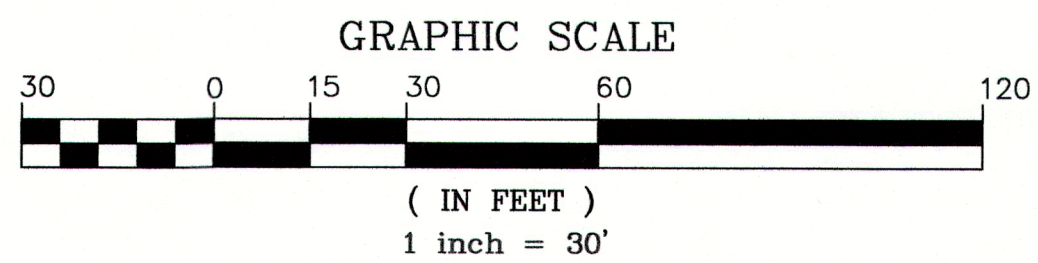
10 FOREST ROAD & MEADOWVIEW LANE

GRADING PLAN

SHEET: C-6



PLAN BOOK 288 PLAN 16



PREPARED FOR
6 FOREST ROAD LLC
71 COMMERCIAL STREET, #263
BOSTON, MA 02109

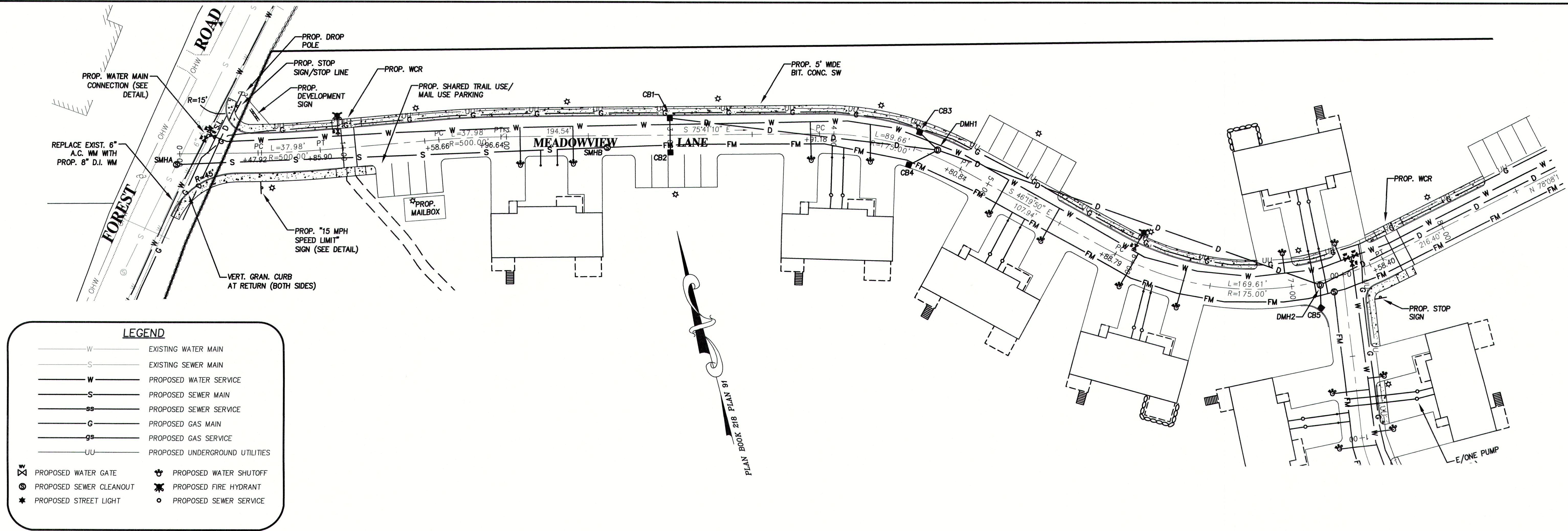
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SCALE: 1"=30'	DESIG. BY: C.M.Y.	PROJECT: M193659
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PLAN OF LAND
IN
SALISBURY, MA
SHOWING
56 UNIT TOWNHOUSE COMMUNITY
AT
10 FOREST ROAD & MEADOWVIEW LANE

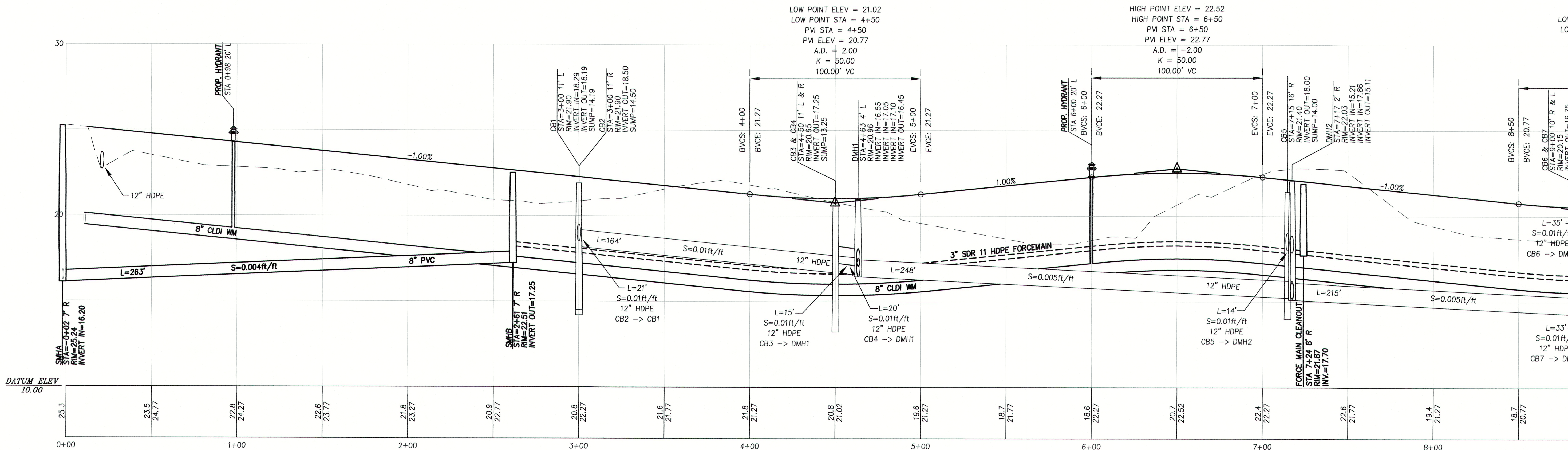
GRADING PLAN
SHEET: C-7



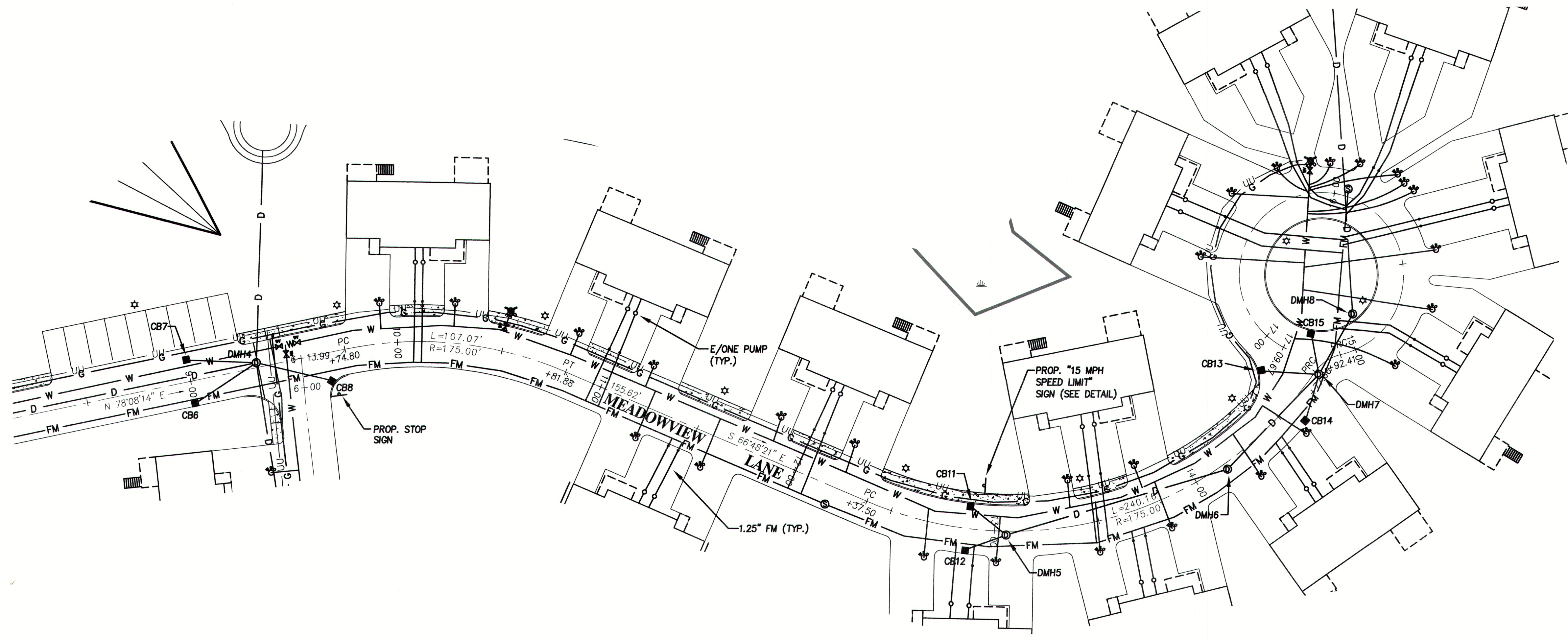
LEGEND

—W—	EXISTING WATER MAIN
—S—	EXISTING SEWER MAIN
—W—	PROPOSED WATER SERVICE
—S—	PROPOSED SEWER MAIN
—SS—	PROPOSED SEWER SERVICE
—G—	PROPOSED GAS MAIN
—gs—	PROPOSED GAS SERVICE
—UU—	PROPOSED UNDERGROUND UTILITIES

⊗	PROPOSED WATER GATE	⊕	PROPOSED WATER SHUTOFF
⊙	PROPOSED SEWER CLEANOUT	⊗	PROPOSED FIRE HYDRANT
★	PROPOSED STREET LIGHT	○	PROPOSED SEWER SERVICE

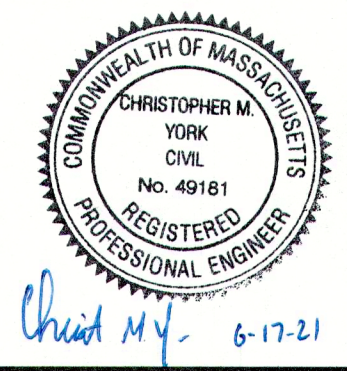
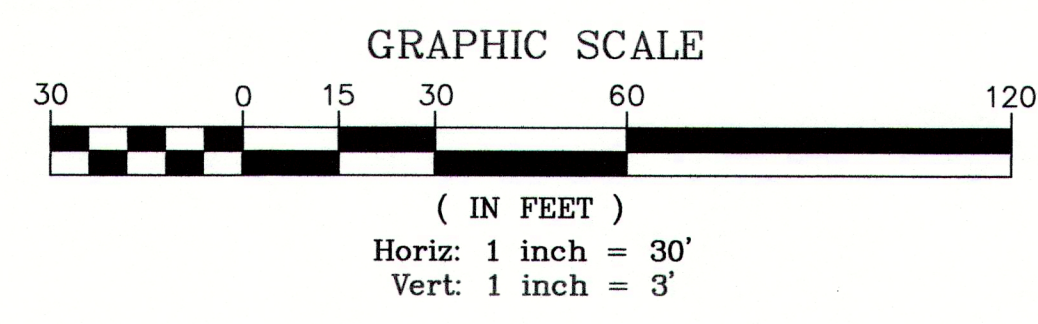
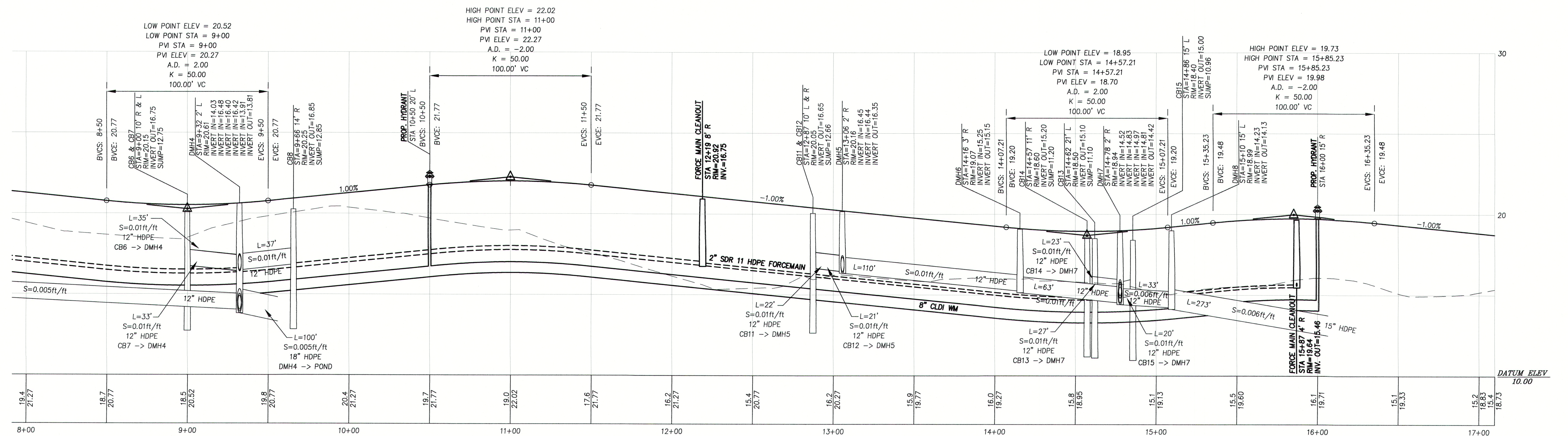


		PREPARED FOR		PLAN OF LAND		
		6 FOREST ROAD LLC 71 COMMERCIAL STREET, #263 BOSTON, MA 02109		IN SALISBURY, MA		
			SHOWING			
			56 UNIT TOWNHOUSE COMMUNITY			
			AT			
			10 FOREST ROAD & MEADOWVIEW LANE			
			SHEET: C-8			



LEGEND

- W — EXISTING WATER MAIN
- S — EXISTING SEWER MAIN
- W — PROPOSED WATER SERVICE
- S — PROPOSED SEWER MAIN
- SS — PROPOSED SEWER SERVICE
- G — PROPOSED GAS MAIN
- GS — PROPOSED GAS SERVICE
- UU — PROPOSED UNDERGROUND UTILITIES
- ☒ — PROPOSED WATER GATE
- ☉ — PROPOSED SEWER CLEANOUT
- ★ — PROPOSED STREET LIGHT
- ☒ — PROPOSED WATER SHUTOFF
- ☒ — PROPOSED FIRE HYDRANT
- — PROPOSED SEWER SERVICE



PREPARED FOR

6 FOREST ROAD LLC

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BOSTON, MA 02109

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SCALE: 1"=30'

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DES. BY: C.M.Y.

CHKD. BY: E.W.B.

PROJECT: M193659

PLAN OF LAND

IN
SALISBURY, MA

SHOWING

56 UNIT TOWNHOUSE COMMUNITY

AT
10 FOREST ROAD & MEADOWVIEW LANE

**UTILITY PLAN
& PROFILE**

SHEET C-9

LEGEND

W

EXISTING WATER MAIN

S

EXISTING SEWER MAIN

W

PROPOSED WATER SERVICE

S

PROPOSED SEWER MAIN

SS

PROPOSED SEWER SERVICE

G

PROPOSED GAS MAIN

GS

PROPOSED GAS SERVICE

UU

PROPOSED UNDERGROUND UTILITIES

W

PROPOSED WATER GATE

S

PROPOSED SEWER CLEANOUT

*

PROPOSED STREET LIGHT

W

PROPOSED WATER SHUTOFF

*

PROPOSED FIRE HYDRANT

o

PROPOSED SEWER SERVICE

PLAN BOOK 218 PLAN 91

HIGH POINT ELEV = 21.90
HIGH POINT STA = 0+50
PVI STA = 0+50
PVI ELEV = 22.09
A.D. = -2.00
K = 37.50
75.00' VC

FORCE MAIN CLEANOUT
STA 0+10.7' R
RM=21.87
INV=17.70

BVCS: 0+12.50
BVCE: 21.72

EVCS: 0+87.50
EVCE: 21.72

LOW POINT ELEV = 19.34
LOW POINT STA = 3+50.01
PVI STA = 3+50.01
PVI ELEV = 19.09
A.D. = 2.00
K = 50.00
100.00' VC

CB9
STA=3+50.11' L
RM=19.00
INVERT IN=15.38
INVERT OUT=15.28
SUMP=11.28

CB10
STA=3+50.11' R
RM=19.00
INVERT OUT=15.60
SUMP=11.60

HIGH POINT ELEV = 20.90
HIGH POINT STA = 5+50
PVI STA = 5+50
PVI ELEV = 21.09
A.D. = -2.00
K = 37.50
75.00' VC

FORCE MAIN CLEANOUT
STA 5+52.9' R
RM=20.83
INV=16.65

BVCS: 5+12.50
BVCE: 20.71

EVCS: 5+87.50
EVCE: 20.71

2" SDR 11 HDPE FORCEMAIN

8" CLDI WM

12" HDPE

15" HDPE

DATUM ELEV
10.00

22.8
21.95
23.2
21.90
21.1
21.59
19.4
21.09
19.3
20.59
19.4
20.09
18.5
19.59
17.7
19.34
18.0
19.59
18.8
20.09
19.2
20.59
19.7
20.90
20.1
20.59
19.9
20.81

0+00

1+00

2+00

3+00

4+00

5+00

6+00

DATUM ELEV
10.00

GRAPHIC SCALE

30

0

15

30

60

120

(IN FEET)

Horiz: 1 inch = 30'

Vert: 1 inch = 3'

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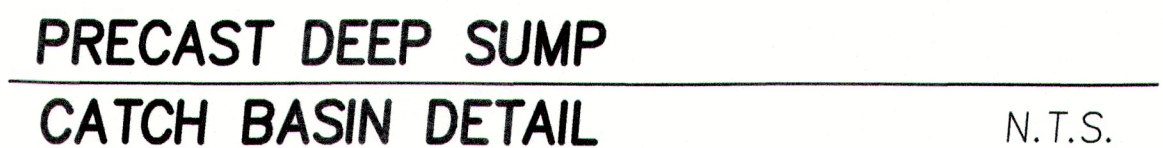
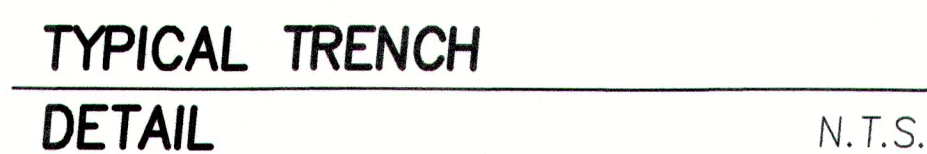
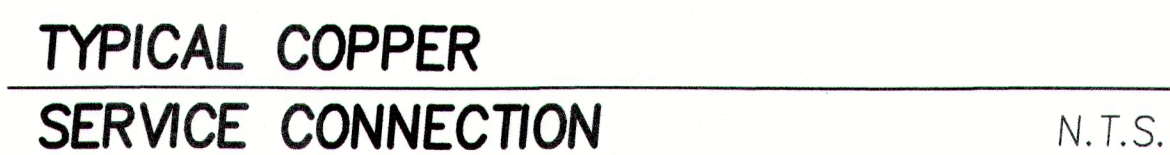
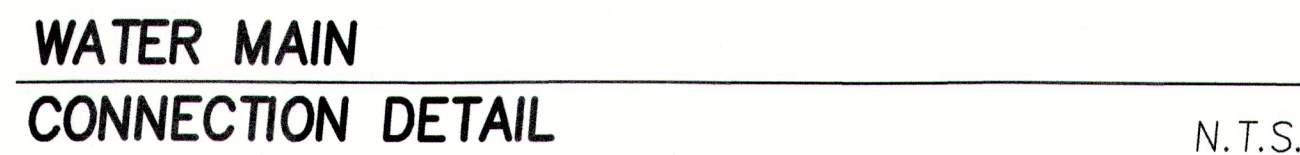
CHKD. BY: E.W.B.

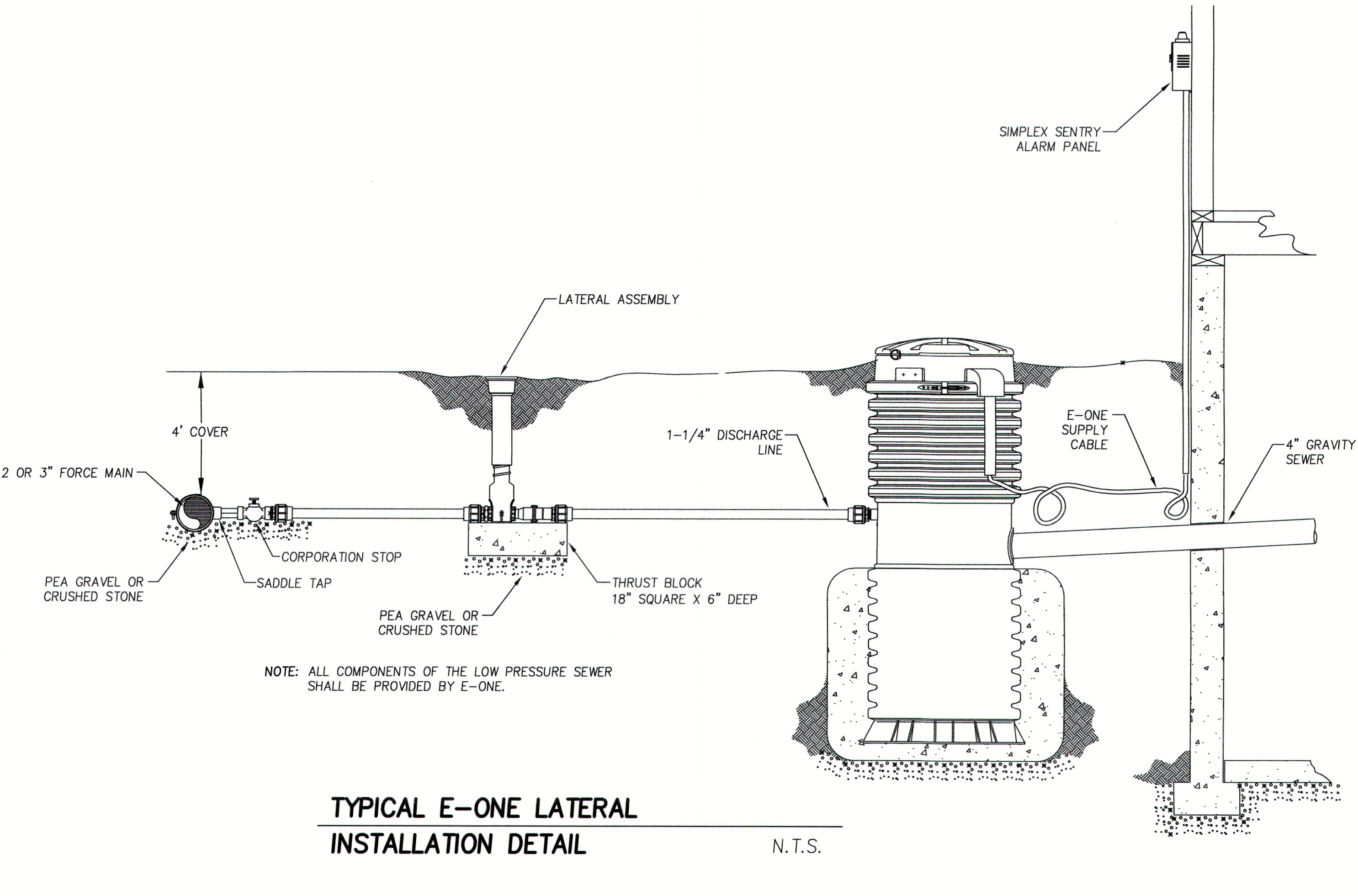
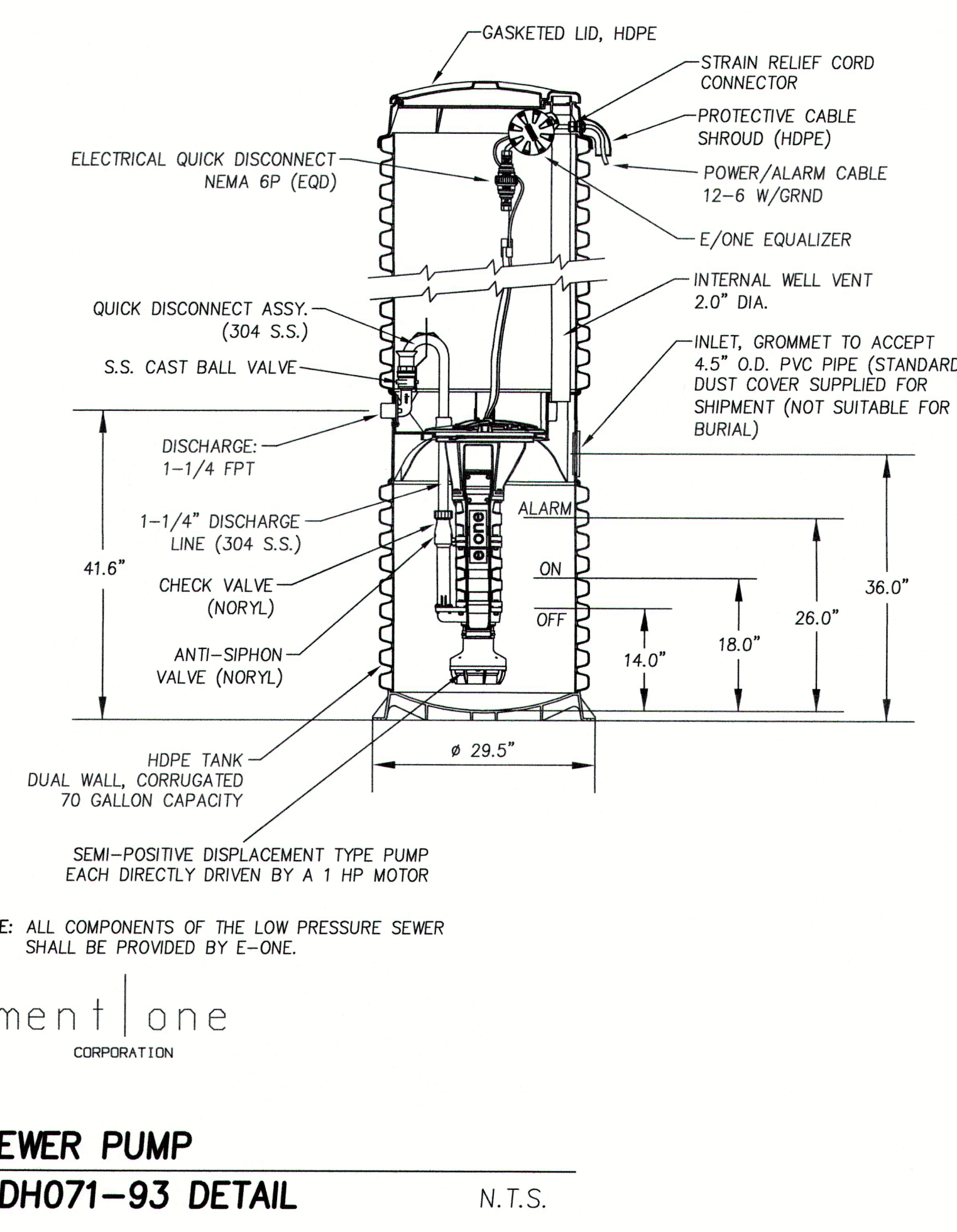
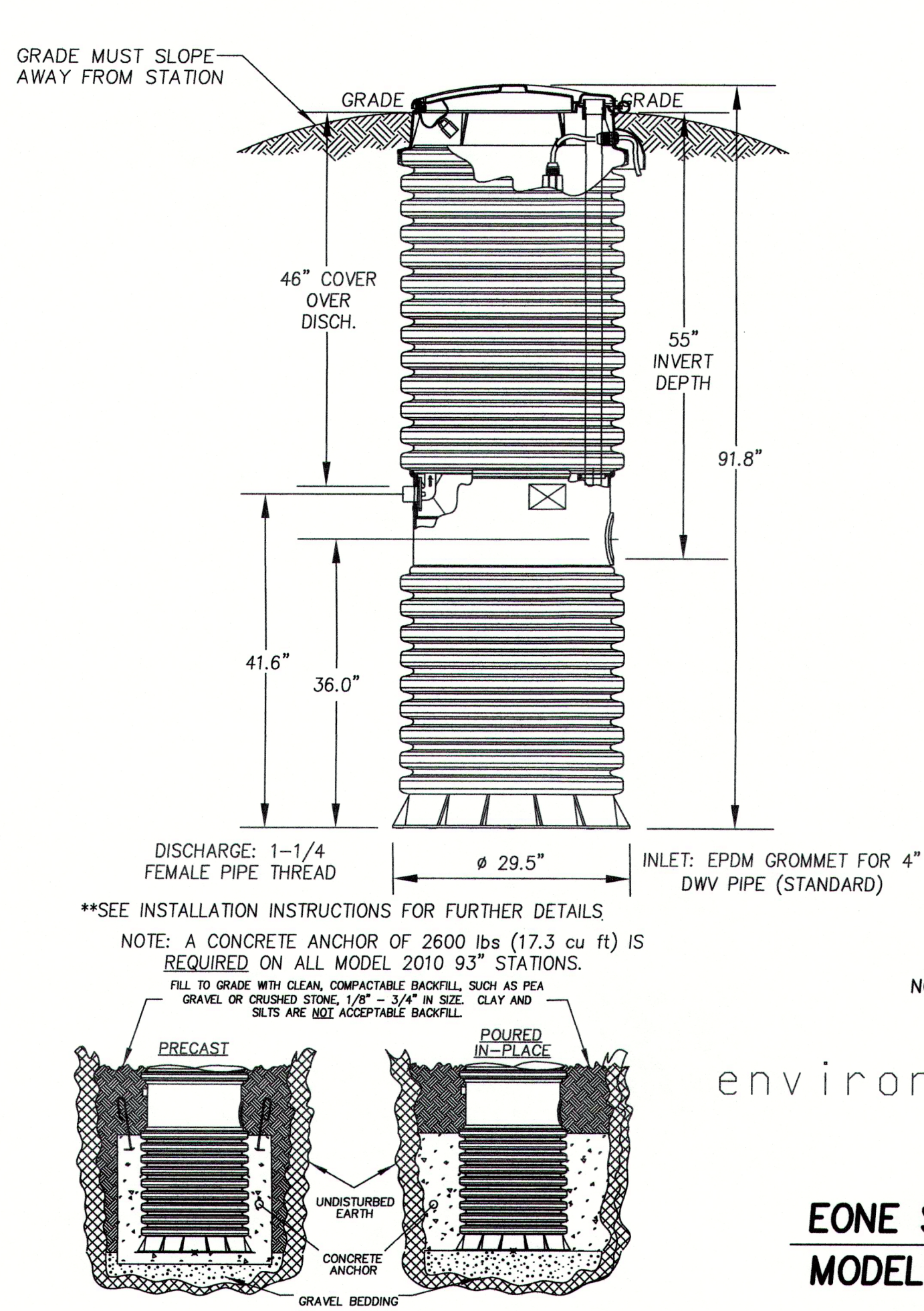
PROJECT: M193659

PLAN OF LAND
IN
SALISBURY, MA
SHOWING
56 UNIT TOWNHOUSE COMMUNITY
AT
10 FOREST ROAD & MEADOWVIEW LANE

UTILITY PLAN
& PROFILE
SHEET: C-10

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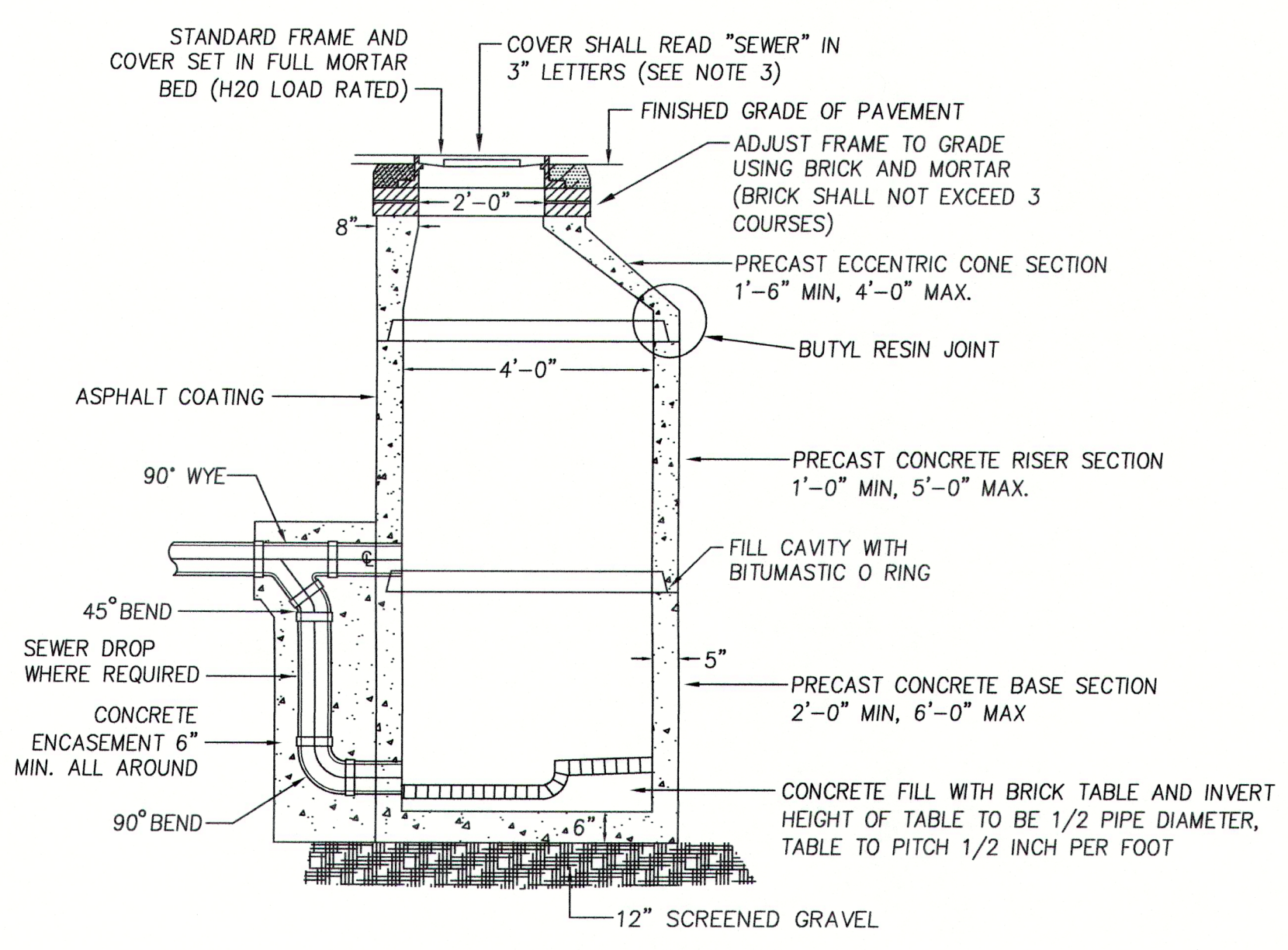
environmentone
CORPORATION

EONE SEWER PUMP
MODEL DH071-93 DETAIL

N.T.S.

TYPICAL E-ONE LATERAL
INSTALLATION DETAIL

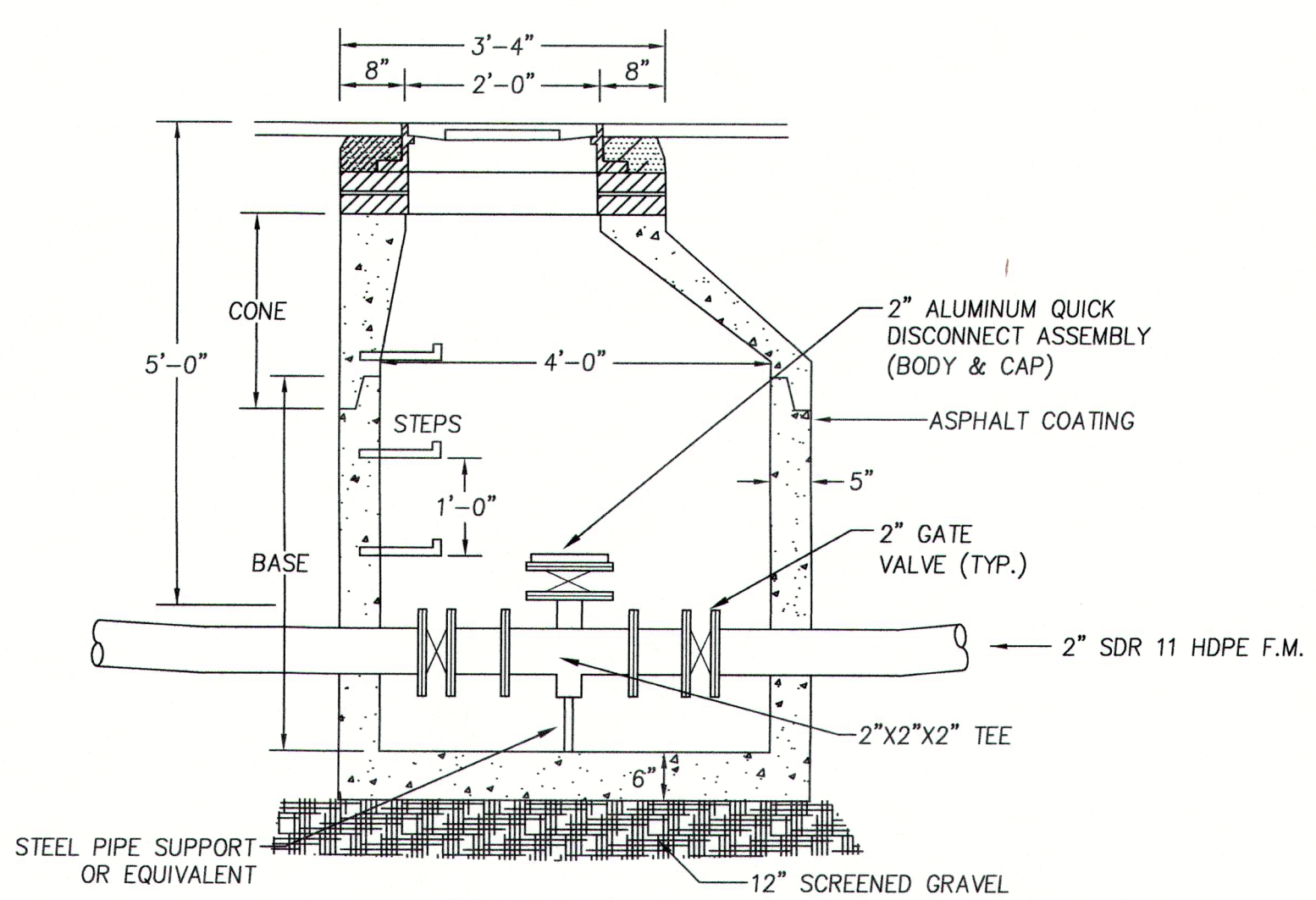
N.T.S.



- NOTES: 1) SEWER MANHOLES SHALL CONFORM TO ASTM C478 AND ASTM C185
2) STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC STEPS SHALL CONFORM TO LATEST ASTM C478 SPEC.
3) COVER SHALL BE LEBARON FOUNDRY (MODEL NO. LA246), MECHANICS IRON FOUNDRY, NEEHAN FOUNDRY, OR EQUAL.

PRECAST SEWER
MANHOLE DETAIL

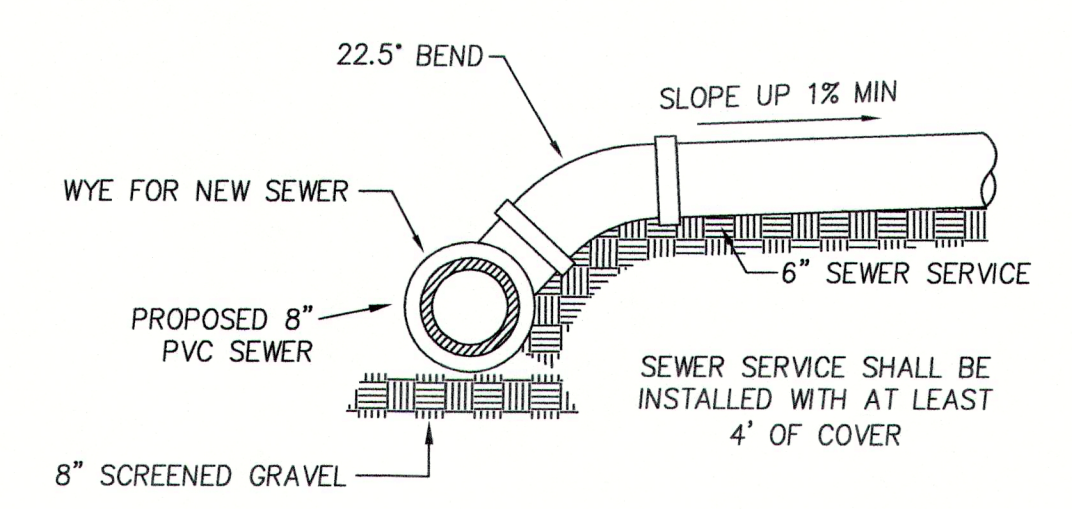
N.T.S.



- NOTES:
1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
 2. REINFORCED STEEL CONFORMS TO LATEST ASTM A185 SPEC. 0.12 SQ. IN./LINEAL FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM.
 3. H-20 DESIGN LOADING PER AASHTO HS-20-44; ASTM C478 SPEC FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."
 4. BUTYL RESIN SECTION JOINT CONFORMS TO LATEST ASTM C443 SPEC.
 5. STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC STEPS SHALL CONFORM TO LATEST ASTM C478 SPEC.
 6. A SIGN SHALL BE ADDED IN THE MANHOLE STATING "DO NOT CONNECT TO MUNICIPAL WATER SYSTEM TO FLUSH FORCE MAIN".

FORCE MAIN
CLEANOUT DETAIL

N.T.S.



SEWER SERVICE
DETAIL

N.T.S.

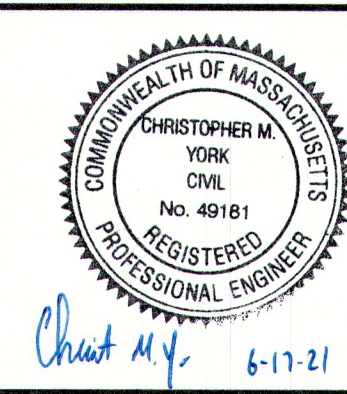
SEWER TESTING SPECIFICATIONS

THE SEWER DEPARTMENT SHALL BE NOTIFIED 48 HOURS BEFORE ALL TESTING TAKES PLACE IN ORDER THAT A REPRESENTATIVE OF THE DEPARTMENT OF PUBLIC SERVICES CAN BE PRESENT.

1. TESTING PROCEDURES FOR SEWER MAINS AND INDIVIDUAL SEWER SERVICES SHALL BE AS SPECIFIED IN ASTM C828-01, C924-02, AND F1417-92 (OR LATEST REVISIONS)-STANDARD TEST METHOD FOR LOW PRESSURE AIR TEST (VCP, CP, PVCP) SEWER LINES, FURTHER AS MODIFIED BY THE ALLOWABLE PRESSURE LOSS SHALL NOT EXCEED 0.5 PSI WITHIN THE TIME REQUIREMENTS. MAINS SHALL BE MANDREL TESTED PRIOR TO ACCEPTANCE BY THE SEWER DEPARTMENT.
2. TESTING PROCEDURES FOR SEWER FORCE MAINS SHALL BE AS SPECIFIED IN ASTM C828-01, C924-02, AND F1417-92 (OR LATEST REVISIONS), FURTHER AS MODIFIED BY THE "STARTING TEST PRESSURE" SHALL BE A MINIMUM OF 10.0 PSI, 50% OF THE MAXIMUM RATED PRESSURE, THE ALLOWABLE PRESSURE LOSS SHALL NOT EXCEED 0.5 PSI WITHIN THE TEST TIME REQUIRED AND THE TEST TIME SHALL BE AN INITIAL 15 MINUTES FOR ALL PIPE DIAMETERS. TEST TIME SHALL BE $T = (0.005)D^3(L-500)+15$ WHERE D=DIAMETER OF PIPE IN INCHES AND L=LENGTH OF PIPE TO BE TESTED IN FEET.
3. TESTING PROCEDURES FOR SEWER MANHOLES AND PUMP STATION SHALL BE AS SPECIFIED IN ASTM C1244-02 (OR LATEST REVISION)-STANDARD TEST METHOD FOR CONCRETE SEWER MANHOLES BY NEGATIVE AIR PRESSURE (VACUUM) TEST, FURTHER AS MODIFIED BY THE ALLOWABLE VACUUM LOSS SHALL NOT EXCEED 1" HG WITH ONE MINUTE FOR ALL MANHOLE SIZES.

PVC SEWER COLLECTION PIPE NOTES:

- 1.) PVC PIPE, COUPLINGS, AND FITTINGS FOR GRAVITY SEWERS SHALL CONFORM TO ASTM D3034 WITH AN SDR OF 35 UNLESS OTHERWISE SHOWN ON THE PLANS.
- 2.) PVC PIPE, COUPLINGS, AND FITTINGS FOR SEWER FORCE MAINS SHALL CONFORM TO ASTM 2241 WITH AN SDR OF 21 UNLESS OTHERWISE SHOWN ON THE PLANS.
- 3.) JOINTS FOR PVC PIPE SHALL BE PUSH ON JOINTS USING PERMANENTLY BONDED ELASTOMERIC RING JOINTS.
- 4.) FORCE MAINS SHALL BE INSTALLED WITH A CONTINUOUS SLOPE BETWEEN THE HIGH AND LOW POINTS.
- 5.) ALL FORCE MAIN FITTINGS SHALL BE RESTRAINED USING SERIES 7500 RESTRAINT FOR PVC FITTINGS AS MANUFACTURED BY EBBA IRON INC. OR APPROVED EQUAL.
- 6.) CONCRETE USED FOR THRUST BLOCKS SHALL HAVE A MINIMUM STRENGTH OF 3000 PSI. THRUST BLOCKS SHALL BE PLACED AT ALL FORCEMAIN BENDS 11½ DEGREES AND GREATER, AT FITTINGS.



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SITE PLAN
IN
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SHOWING
56 UNIT TOWNHOUSE COMMUNITY
AT
10 FOREST ROAD & MEADOWVIEW LANE

**SEWER
DETAILS**

SHEET: C-12