

”MEADOWVIEW AT SALISBURY”
CONDOMINIUM

AT
10 FOREST ROAD &
MEADOWVIEW LANE
IN
SALISBURY, MA

JUNE 2021

OWNER OF RECORD

20 44 20 45
N/F FREEMAN J. AND MAUREEN
F. CONDON
REVOCABLE TRUST
BK. 21338 PG. 332
20 43 20 91
N/F FREEMAN J. AND MAUREEN
F. CONDON
REVOCABLE TRUST
BK. 21338 PG. 324
TOTAL AREA
1,173,380 S.F.
26.94 ACRES

PLAN INDEX

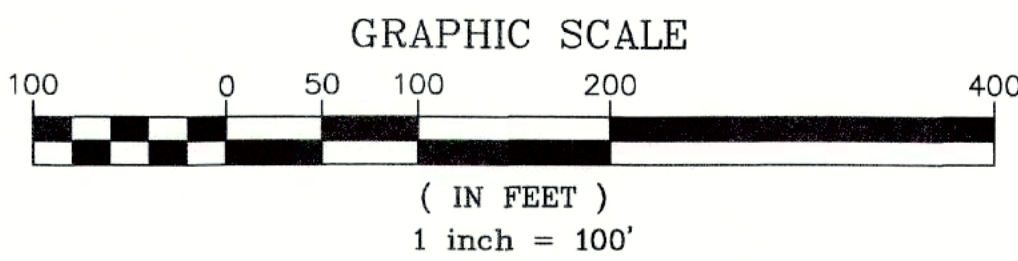
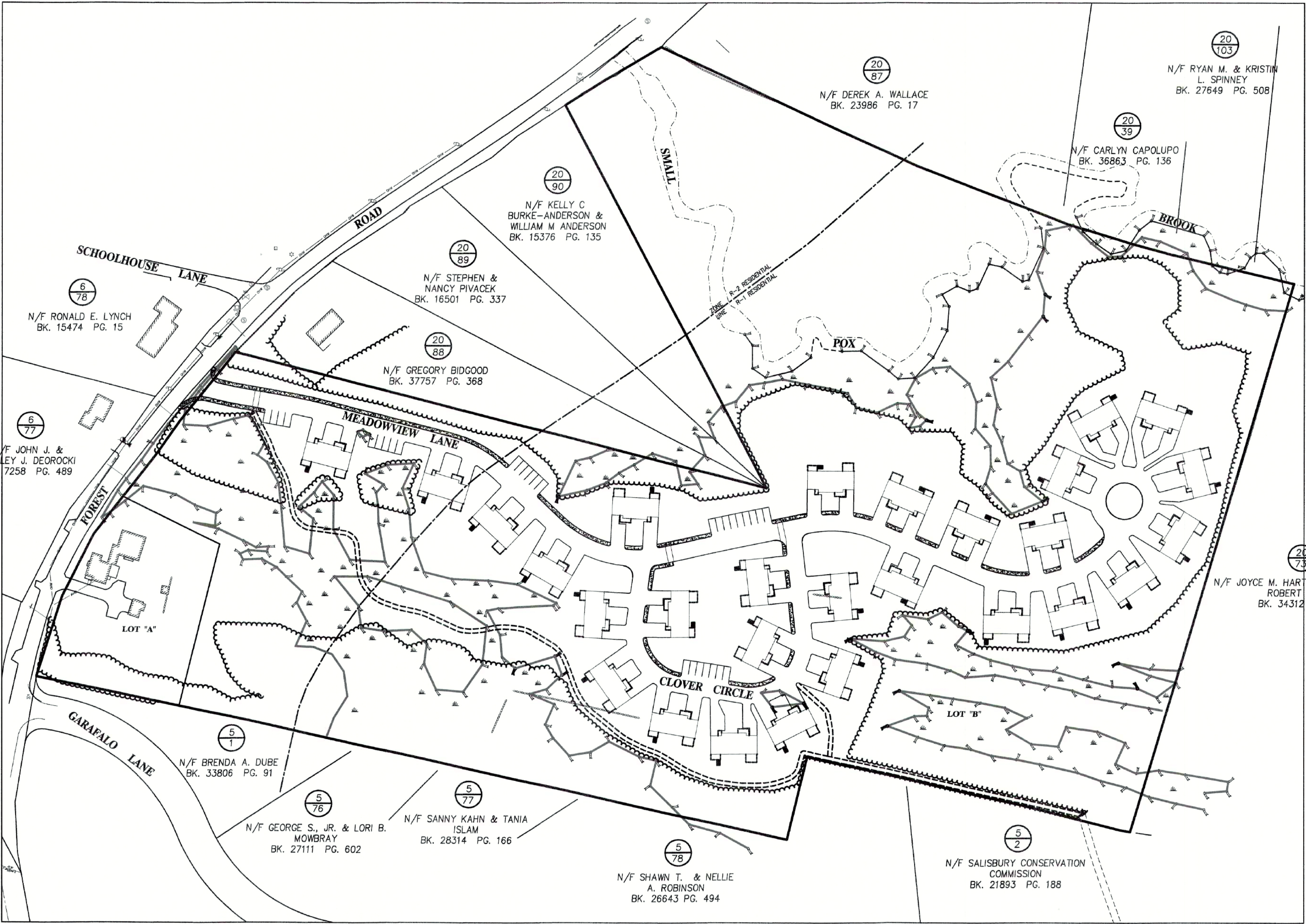
| SHEET NO. | TITLE |
|-----------|----------------------------------|
| C-1 | COVER SHEET |
| C-2-3 | EXISTING CONDITIONS PLAN |
| C-4 | LEGEND/NOTES |
| C-5-7 | GRADING PLANS |
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| C-16 | SOIL LOGS |
| E-1-2 | LIGHTING PLAN |
| F-1-2 | FIRE TRUCK TEMPLATE |
| L-1 | LANDSCAPE PLAN |

ZONING TABLE

| 6 FOREST ROAD - ASSESSORS MAP 20 LOTS 43, 44, 45 & 91 ZONING DISTRICT R-1 | | | |
|--|----------|-------------|-------------|
| | REQUIRED | EXISTING | PROPOSED |
| LOT AREA: | 2 ACRES | 26.94 ACRES | 26.94 ACRES |
| LOT FRONTAGE: | 200 FEET | 725.26 FEET | 725.26 FEET |
| FRONT SETBACK: | 40 FEET | 10.9 FEET | 112.6 FT |
| SIDE SETBACK: | 20 FEET | 150.8 FEET | 21.5 FT |
| REAR SETBACK: | 20 FEET | 1012.4 FEET | 21.7 FT |
| LOT COVERAGE: | 20% MAX | ** | 6.1% |
| OPEN SPACE: | N/A | ** | ** |
| BLDG HEIGHT: | 35 FEET | ** | < 35 FEET |

6 FOREST ROAD - ASSESSORS MAP 20 LOTS 43, 44, 45 & 91
ZONING DISTRICT R-2

| | REQUIRED | EXISTING | PROPOSED |
|----------------|----------|-------------|-------------|
| LOT AREA: | 1 ACRES | 26.94 ACRES | 26.94 ACRES |
| LOT FRONTAGE: | 150 FEET | 725.26 FEET | 725.26 FEET |
| FRONT SETBACK: | 40 FEET | 10.9 FEET | 112.6 FT |
| SIDE SETBACK: | 20 FEET | 150.8 FEET | 21.5 FT |
| REAR SETBACK: | 20 FEET | 1012.4 FEET | 21.7 FT |
| LOT COVERAGE: | 25% MAX | ** | 6.1% |
| OPEN SPACE: | N/A | ** | ** |
| BLDG HEIGHT: | 35 FEET | ** | < 35 FEET |



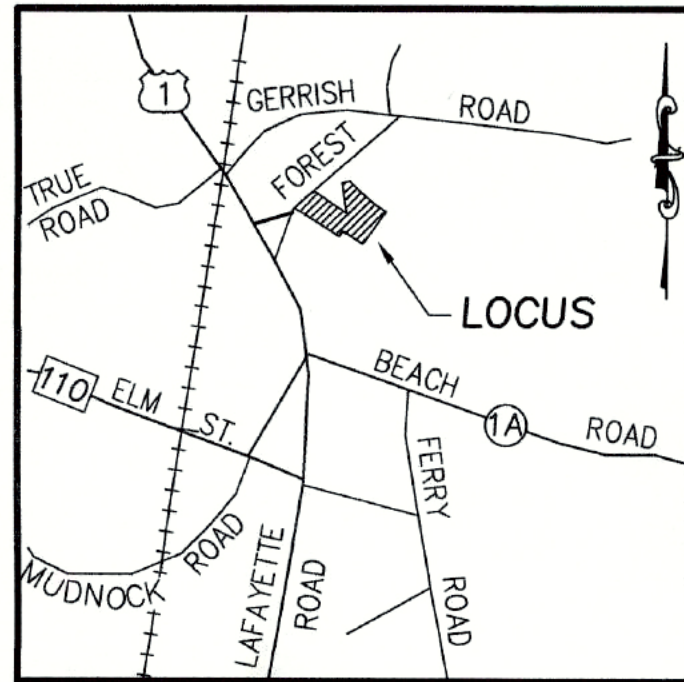
PREPARED FOR
6 FOREST ROAD LLC
71 COMMERCIAL STREET, #263
BOSTON, MA 02109

| NO. | DATE | DESCRIPTION | BY |
|-----|---------|-----------------------------|--------|
| 2 | 6/10/21 | ADDRESS REVIEWER'S COMMENTS | C.M.Y. |
| 1 | 4/12/21 | ADDRESS REVIEWER'S COMMENTS | C.M.Y. |

MEI **MILLENNIUM ENGINEERING, INC.**
ENGINEERING AND LAND SURVEYING
62 ELM. ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=60'
DATE: OCT. 26, 2020
DESIGNER: C.M.Y.
CHECKED: E.W.B.
PROJECT: M193659

| PLAN OF LAND IN SALISBURY, MA SHOWING 56 UNIT TOWNHOUSE COMMUNITY AT 10 FOREST ROAD & MEADOWVIEW LANE | COVER SHEET SHEET: C-1 |
|---|---------------------------|
|---|---------------------------|



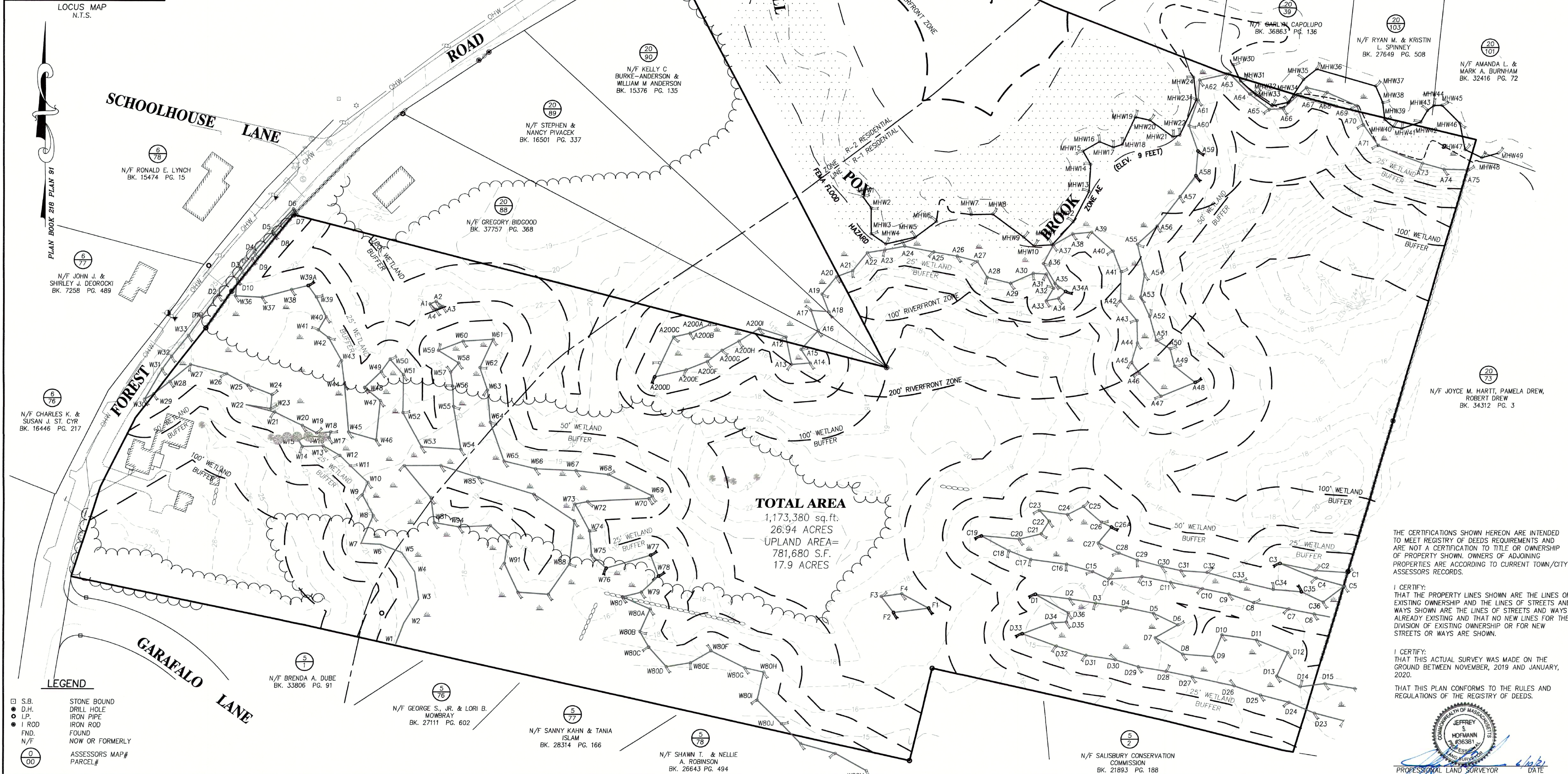
ZONING TABLE

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|--|----------|-------------|----------|
| | REQUIRED | EXISTING | PROPOSED |
| LOT AREA: | 1 ACRES | 26.94 ACRES | ** |
| LOT FRONTAGE: | 150 FEET | 725.26 FEET | ** |
| FRONT SETBACK: | 40 FEET | 10.9 FEET | ** |
| SIDE SETBACK: | 20 FEET | 150.8 FEET | ** |
| REAR SETBACK: | 20 FEET | 1012.4 FEET | ** |
| LOT COVERAGE: | 25% | ** | ** |
| OPEN SPACE: | N/A | ** | ** |
| BLDG HEIGHT: | 35 FEET | ** | ** |

WETLAND DELINEATED BY:
WEST ENVIRONMENTAL
(DELINEATED: NOVEMBER 2019)
WETLAND LINE APPROVED PER ORDER OF
RESOURCE AREA DELINEATION ON MAR. 30, 2021
DEP FILE #065-1228

ZONING TABLE

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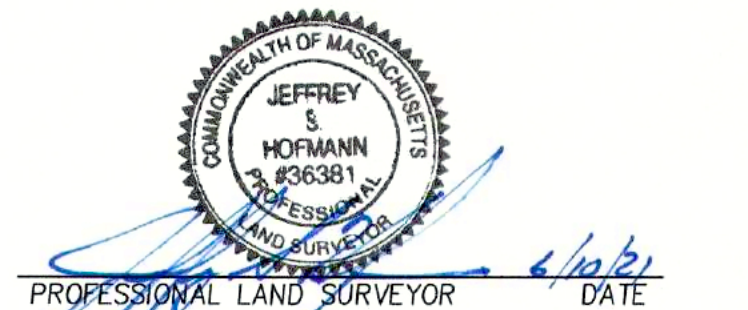


THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN/CITY ASSESSORS RECORDS.

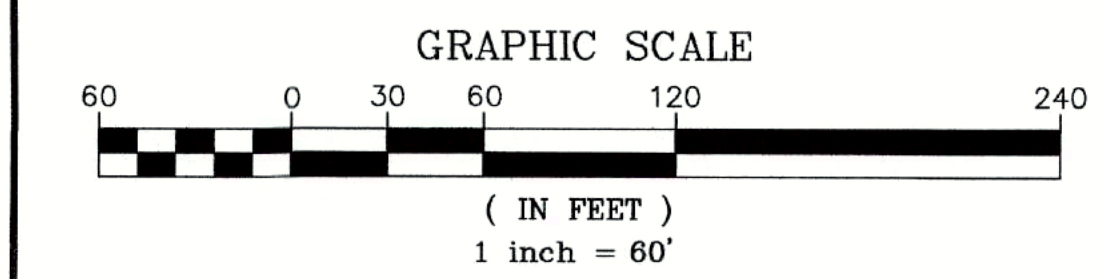
I CERTIFY: THAT THE PROPERTY LINES SHOWN ARE THE LINES OF EXISTING OWNERSHIP AND THE LINES OF STREETS AND WAYS SHOWN ARE THE LINES OF STREETS AND WAYS ALREADY EXISTING AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW STREETS OR WAYS ARE SHOWN.

I CERTIFY: THAT THIS ACTUAL SURVEY WAS MADE ON THE GROUND BETWEEN NOVEMBER, 2019 AND JANUARY, 2020.

THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.



- LEGEND
- S.B. STONE BOUND
 - D.H. DRILL HOLE
 - I.P. IRON PIPE
 - I ROD IRON ROD
 - FND. FOUND
 - N/F NOW OR FORMERLY
 - ASSESSORS MAP#
 - PARCEL#



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71 COMMERCIAL STREET, #263
BOSTON, MA 02109

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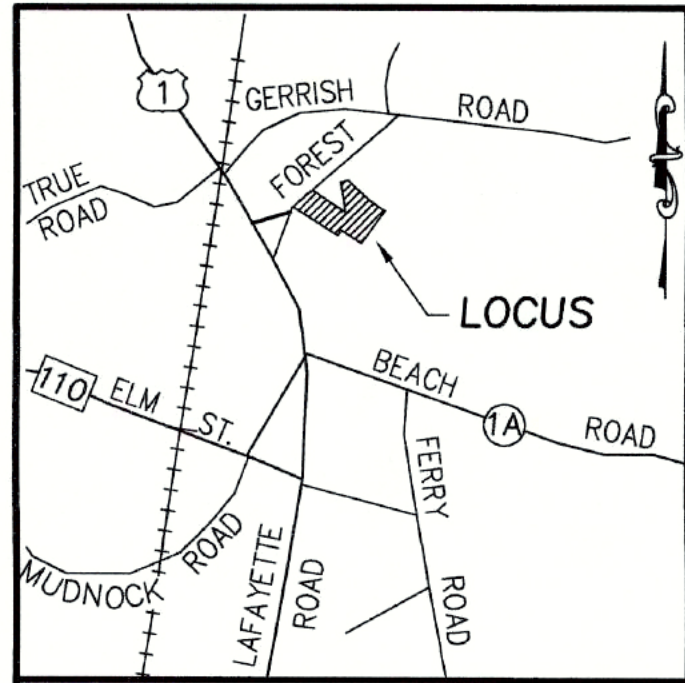
MEI MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

| | | |
|---------------------|------------------|------------------|
| SCALE: 1"=60' | CALC. BY: P.D.B. | PROJECT: M193659 |
| DATE: OCT. 26, 2020 | CHKD. BY: J.S.H. | |

PLAN OF LAND
IN
SALISBURY, MA
SHOWING
64 UNIT TOWNHOUSE COMMUNITY
AT
10 FOREST ROAD & MEADOWVIEW LANE

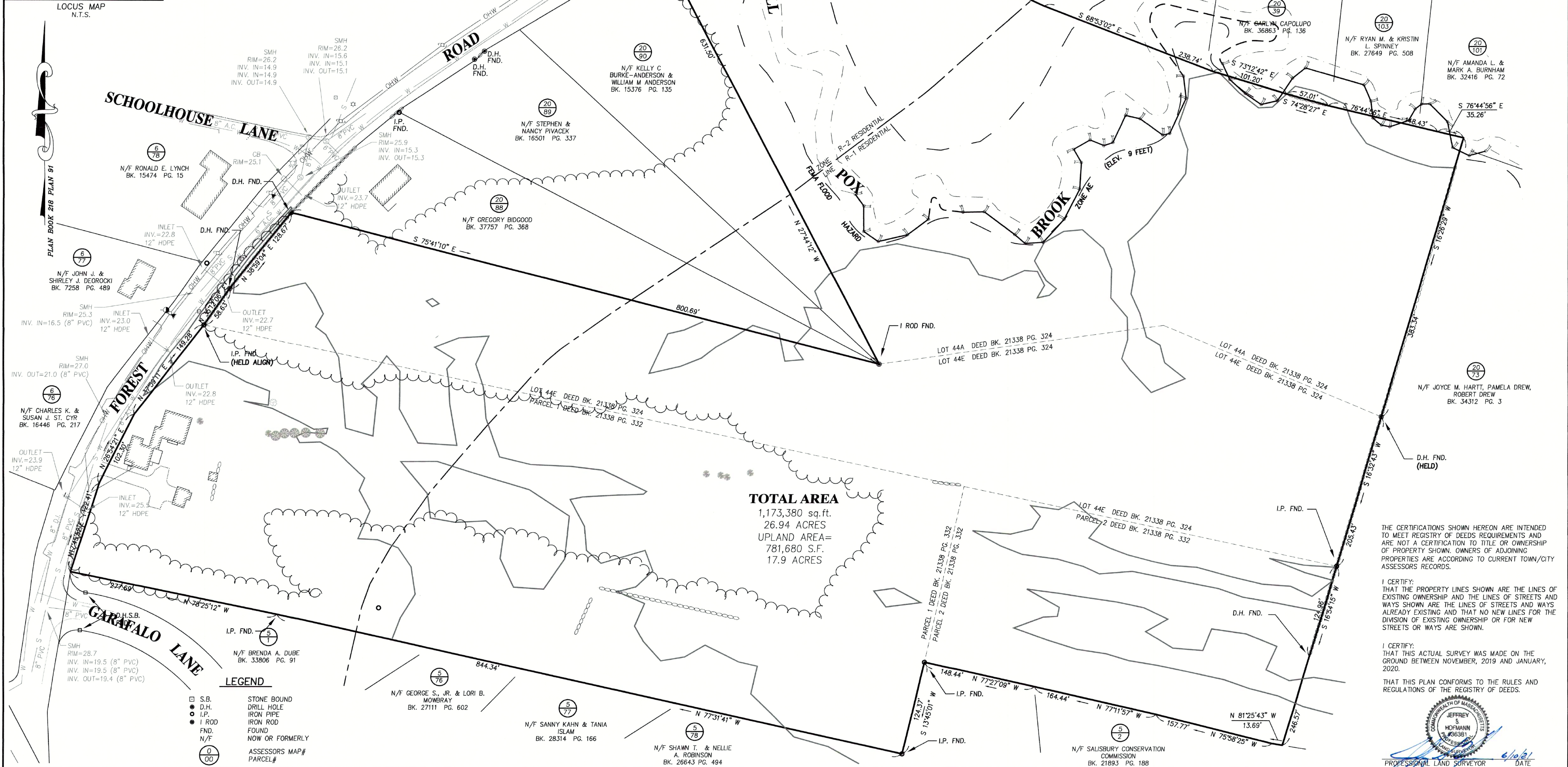
EXISTING CONDITIONS TOPOGRAPHY

SHEET: C-2



| ZONING TABLE | | | |
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THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

PROFESSIONAL LAND SURVEYOR DATE: 6/10/21

GRAPHIC SCALE
60 0 30 60 120 240
(IN FEET)
1 inch = 60'

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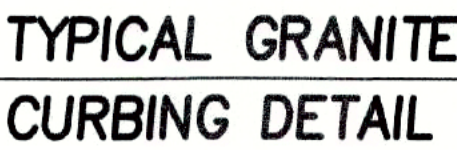
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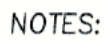
EXISTING CONDITIONS UTILITIES
SHEET: C-3



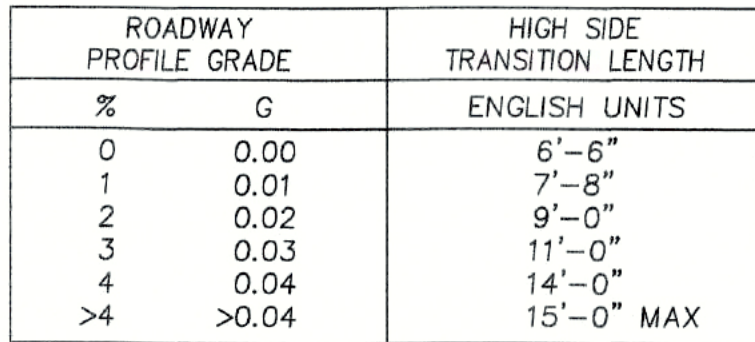
N.T.S.



N.T.S.

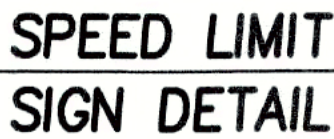


1. RAMP CROSS SECTION TO BE SAME AS SIDEWALK; I.E. DEPTH OF SURFACE AND FOUNDATION.
2. PORTLAND CEMENT CONCRETE RAMPS ARE TO BE TEXTURED BY BROOMING IN A DIRECTION PARALLEL TO THE LENGTH OF THE RAMP.
3. BASE OF RAMP SHALL MEET PAVEMENT GUTTER SUCH THAT THERE IS NO DIFFERENCE IN ELEVATION. RAMP SHALL BE CONSTRUCTED SUCH THAT WATER DOES NOT "PUDDLE" AT THE BASE OF THE RAMP.
4. THE PAVEMENT AT THE BASE OF THE RAMP SHALL BE PART OF THE CONTINUOUS TOP COURSE. THE USE OF A "PAVEMENT PATCH" TO COMPLY WITH THE CONDITIONS IN NOTE 3, ABOVE IS PROHIBITED.
5. RAMPS SHALL CONFORM TO MASS DOT WHEELCHAIR RAMP STANDARDS – LATEST REVISION.



A.D.A. ACCESS
RAMP DETAIL

N.T.S.



N.T.S.

SIDEWALK NOTES

SIDEWALKS SHALL BE FIVE FEET IN WIDTH FOR THEIR ENTIRE LENGTH, WITH A 1% CROSS SLOPE (1.5% MAX).

SIDEWALKS SHALL BE CONSTRUCTED WITH A 1.5" TYPE I-1 BITUMINOUS CONCRETE FINISH COURSE, A 1.5" TYPE I-1 BITUMINOUS CONCRETE BINDER COURSE OVER AN 8" GRAVEL BASE (MDOT M1.03.0 TYPE B).

WHERE SIDEWALKS TRAVERSE A DRIVEWAY, THE GRAVEL BASE SHALL BE 12" THICK.

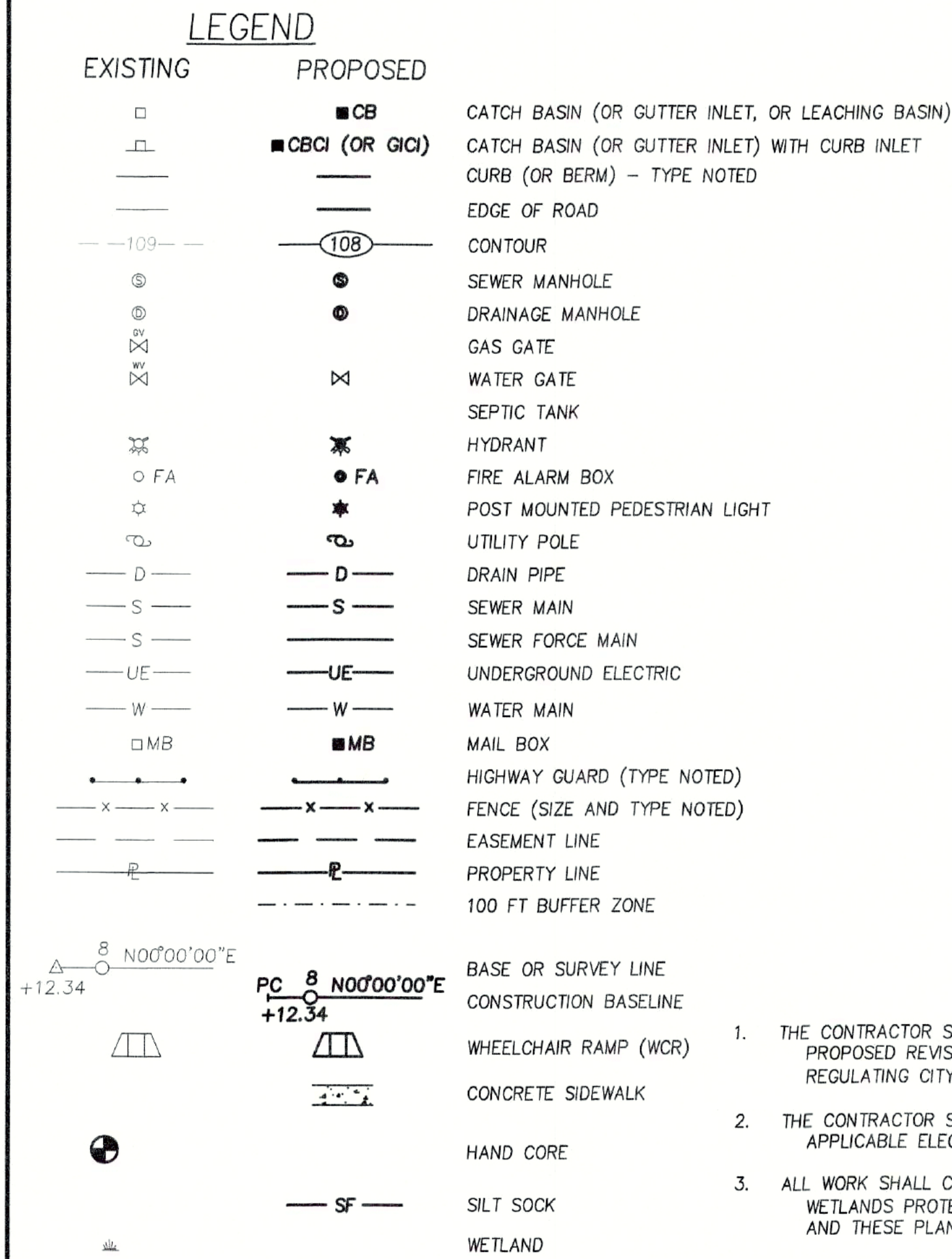
MATERIAL NOTES

ALL MATERIALS OF THE ELEMENTS IN THE SITE PLAN MUST CONFORM TO THE FOLLOWING STANDARDS:









1. COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION
STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES (LATEST EDITION)
2. 521 CMR RULES AND REGULATIONS OF THE ARCHITECTURAL ACCESS BOARD
(AAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA)
3. SPECIFICATIONS BY THE TOWN OF SALISBURY AS SET FORTH BY SECTION 7
IN THE PLANNING BOARD RULES AND REGULATIONS GOVERNING THE
SUBDIVISION OF LAND, DATED NOVEMBER 1, 2013
4. UTILITIES INSTALLED PER PENNICHUCK WATER SERVICE CORPORATION
SPECIFICATIONS

ROADWAY NOTES

- 1.) ALL STUMPS, ROCKS AND LEDGE WITHIN THE LIMITS OF THE PROPOSED PAVED WAY SHALL BE REMOVED. ALL LEDGE SHALL BE REMOVED TO A MINIMUM DEPTH OF 2' BELOW FINISHED PAVEMENT GRADE.
- 2.) ROADWAY SHALL NOT BE CONSTRUCTED DURING FREEZING WEATHER OR ON WET OR FROZEN SUBGRADE.
- 3.) GRADING AND ROLLING SHALL BE REQUIRED TO PROVIDE A SMOOTH, EVEN, AND UNIFORM COMPACTED BASE WHICH IS COMPACTED TO A MINIMUM DRY DENSITY OF 95 PERCENT.
- 4.) THE MINIMUM SLOPE FROM THE CROWN OF FINISHED BASE COURSE SHALL BE 1/4"PER FOOT UNLESS OTHERWISE SHOWN.
- 5.) ALL UNSUITABLE MATERIAL SHALL BE EXCAVATED AND REPLACED WITH SATISFACTORY MATERIAL AND BROUGHT UP TO GRADE WITH GRAVEL BORROW CONTAINING NO STONES GREATER THAN 6" DIAMETER.
- 6.) AT ALL TIMES DURING CONSTRUCTION, THE SUB-GRADE AND ALL DITCHES SHALL BE CONSTRUCTED AND MAINTAINED SO THAT THE ROADWAY WILL EFFECTIVELY BE DRAINED.
- 7.) THE CONTRACTOR SHALL REFER TO THE SALSBUURY PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, SECTIONS I - VI.



SURVEY

- 120  WETLAND DELINEATION FLAG
- | | | |
|---|--------|----------------|
|  | C.B. | CONCRETE BOUND |
|  | S.B. | STONE BOUND |
|  | D.H. | DRILL HOLE |
|  | PK | MASONRY NAIL |
|  | I.P. | IRON PIPE |
|  | I ROD | IRON ROD |
| | FND. | FOUND |
| | N/FND. | NOT FOUND |
-  ASSESSORS MAP AND PARCEL

1. THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS. ANY PROPOSED REVISIONS TO THE WORK SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND REGULATING CITY AND/OR STATE AGENCIES.
2. THE CONTRACTOR SHALL INSTALL ALL SYSTEM COMPONENTS IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND ALL APPLICABLE ELECTRICAL, PLUMBING, AND SANITARY CODES.
3. ALL WORK SHALL CONFORM TO; THE SALISBURY PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, THE WETLANDS PROTECTION ACT (310 CMR 10.00), THE ORDER OF CONDITIONS ISSUED BY THE SALISBURY CONSERVATION COMMISSION, AND THESE PLANS.
4. THE LOCATION OF ALL UTILITIES, AS SHOWN ON THESE PLANS, ARE BASED UPON PLANS AND RECORD INFORMATION PROVIDED BY MUNICIPAL AND PRIVATE UTILITY COMPANIES AND ARE CONSIDERED APPROXIMATE BOTH AS TO SIZE AND LOCATION. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UTILITIES ARE SHOWN. THE CONTRACTOR SHALL NOT RELY ON THESE PLANS FOR SUCH INFORMATION AND WILL MAKE EXAMINATIONS IN THE FIELD BY VARIOUS AVAILABLE RECORDS, UTILITY COMPANIES AND INDIVIDUALS, AS TO THE LOCATION OF ALL SUBSURFACE STRUCTURES.
5. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES BY CONTACTING "DIG-SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION. DIG-SAFE TELEPHONE NUMBER: 1-888-344-7233.
6. THE CONTRACTOR SHALL FIELD CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE NEW WORK. HE/SHE SHALL EXCAVATE TO VERIFY PERTINENT DRAINAGE INVERTS AND POTENTIAL UTILITY CONFLICTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
7. ALL EXISTING STRUCTURES AND SURFACES, UNLESS OTHERWISE SHOWN, SHALL BE COMPLETELY REMOVED FROM THE AREAS OF WORK. ALL TREES SCHEDULED FOR REMOVAL SHALL BE FIELD MARKED AND APPROVED FOR REMOVAL BY THE OWNER PRIOR TO CUTTING OPERATIONS.
8. THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF THE PUBLIC, EMPLOYEES, AND ALL OTHER PERSONS ASSOCIATED WITH THE PROJECT. HE/SHE SHALL COORDINATE AND BE RESPONSIBLE FOR ALL SAFETY SIGNING, BARRIERS AND TEMPORARY PAVEMENT MARKINGS NECESSARY TO PROVIDE A SMOOTH AND PROPER TRANSITION FOR TRAFFIC FLOW.
9. IF REQUIRED BY THE CONTRACTOR, OVERHEAD LINES SHALL BE RELOCATED BY THE UTILITY COMPANY AT THE CONTRACTORS EXPENSE.

GENERAL NOTES

10. ALL SEWER MAINS AND SERVICES SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY OR 18 INCHES VERTICALLY FROM PROPOSED WATER MAINS AND SERVICES AND SHALL MAINTAIN 5 FEET OF COVER OVER THE TOP OF THE PIPING, UNLESS OTHERWISE SHOWN OR APPROVED. PIPES SHALL BE ENCASED IN CONCRETE WHERE THIS SEPARATION CANNOT BE OBTAINED.
11. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 5 FEET OF COVER OVER THE TOP OF THE PIPE, UNLESS OTHERWISE SHOWN OR APPROVED.
12. WHENEVER SEWER MAINS MUST CROSS WATER MAINS, THE SEWER SHALL BE CONSTRUCTED AS FOLLOWS: A) JOINTS SHALL BE MECHANICAL TYPE WATER PRESSURE RATED WITH ZERO LEAKAGE WHEN TESTED AT 25 PSI FOR GRAVITY SEWERS AND 1.5 TIMES WORKING PRESSURE FOR FORCE MAINS AND JOINTS NOT TO BE LOCATED WITHIN 9 FEET OF THE CROSSING; B) SEWER SERVICES SHOULD BE INSTALLED A MINIMUM OF 18 INCHES BELOW WATER MAINS. IF SEPARATION IS LESS THAN 18 INCHES, SEWER SERVICE SHALL BE CONCRETE ENCASED OR CONSTRUCTED WITH PRESSURE CLASS PVC FOR A DISTANCE OF 10 FEET EACH SIDE OF THE WATER MAIN. 10-FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE SHALL BE MAINTAINED.
13. INDIVIDUAL BUILDING OWNERS ARE RESPONSIBLE FOR MAINTENANCE OF THEIR SEWER SERVICE FROM THE BUILDING TO THE CONNECTION TO THE SEWER MAIN.
14. ALL SIGNS AND PAVEMENT MARKINGS TO BE INSTALLED WITHIN THE PROJECT SITE SHALL CONFORM TO THE APPLICABLE SPECIFICATIONS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
15. 14 DAYS PRIOR TO COMMENCING CONSTRUCTION, THE OWNER/DEVELOPER SHALL PRESENT A CONSTRUCTION SCHEDULE TO THE PLANNING DEPARTMENT.
17. THE OWNER/DEVELOPER SHALL SUBMIT TWO HARD COPIES OF AS-BUILT DRAWINGS TO THE PLANNING BOARD WITHIN 90 DAYS OF ISSUANCE OF OCCUPANCY PERMIT. AS-BUILTS SHALL INCLUDE ALL LANDBASE AND UTILITIES INFORMATION.
18. ONSITE BURIAL OF STUMPS OR ANY OTHER DEBRIS IS PROHIBITED.
19. THE REAR OF THE PROPERTY BY SMALLPOX BROOK LIES WITHIN THE 100-YEAR FLOOD PLAIN ACCORDING TO F.J.R.M. COMMUNITY PANEL NUMBER 25009C 0126F.
20. ALL ELEVATIONS ARE BASED ON N.A.V.D. 1988.



PREPARED FOR

6 FOREST ROAD LLC

71 COMMERCIAL STREET, #263
BOSTON, MA 02109

| | | | |
|-----|---------|-----------------------------|--------|
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| SCALE: AS NOTED | DESG. BY: C.M.Y. | PROJECT: M193659 |
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PLAN OF LAND IN SALISBURY, MA

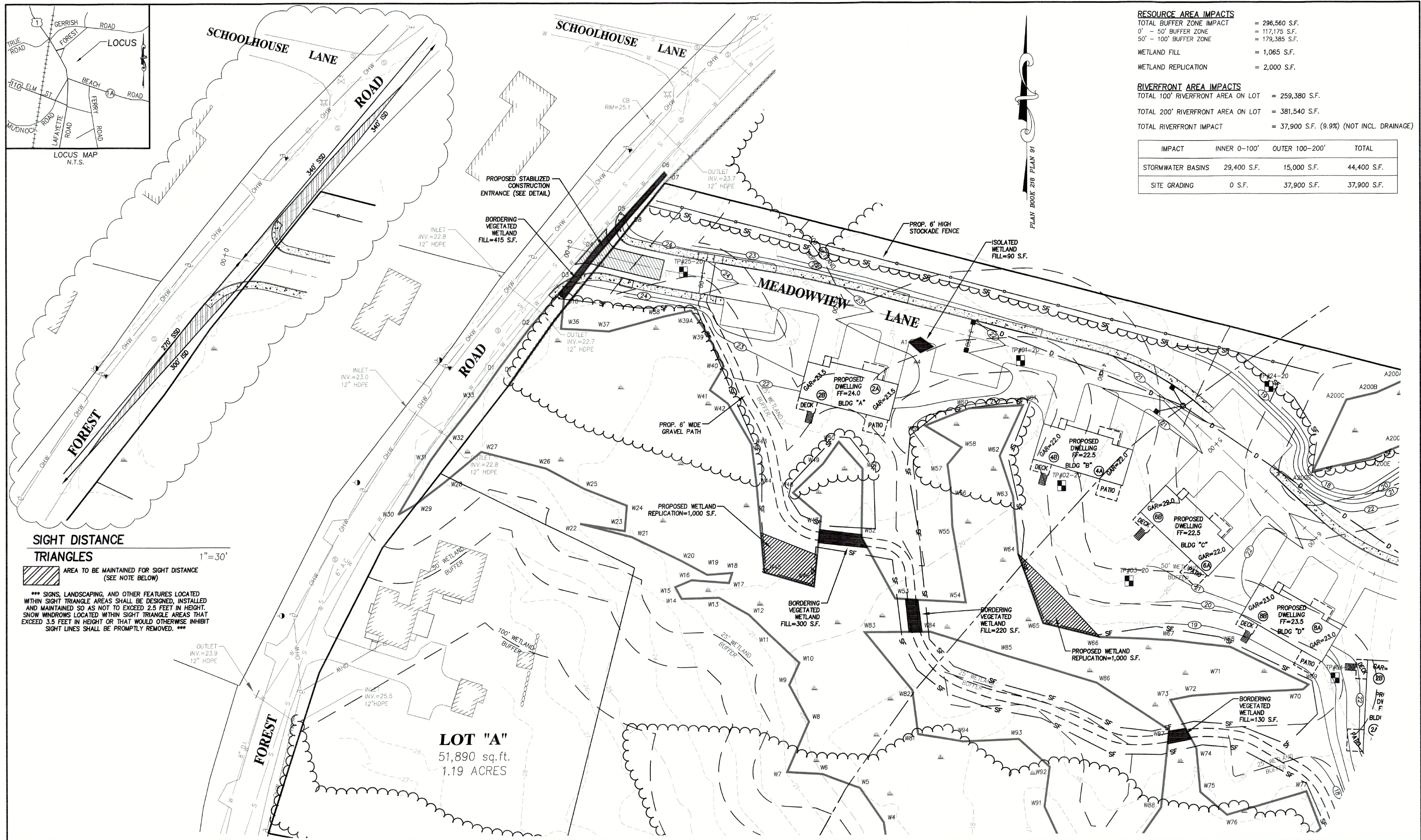
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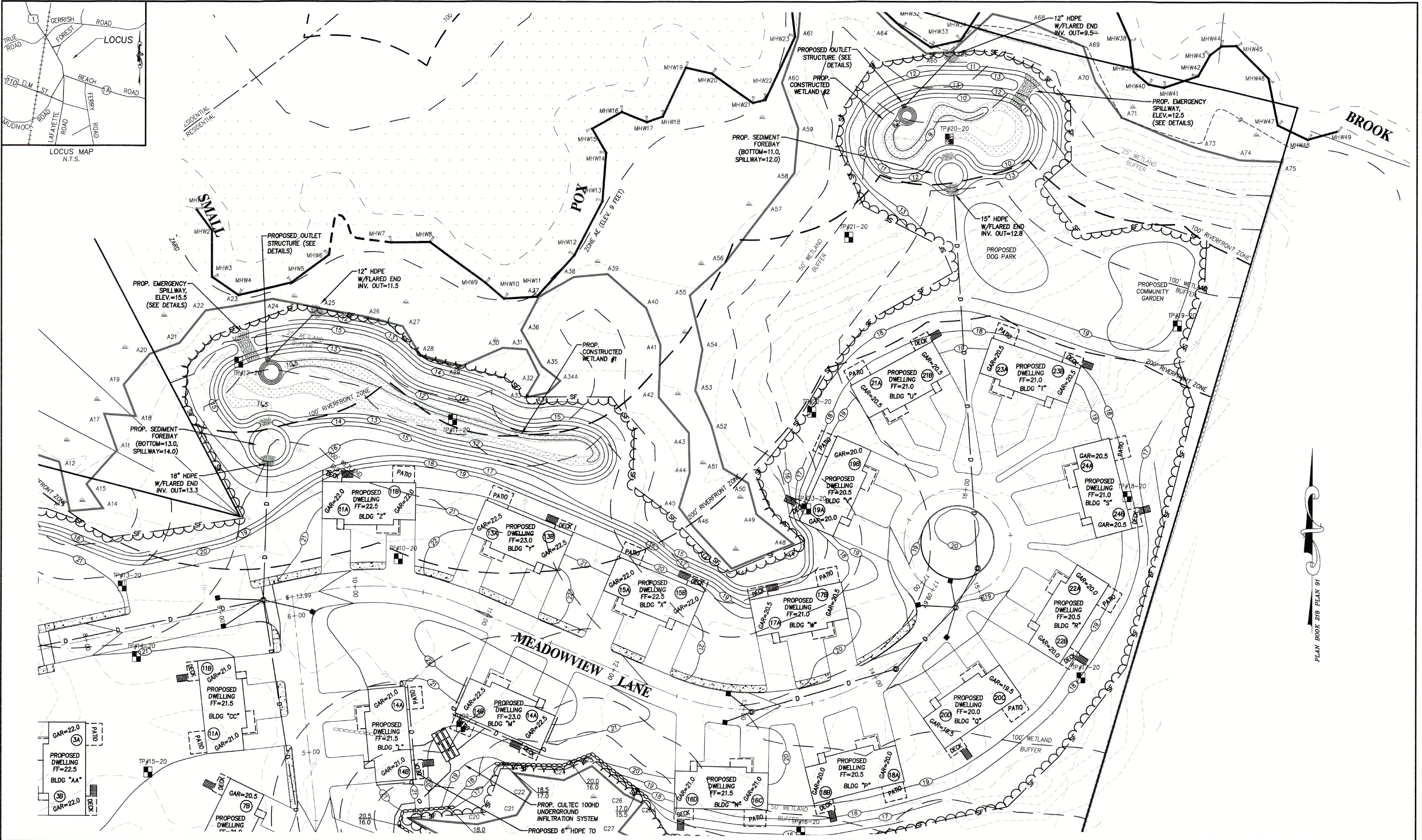
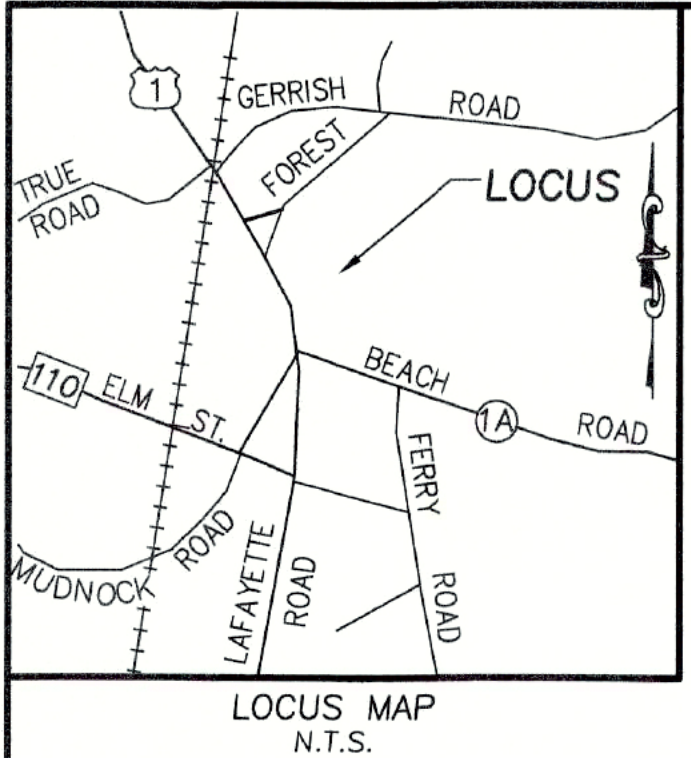
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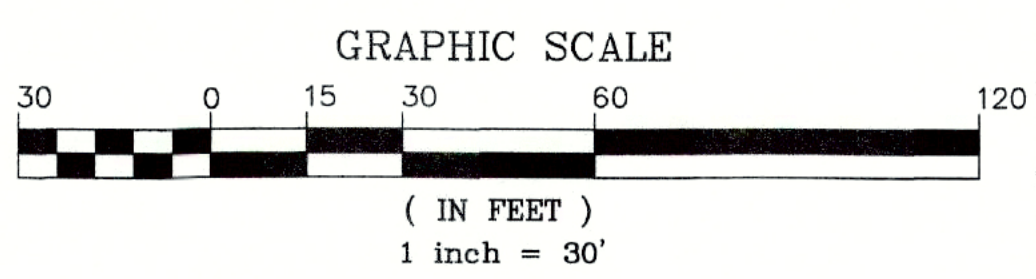
TYPICAL SECTIONS, LEGEND/ GENERAL NOTES

SHEET: C-4





PLAN BOOK 218 PLAN 91



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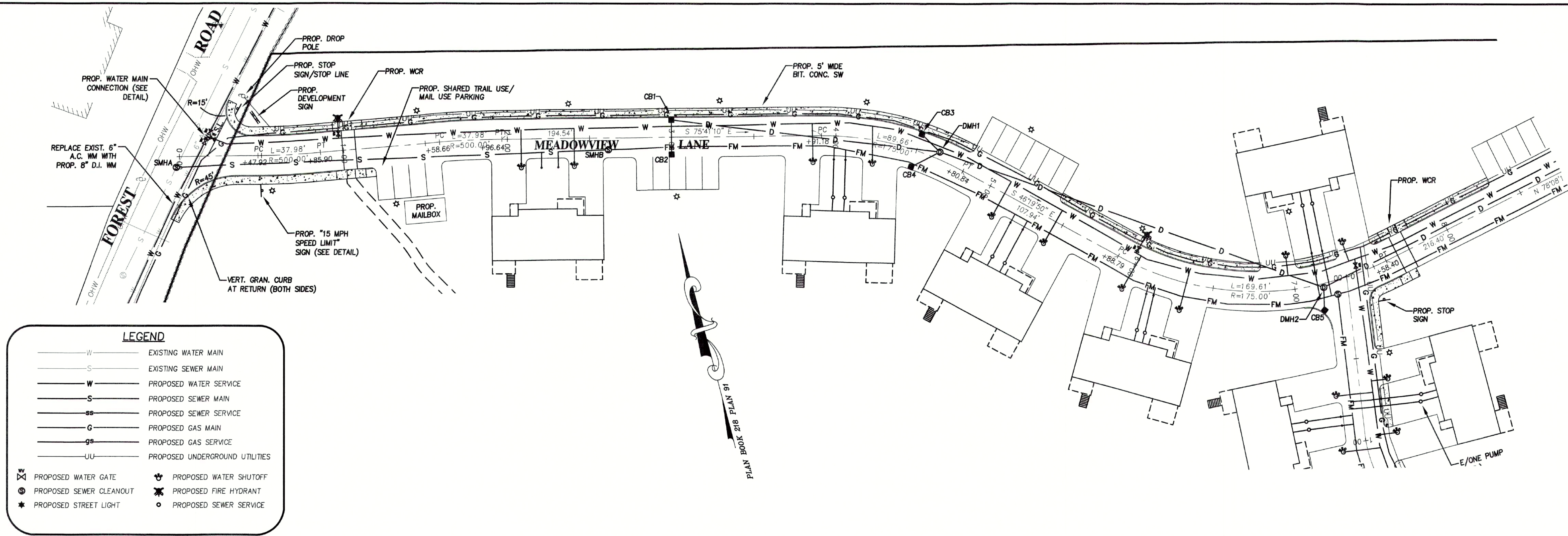
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MEI **MILLENNIUM ENGINEERING, INC.**
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

| | | |
|---------------------|------------------|------------------|
| SCALE: 1"=30' | DESG. BY: C.M.Y. | PROJECT: M193659 |
| DATE: OCT. 26, 2020 | CHKD. BY: E.W.B. | |

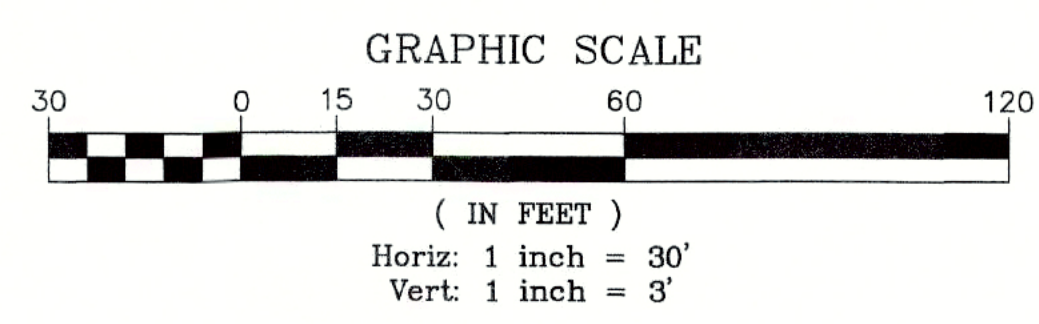
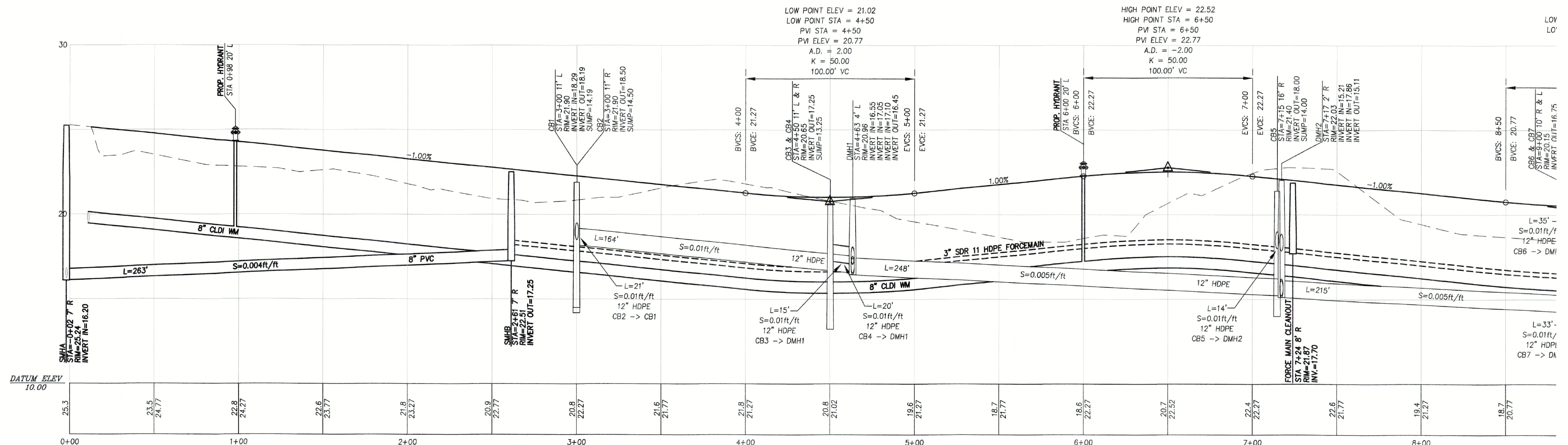
PLAN OF LAND
IN
SALISBURY, MA
SHOWING
56 UNIT TOWNHOUSE COMMUNITY
AT
10 FOREST ROAD & MEADOWVIEW LANE

GRADING PLAN
SHEET: C-7



LEGEND

- W — EXISTING WATER MAIN
- S — EXISTING SEWER MAIN
- W — PROPOSED WATER SERVICE
- S — PROPOSED SEWER MAIN
- SS — PROPOSED SEWER SERVICE
- G — PROPOSED GAS MAIN
- GS — PROPOSED GAS SERVICE
- UU — PROPOSED UNDERGROUND UTILITIES
- ⊗ PROPOSED WATER GATE
- ⊙ PROPOSED SEWER CLEANOUT
- ★ PROPOSED STREET LIGHT
- ⊕ PROPOSED WATER SHUTOFF
- ⊗ PROPOSED FIRE HYDRANT
- PROPOSED SEWER SERVICE



PREPARED FOR
6 FOREST ROAD LLC
71 COMMERCIAL STREET, #263
BOSTON, MA 02109

| NO. | DATE | DESCRIPTION | BY |
|-----|---------|-----------------------------|--------|
| 2 | 6/10/21 | ADDRESS REVIEWER'S COMMENTS | C.M.Y. |
| 1 | 4/12/21 | ADDRESS REVIEWER'S COMMENTS | C.M.Y. |

MEI **MILLENNIUM ENGINEERING, INC.**
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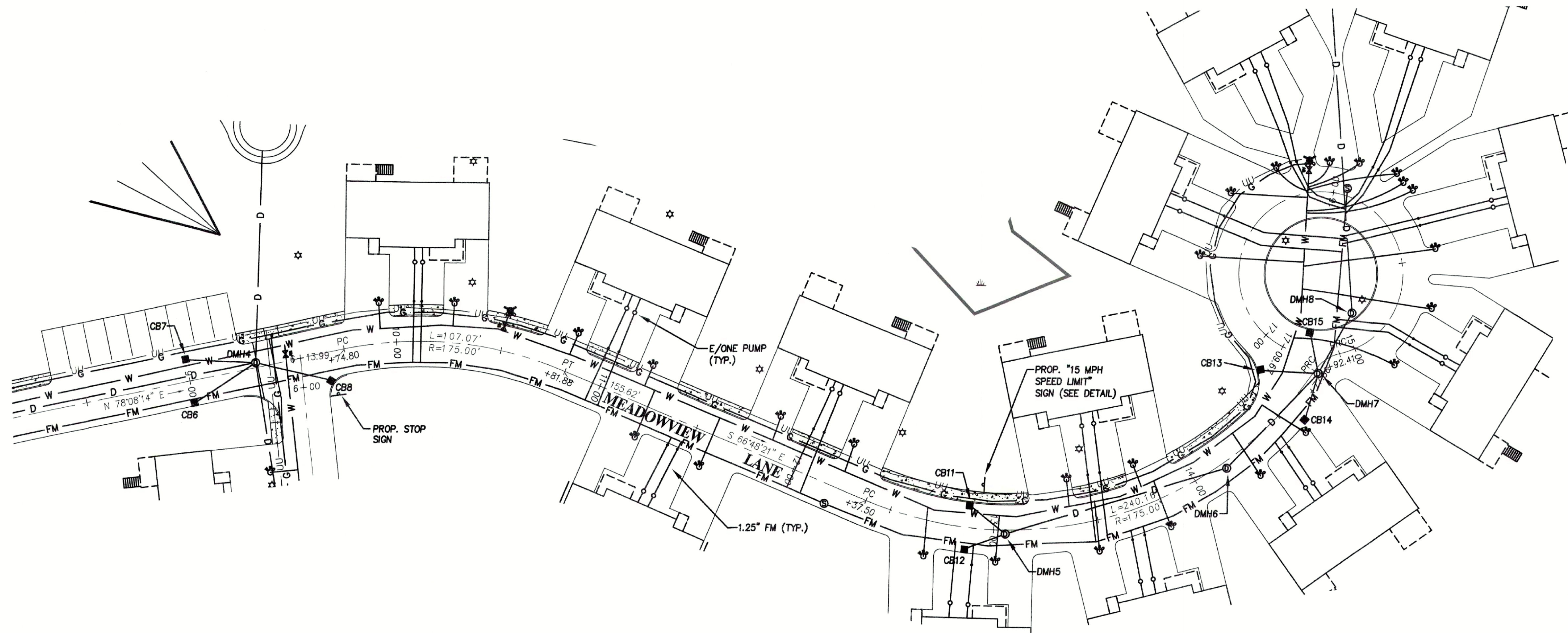
SCALE: 1"=30'
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PROJECT: M193659

PLAN OF LAND
IN
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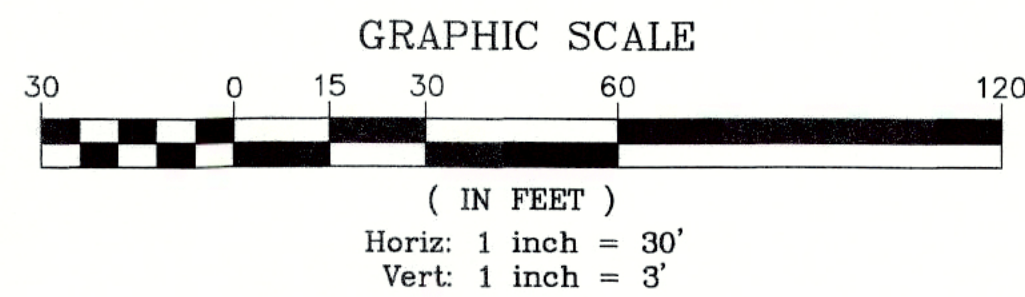
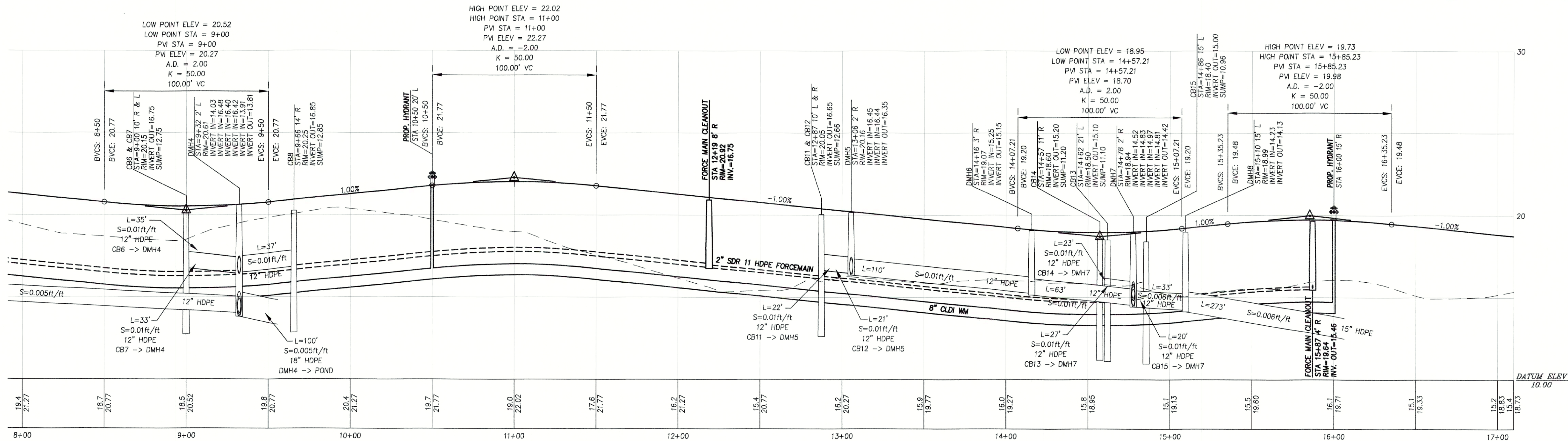
UTILITY PLAN & PROFILE
SHEET: C-8

LEGEND

- W — EXISTING WATER MAIN
- S — EXISTING SEWER MAIN
- W — PROPOSED WATER SERVICE
- S — PROPOSED SEWER MAIN
- SS — PROPOSED SEWER SERVICE
- G — PROPOSED GAS MAIN
- GS — PROPOSED GAS SERVICE
- UU — PROPOSED UNDERGROUND UTILITIES
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- PROPOSED STREET LIGHT
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- PROPOSED FIRE HYDRANT
- PROPOSED SEWER SERVICE



PLAN BOOK 218 PLAN 91



PREPARED FOR

6 FOREST ROAD LLC

71 COMMERCIAL STREET, #263
BOSTON, MA 02109

| NO. | DATE | DESCRIPTION | BY |
|-----|---------|-----------------------------|--------|
| 2 | 6/10/21 | ADDRESS REVIEWER'S COMMENTS | C.M.Y. |
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MEI **MILLENNIUM ENGINEERING, INC.**

ENGINEERING AND LAND SURVEYING
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13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=30'

DESIGN BY: C.M.Y.

DATE: OCT. 26, 2020

CHKD. BY: E.W.B.

PROJECT: M193659

PLAN OF LAND

IN
SALISBURY, MA

SHOWING

56 UNIT TOWNHOUSE COMMUNITY

AT
10 FOREST ROAD & MEADOWVIEW LANE

**UTILITY PLAN
& PROFILE**

SHEET C-9

LEGEND

W

EXISTING WATER MAIN

S

EXISTING SEWER MAIN

W

PROPOSED WATER SERVICE

S

PROPOSED SEWER MAIN

SS

PROPOSED SEWER SERVICE

G

PROPOSED GAS MAIN

GS

PROPOSED GAS SERVICE

UU

PROPOSED UNDERGROUND UTILITIES

PROPOSED WATER GATE

PROPOSED SEWER CLEANOUT

PROPOSED STREET LIGHT

PROPOSED WATER SHUTOFF

PROPOSED FIRE HYDRANT

PROPOSED SEWER SERVICE

PLAN BOOK 218 PLAN 91

PREPARED FOR
6 FOREST ROAD LLC
71 COMMERCIAL STREET, #263
BOSTON, MA 02109

| NO. | DATE | DESCRIPTION | BY |
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| 2 | 6/10/21 | ADDRESS REVIEWER'S COMMENTS | C.M.Y. |
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62 ELM ST. SALISBURY, MA 01952 (978) 463-8980

13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=30'

DATE: OCT. 26, 2020

DESIGNED BY: C.M.Y.

CHECKED BY: E.W.B.

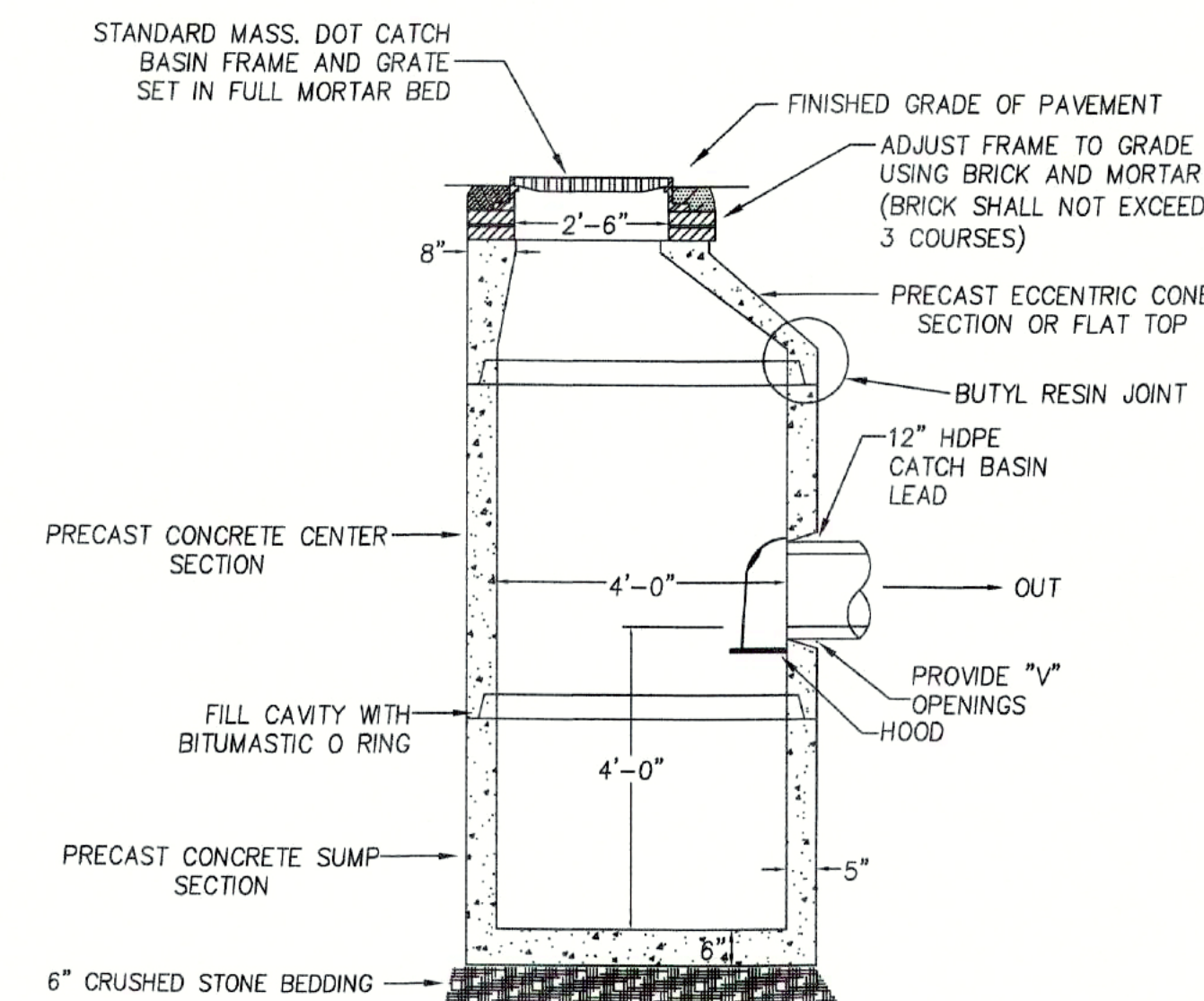
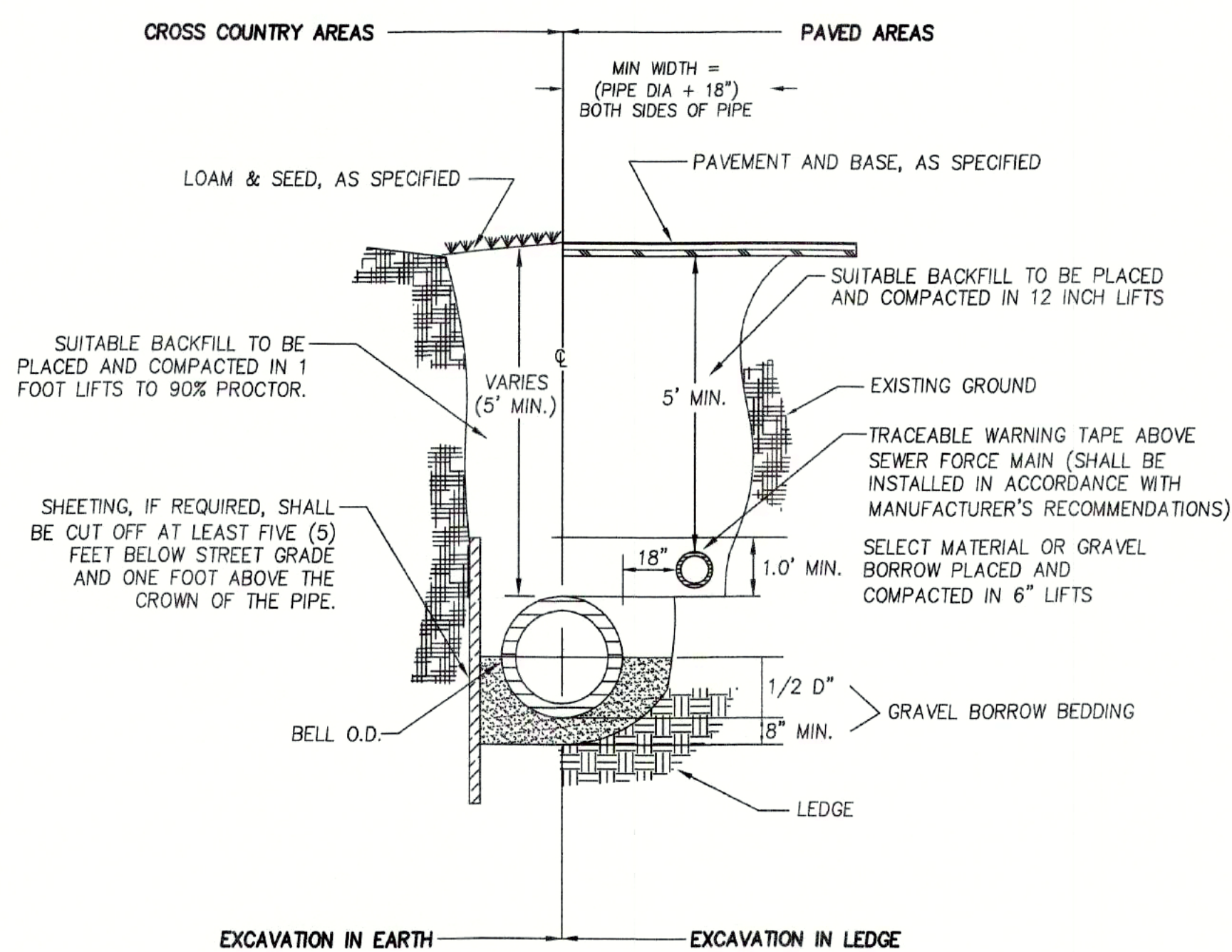
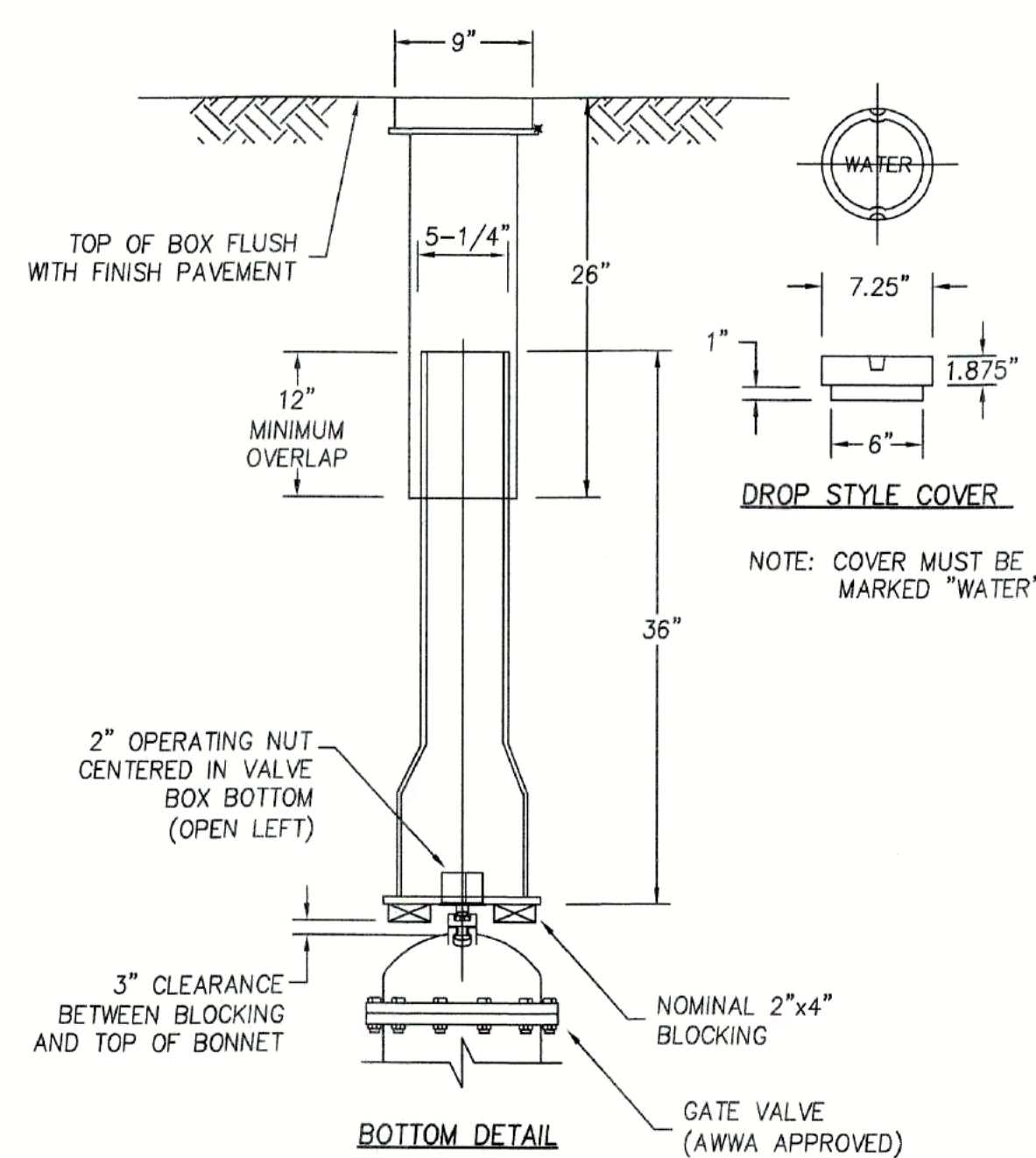
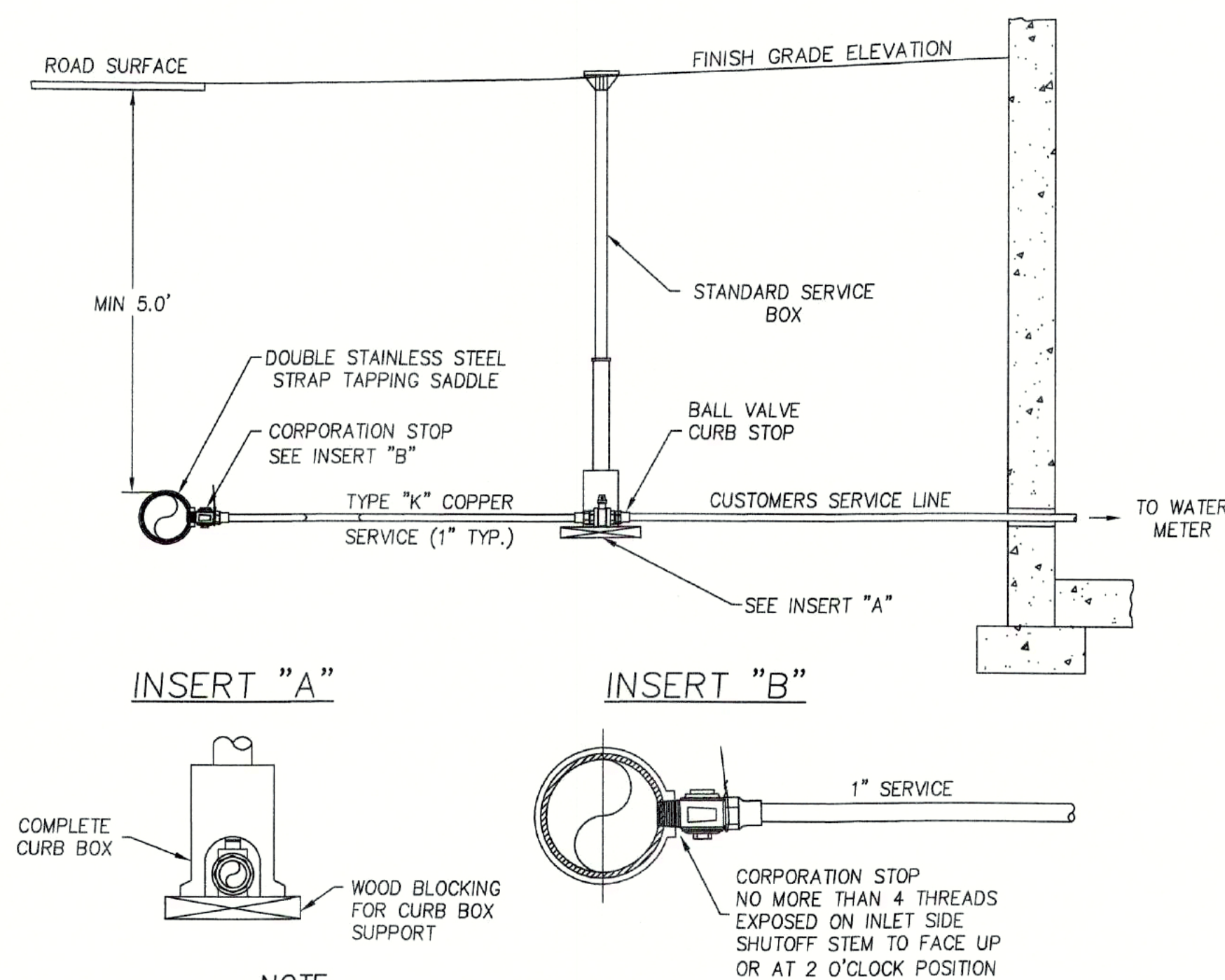
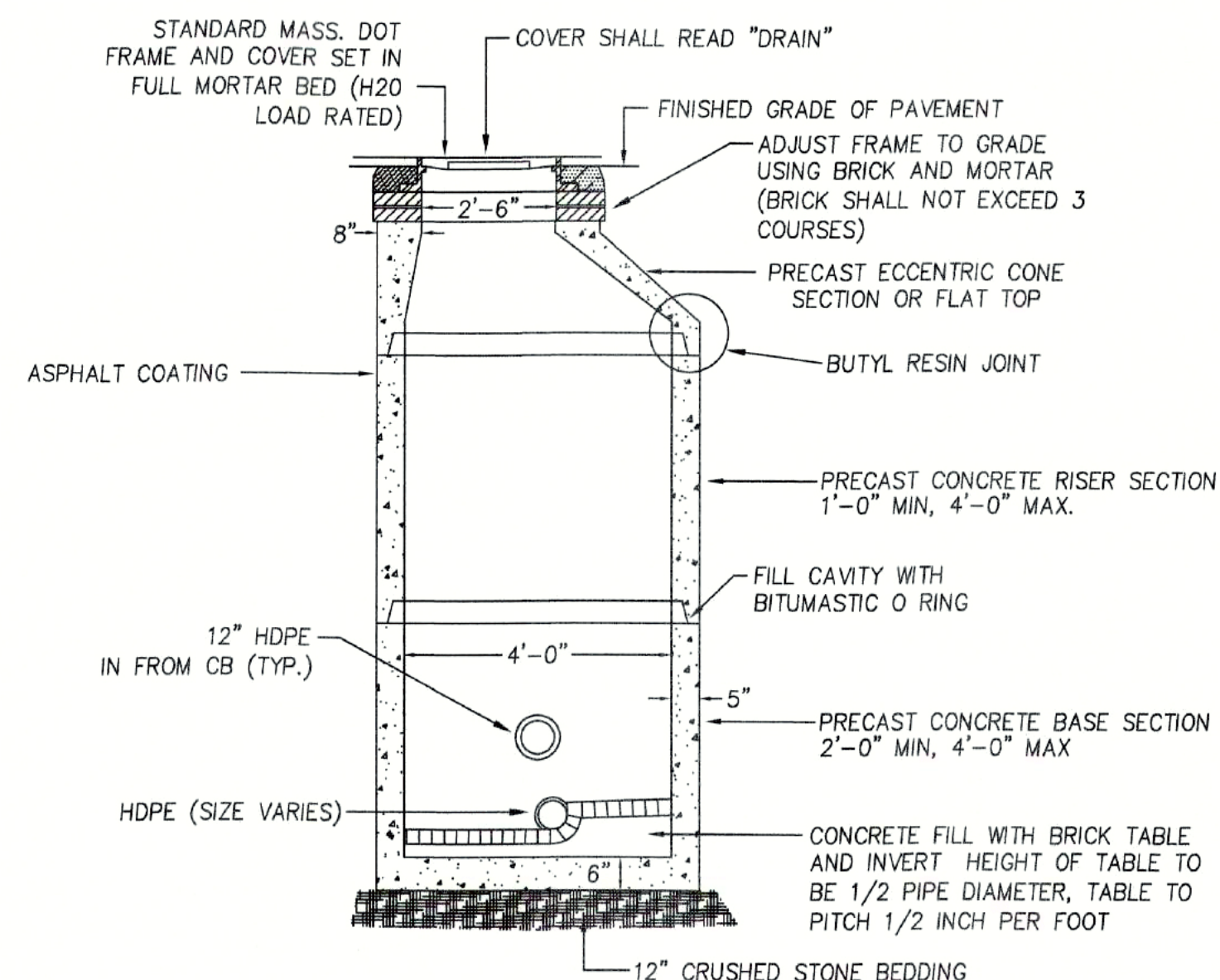
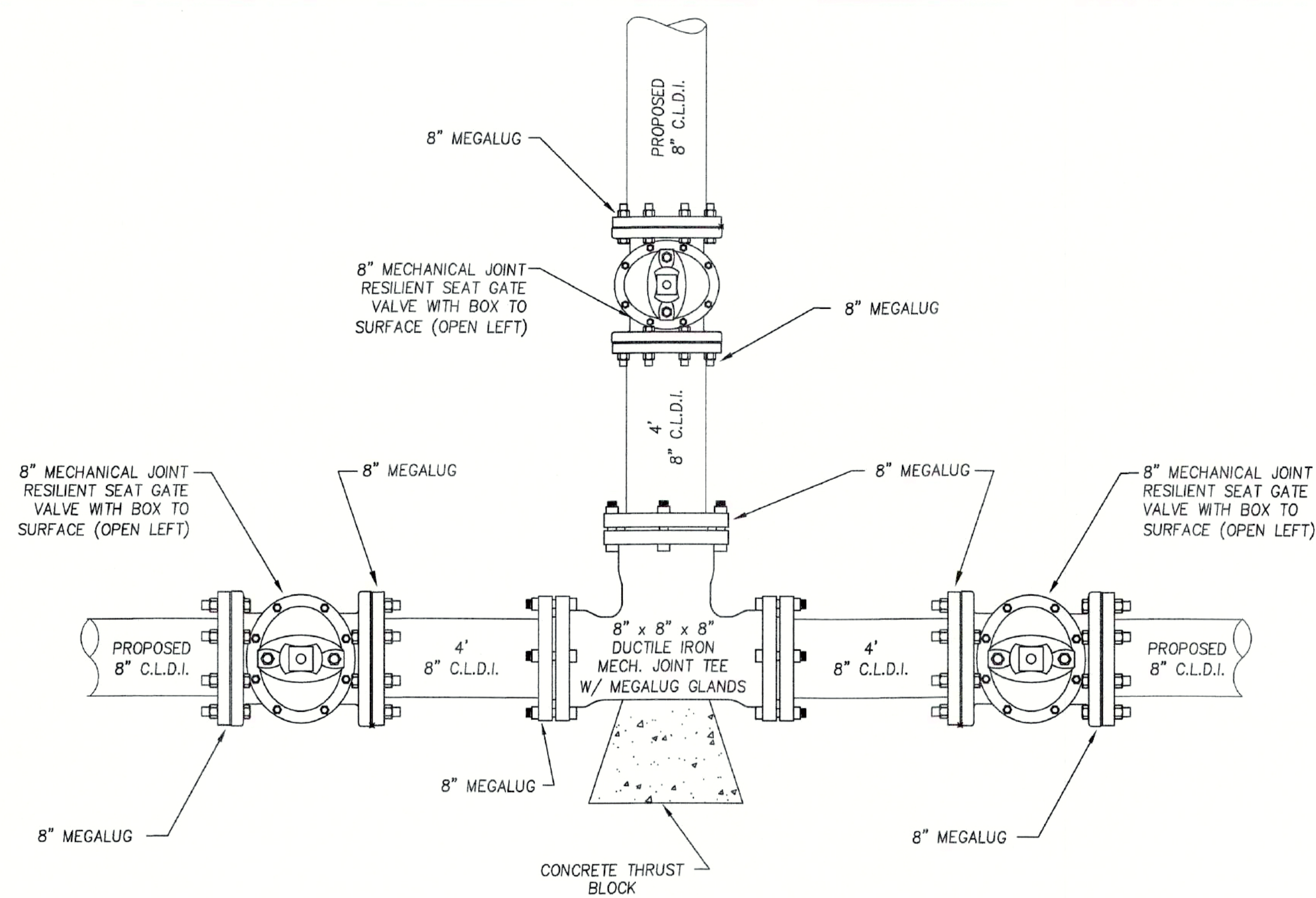
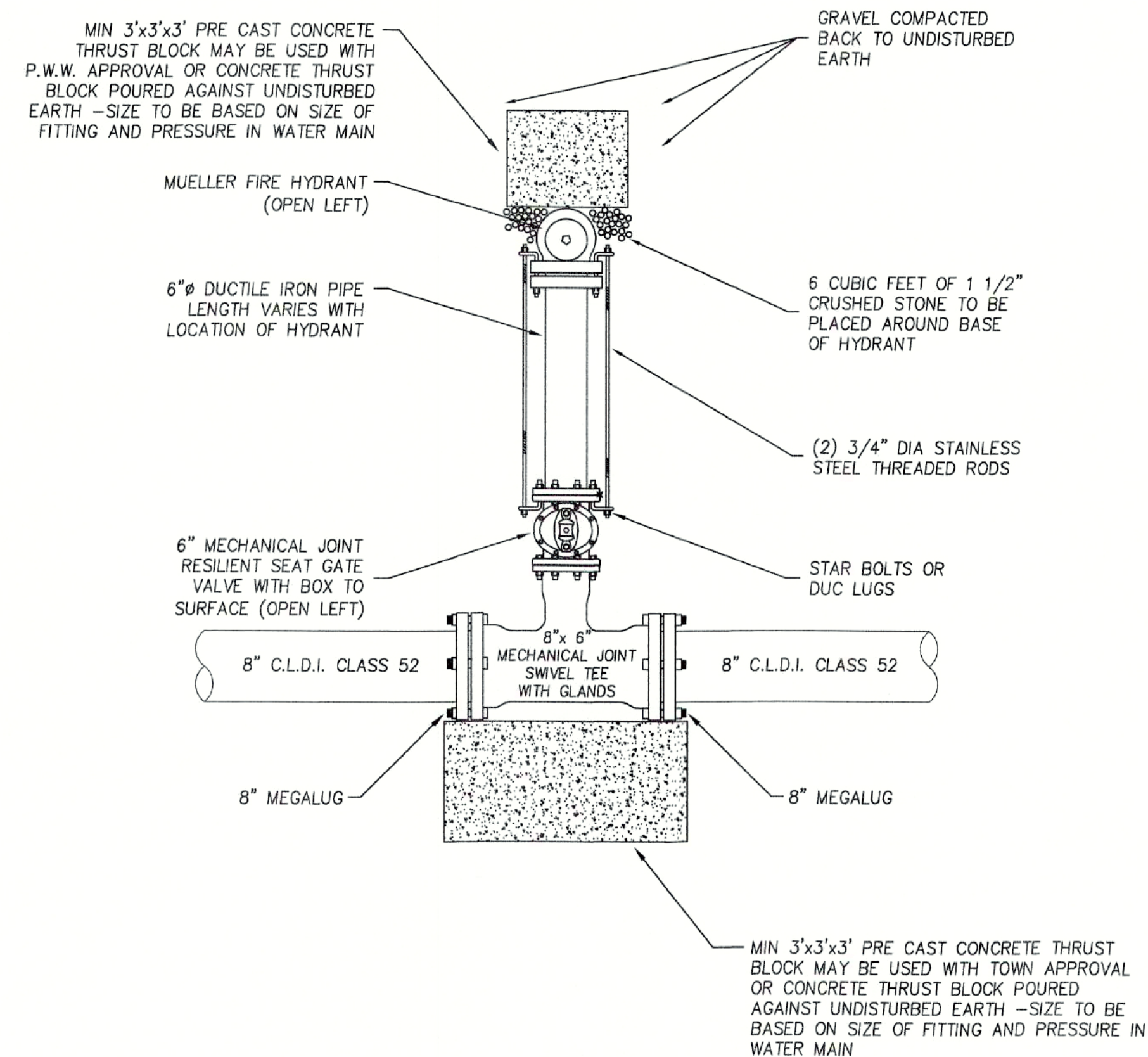
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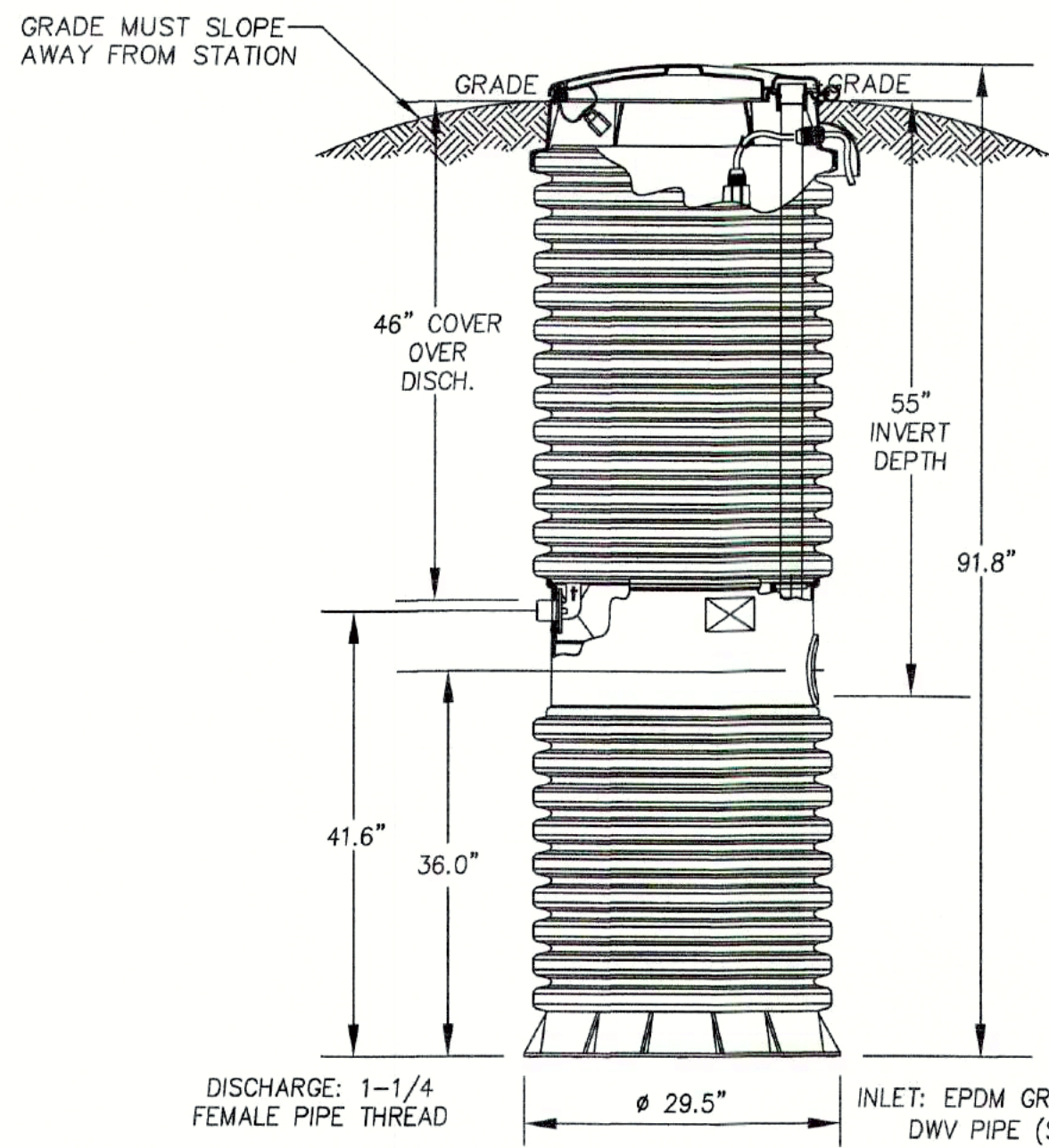
PLAN OF LAND
IN
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UTILITY PLAN
& PROFILE

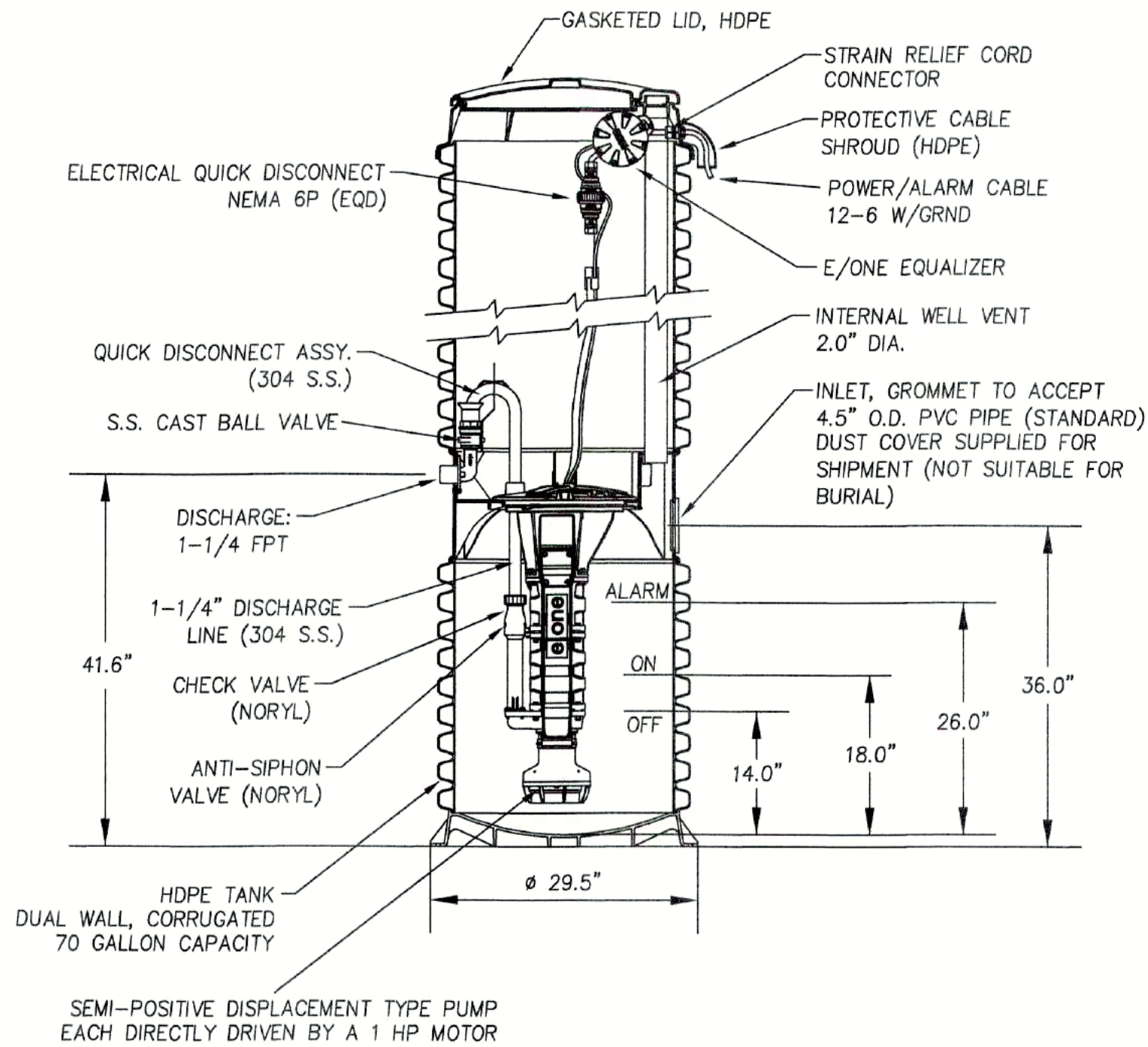
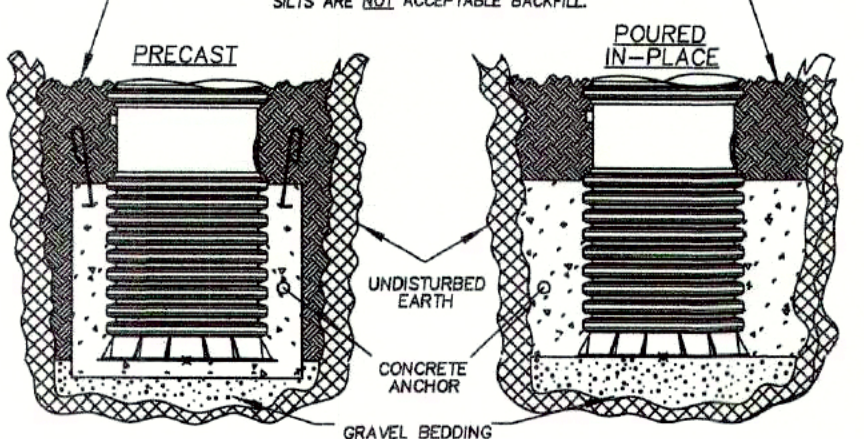
SHEET: C-10

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**SEE INSTALLATION INSTRUCTIONS FOR FURTHER DETAILS
NOTE: A CONCRETE ANCHOR OF 2600 lbs (17.3 cu ft) IS REQUIRED ON ALL MODEL 2010 93" STATIONS.
FILL TO GRADE WITH CLEAN, COMPACTABLE BACKFILL, SUCH AS PEA GRAVEL OR CRUSHED STONE. 1/2" - 3/4" IN SIZE. CLAY AND SILT ARE NOT ACCEPTABLE BACKFILL.

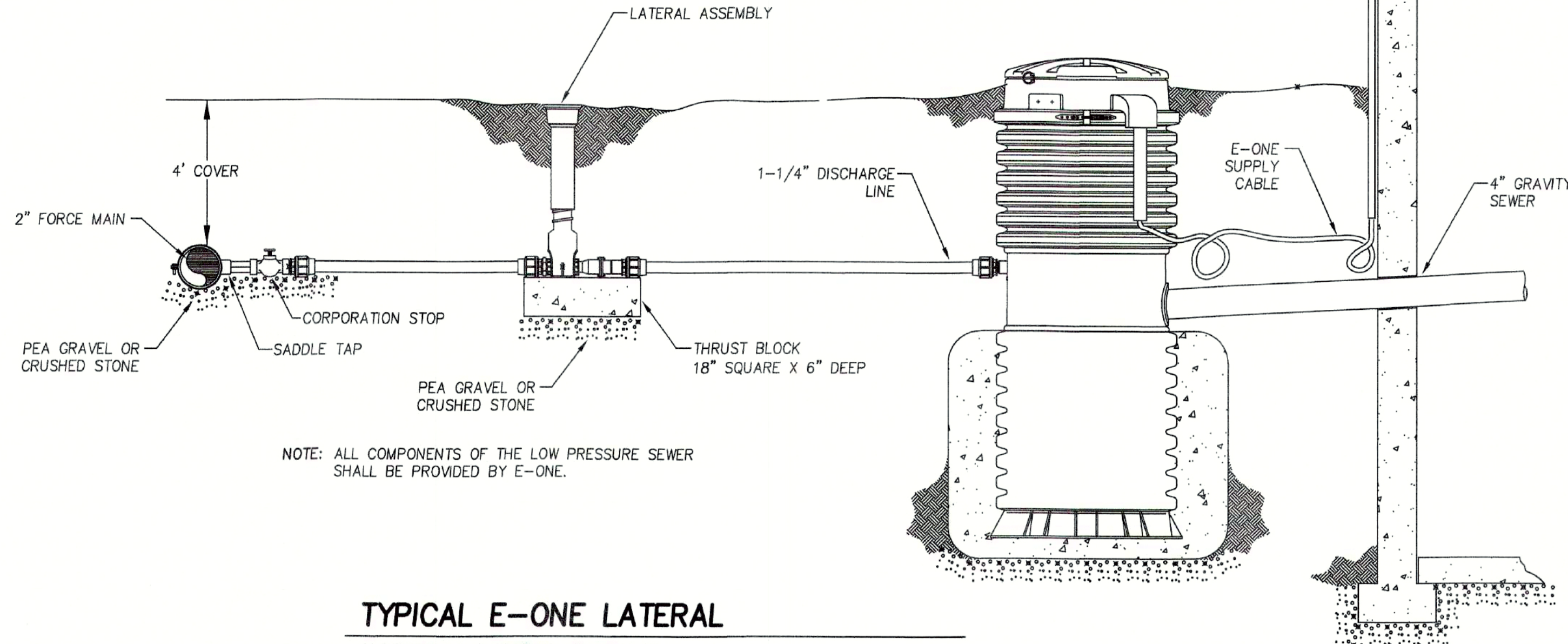


NOTE: ALL COMPONENTS OF THE LOW PRESSURE SEWER SHALL BE PROVIDED BY E-ONE.

environment
one
CORPORATION

EONE SEWER PUMP MODEL DH071-93 DETAIL

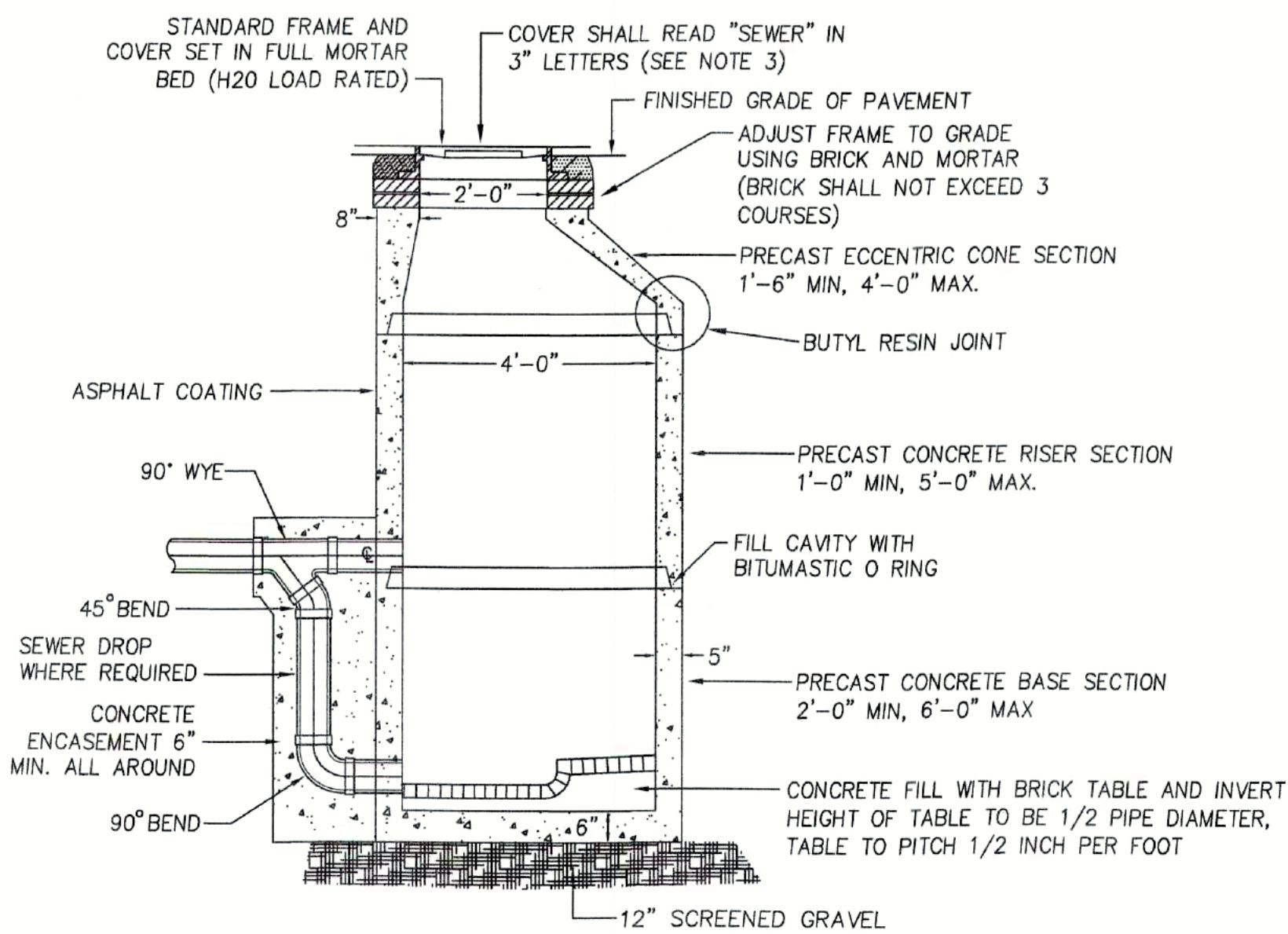
N.T.S.



NOTE: ALL COMPONENTS OF THE LOW PRESSURE SEWER SHALL BE PROVIDED BY E-ONE.

TYPICAL E-ONE LATERAL INSTALLATION DETAIL

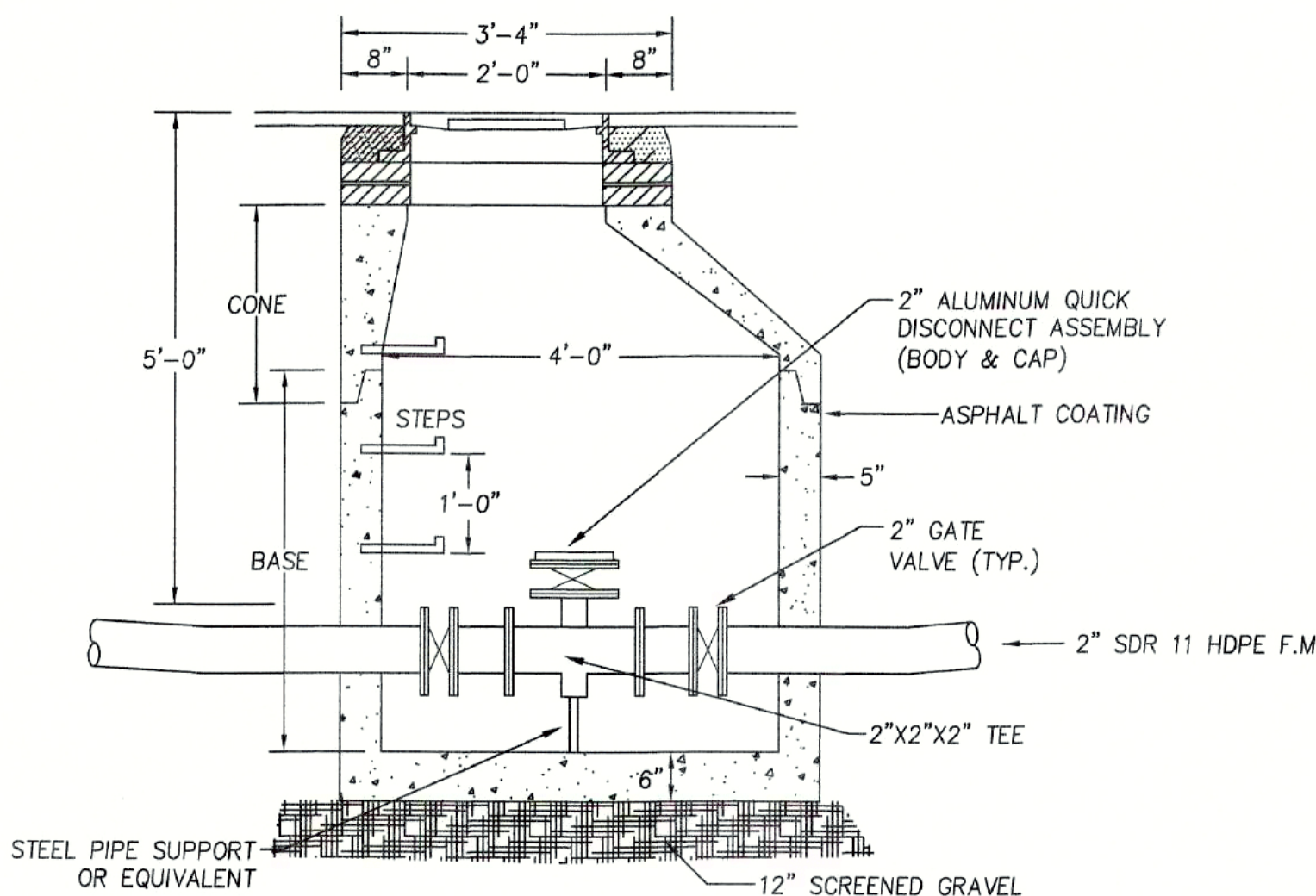
N.T.S.



NOTES: 1) SEWER MANHOLES SHALL CONFORM TO ASTM C478 AND ASTM C185
2) STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC STEPS SHALL CONFORM TO LATEST ASTM C478 SPEC.
3) COVER SHALL BE LEBARON FOUNDRY (MODEL NO. LA248), MECHANICS IRON FOUNDRY, NEEHAN FOUNDRY, OR EQUAL.

PRECAST SEWER MANHOLE DETAIL

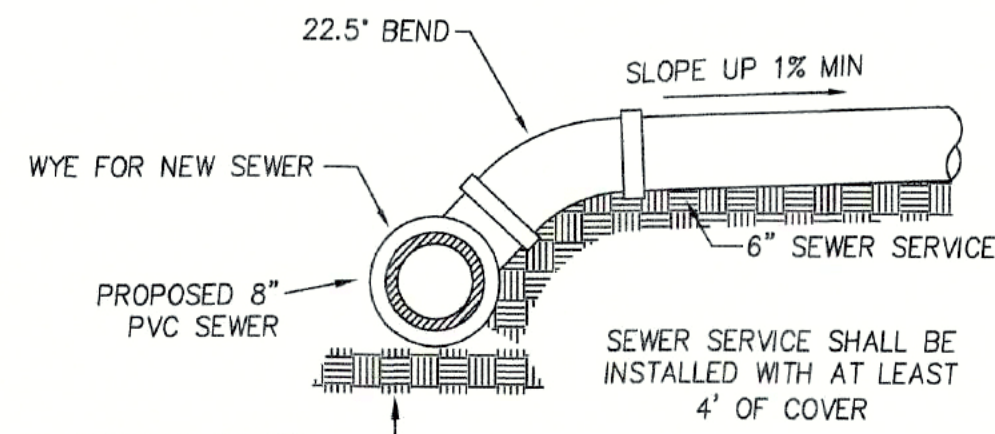
N.T.S.



NOTES:
1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
2. REINFORCED STEEL CONFORMS TO LATEST ASTM A185 SPEC. 0.12 SQ. IN./LINEAL FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM.
3. H-20 DESIGN LOADING PER AASHTO HS-20-44; ASTM C478 SPEC FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."
4. BUTYL RESIN SECTION JOINT CONFORMS TO LATEST ASTM C443 SPEC.
5. STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC STEPS SHALL CONFORM TO LATEST ASTM C478 SPEC.
6. A SIGN SHALL BE ADDED IN THE MANHOLE STATING "DO NOT CONNECT TO MUNICIPAL WATER SYSTEM TO FLUSH FORCE MAIN".

FORCE MAIN CLEANOUT DETAIL

N.T.S.



SEWER SERVICE DETAIL

N.T.S.

SEWER TESTING SPECIFICATIONS

THE SEWER DEPARTMENT SHALL BE NOTIFIED 48 HOURS BEFORE ALL TESTING TAKES PLACE IN ORDER THAT A REPRESENTATIVE OF THE DEPARTMENT OF PUBLIC SERVICES CAN BE PRESENT.

- TESTING PROCEDURES FOR SEWER MAINS AND INDIVIDUAL SEWER SERVICES SHALL BE AS SPECIFIED IN ASTM C828-01, C924-02, AND F1417-92 (OR LATEST REVISIONS)-STANDARD TEST METHOD FOR LOW PRESSURE AIR TEST (VCP, CP, PVCP) SEWER LINES, FURTHER AS MODIFIED BY THE ALLOWABLE PRESSURE LOSS SHALL NOT EXCEED 0.5 PSI WITHIN THE TIME REQUIREMENTS. MAINS SHALL BE MANDREL TESTED PRIOR TO ACCEPTANCE BY THE SEWER DEPARTMENT.
- TESTING PROCEDURES FOR SEWER FORCE MAINS SHALL BE AS SPECIFIED IN ASTM C828-01, C924-02, AND F1417-92 (OR LATEST REVISIONS), FURTHER AS MODIFIED BY THE "STARTING TEST PRESSURE" SHALL BE A MINIMUM OF 10.0 PSI, 50% OF THE MAXIMUM RATED PRESSURE, THE ALLOWABLE PRESSURE LOSS SHALL NOT EXCEED 0.5 PSI WITHIN THE TEST TIME REQUIRED AND THE TEST TIME SHALL BE AN INITIAL 15 MINUTES FOR ALL PIPE DIAMETERS. TEST TIME SHALL BE $T = (0.05)D^3(L-500)+15$ WHERE D=DIAMETER OF PIPE IN INCHES AND L=LENGTH OF PIPE TO BE TESTED IN FEET.
- TESTING PROCEDURES FOR SEWER MANHOLES AND PUMP STATION SHALL BE AS SPECIFIED IN ASTM C1244-02 (OR LATEST REVISION)-STANDARD TEST METHOD FOR CONCRETE SEWER MANHOLES BY NEGATIVE AIR PRESSURE (VACUUM) TEST, FURTHER AS MODIFIED BY THE ALLOWABLE VACUUM LOSS SHALL NOT EXCEED 1" HG WITH ONE MINUTE FOR ALL MANHOLE SIZES.

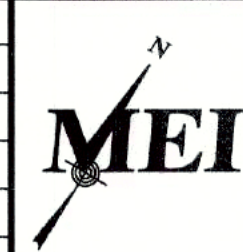
PVC SEWER COLLECTION PIPE NOTES:

- PVC PIPE, COUPLINGS, AND FITTINGS FOR GRAVITY SEWERS SHALL CONFORM TO ASTM D3034 WITH AN SDR OF 35 UNLESS OTHERWISE SHOWN ON THE PLANS.
- PVC PIPE, COUPLINGS, AND FITTINGS FOR SEWER FORCE MAINS SHALL CONFORM TO ASTM 2241 WITH AN SDR OF 21 UNLESS OTHERWISE SHOWN ON THE PLANS.
- JOINTS FOR PVC PIPE SHALL BE PUSH ON JOINTS USING PERMANENTLY BONDED ELASTOMERIC RING JOINTS.
- FORCE MAINS SHALL BE INSTALLED WITH A CONTINUOUS SLOPE BETWEEN THE HIGH AND LOW POINTS.
- ALL FORCE MAIN FITTINGS SHALL BE RESTRAINED USING SERIES 7500 RESTRAINT FOR PVC FITTINGS AS MANUFACTURED BY EBBA IRON INC. OR APPROVED EQUAL.
- CONCRETE USED FOR THRUST BLOCKS SHALL HAVE A MINIMUM STRENGTH OF 3000 PSI. THRUST BLOCKS SHALL BE PLACED AT ALL FORCEMAIN BENDS 11 1/4 DEGREES AND GREATER, AT FITTINGS.



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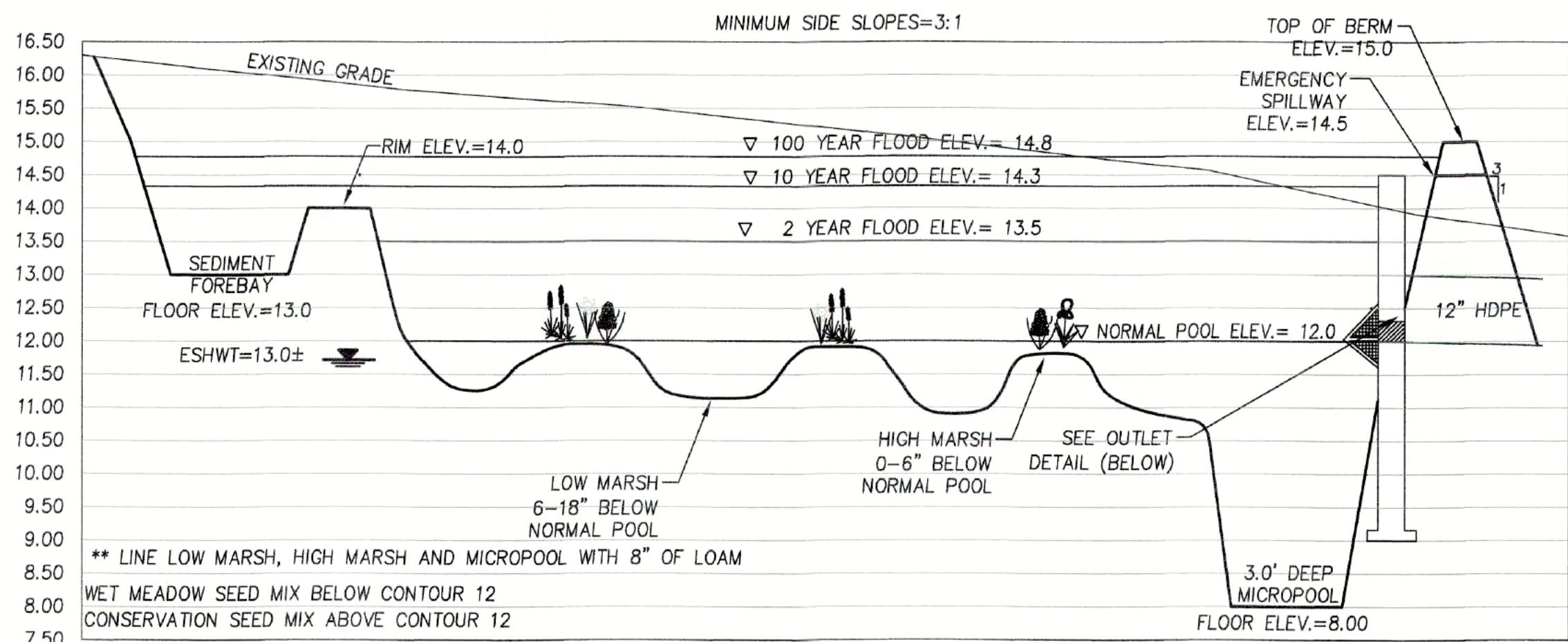
MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
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SITE PLAN
IN
SALISBURY, MA

SHOWING
56 UNIT TOWNHOUSE COMMUNITY
AT
10 FOREST ROAD & MEADOWVIEW LANE

SEWER
DETAILS

SHEET: C-12

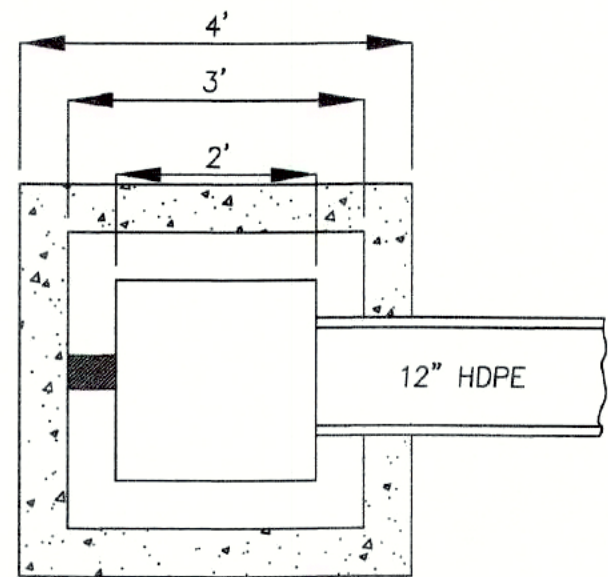


CONSTRUCTED WETLAND #1
PROFILE VIEW

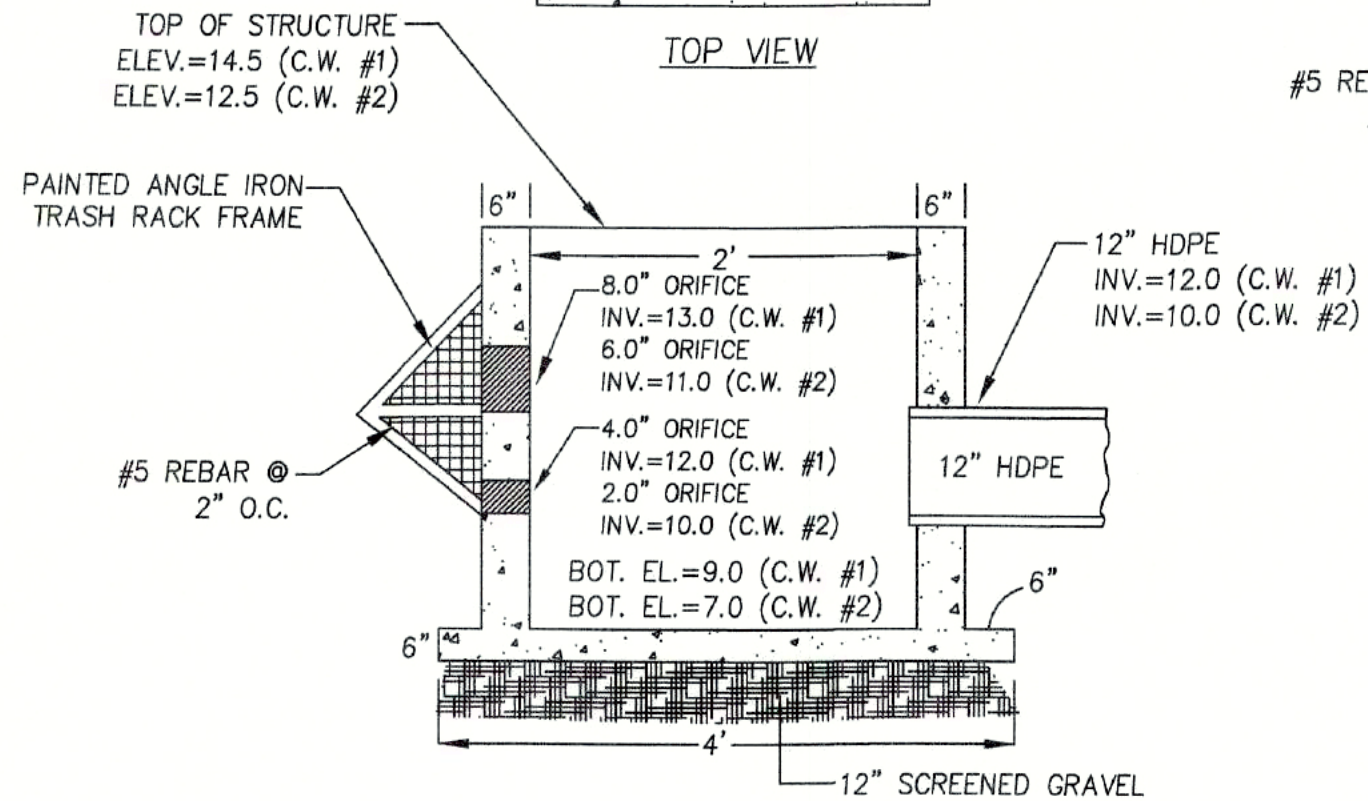
HORIZ. SCALE: N.T.S.
VERT. SCALE: 1"=2'

GENERAL NOTES FOR
CONSTRUCTED WETLANDS:

- WETLAND BERMS SHALL BE CONSTRUCTED OF FILL MATERIAL FREE OF ROOTS, STUMPS, WOOD, RUBBISH, STONES GREATER THAN 6", OR OTHER OBJECTIONABLE MATERIALS. FILL MATERIAL FOR THE CENTER OF THE BERM SHALL CONFORM TO UNIFIED SOIL CLASSIFICATION CC, SC, CH, OR CL AND HAVE AT LEAST 30% PASSING THE #200 SIEVE. MATERIALS USED IN THE OUTER SHELL OF THE BERMS SHALL BE CAPABLE OF SUPPORTING THE VEGETATION SPECIFIED ON THE PLANS.
- FILL MATERIALS SHALL BE PLACED IN MAXIMUM 8-INCH LIFTS AND COMPACTED WITH A MINIMUM REQUIRED DENSITY OF NOT LESS THAN 95% OF MAXIMUM DRY DENSITY.
- PRIOR TO FILL MATERIAL INSTALLATION, ALL TOPSOIL, SUBSOIL, AND UNSUITABLE MATERIAL (i.e. LEDGE) SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
- EROSION CONTROL MATTING SHALL BE INSTALLED ON ALL OUTSIDE SLOPES OF STORMWATER BASINS. MATTING SHALL BE A WOVEN JUTE MESH MANUFACTURED BY MACCAFERRI COMPANY, OR APPROVED EQUAL.
- ALL PIPING WITHIN CONSTRUCTED WETLAND BERMS SHALL INCLUDE ANTI-SEEPAGE COLLARS.



TOP VIEW

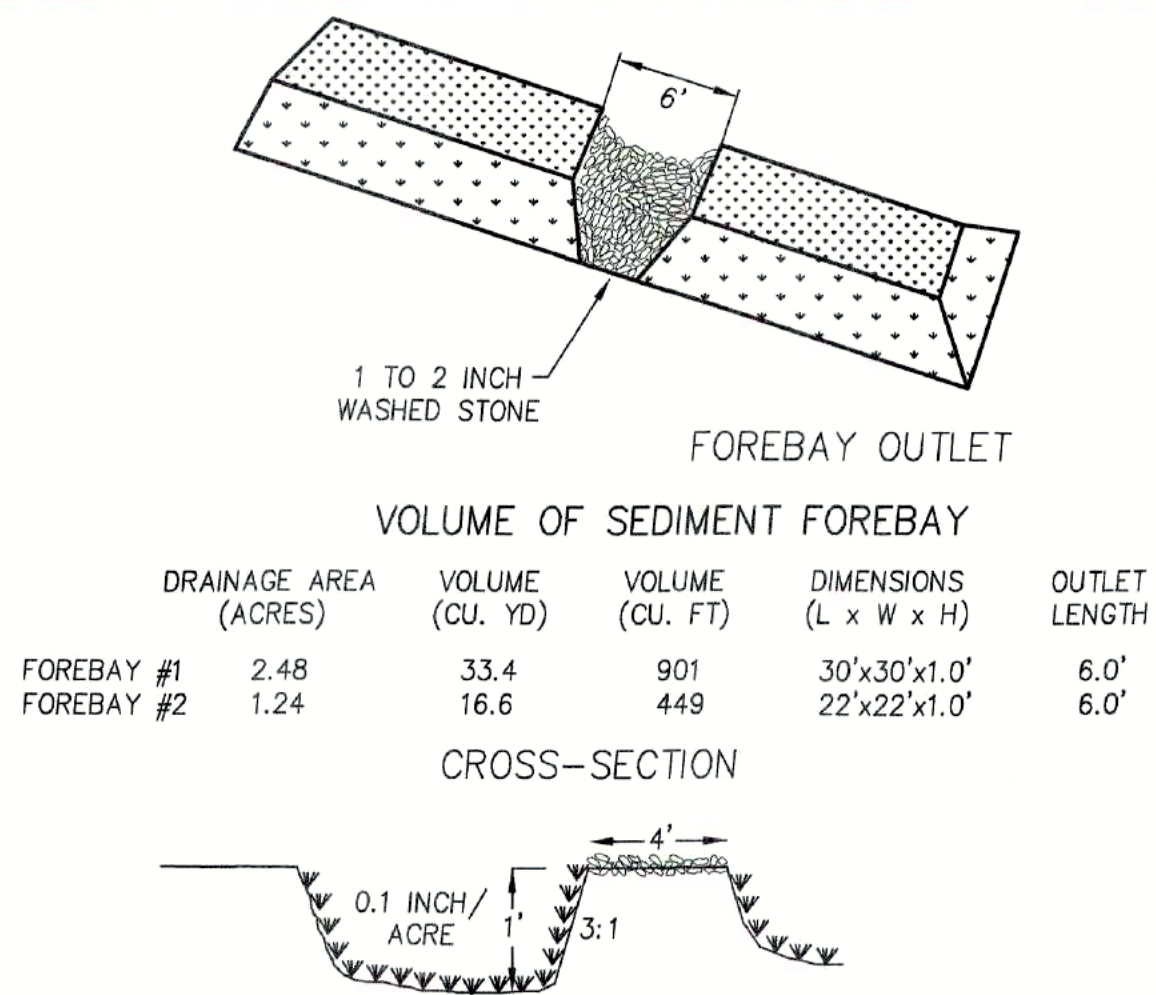


SIDE VIEW

- NOTE:
- ANY EXPOSED REBAR SHALL BE COATED WITH A RUST-RESISTANT PAINT.

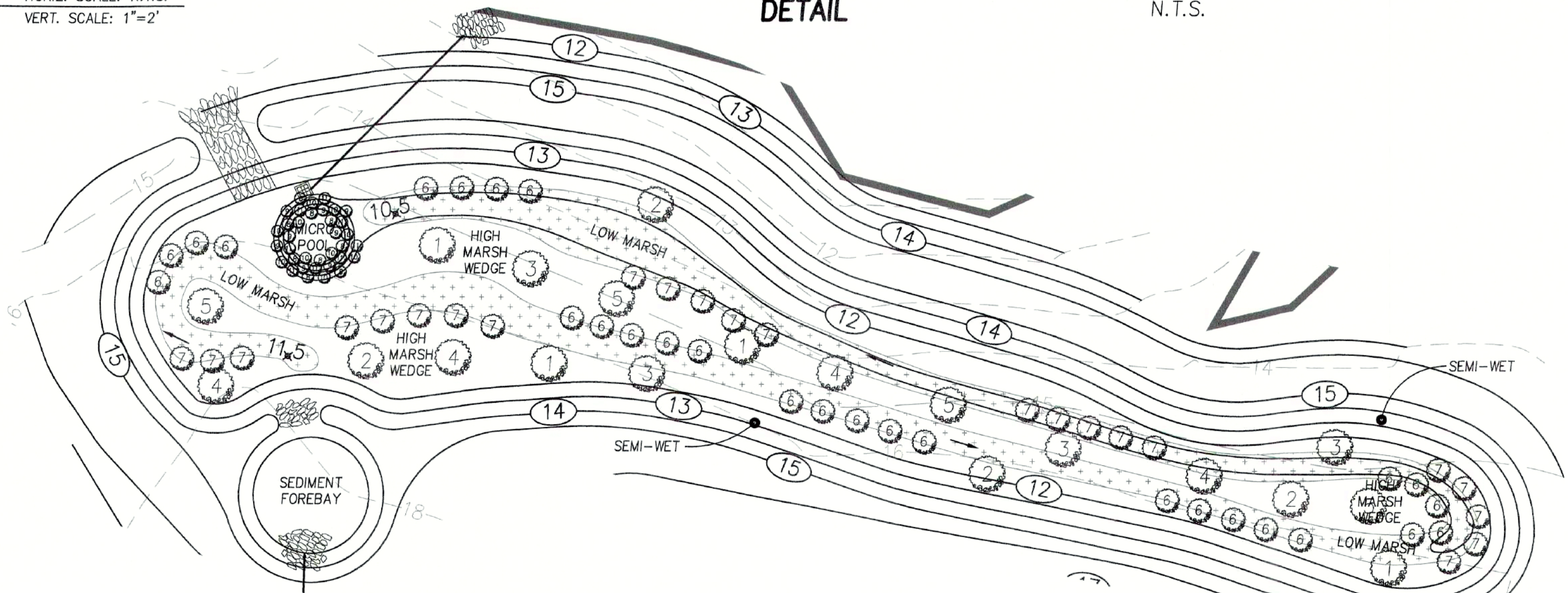
OUTLET STRUCTURE
DETAIL

N.T.S.



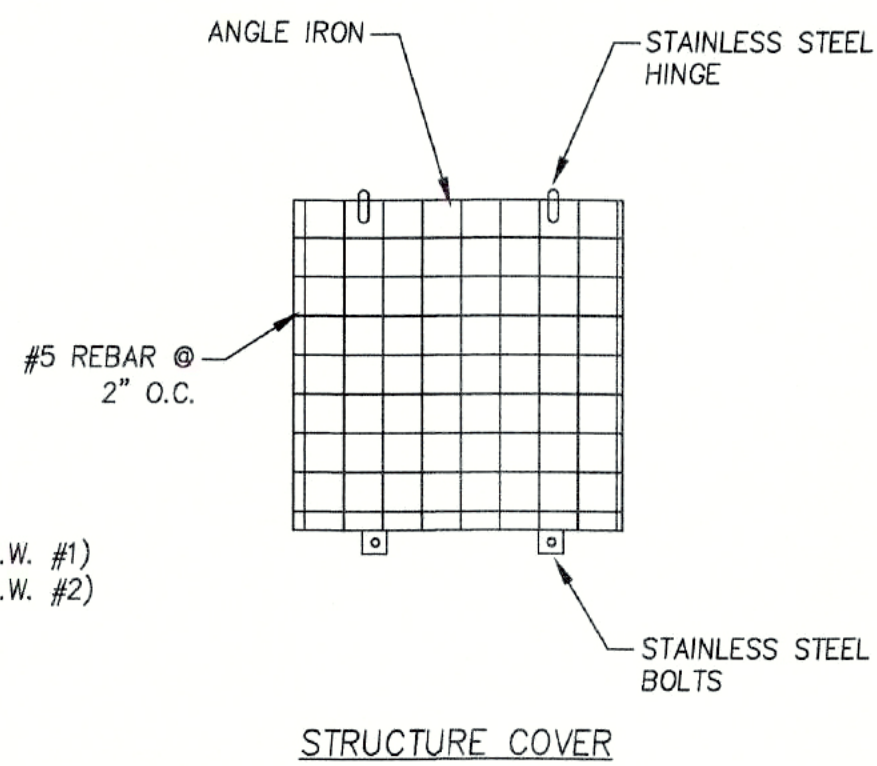
SEDIMENT FOREBAY
DETAIL

N.T.S.

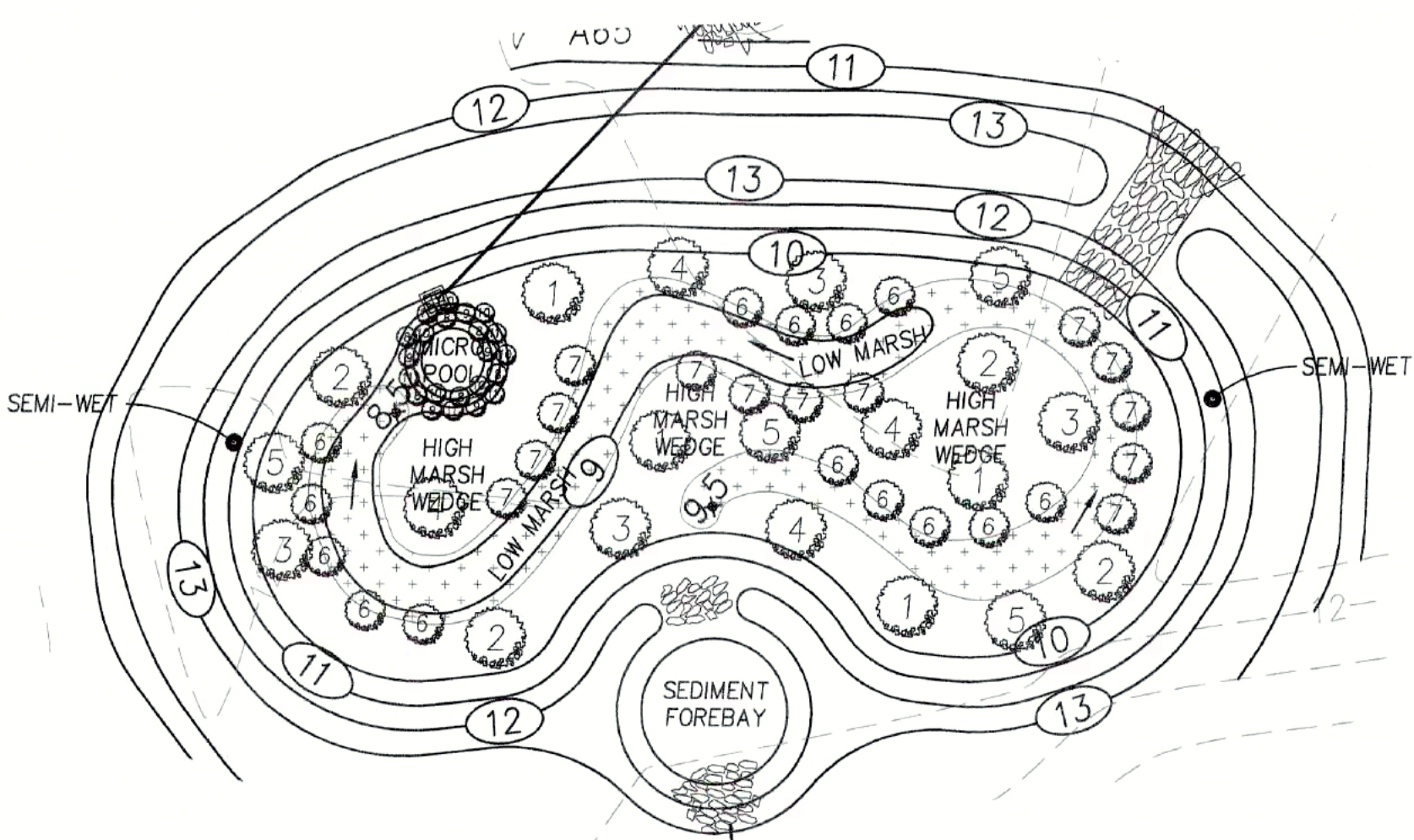


CONSTRUCTED WETLAND #1
LAYOUT

HORIZ. SCALE: 1"=20'

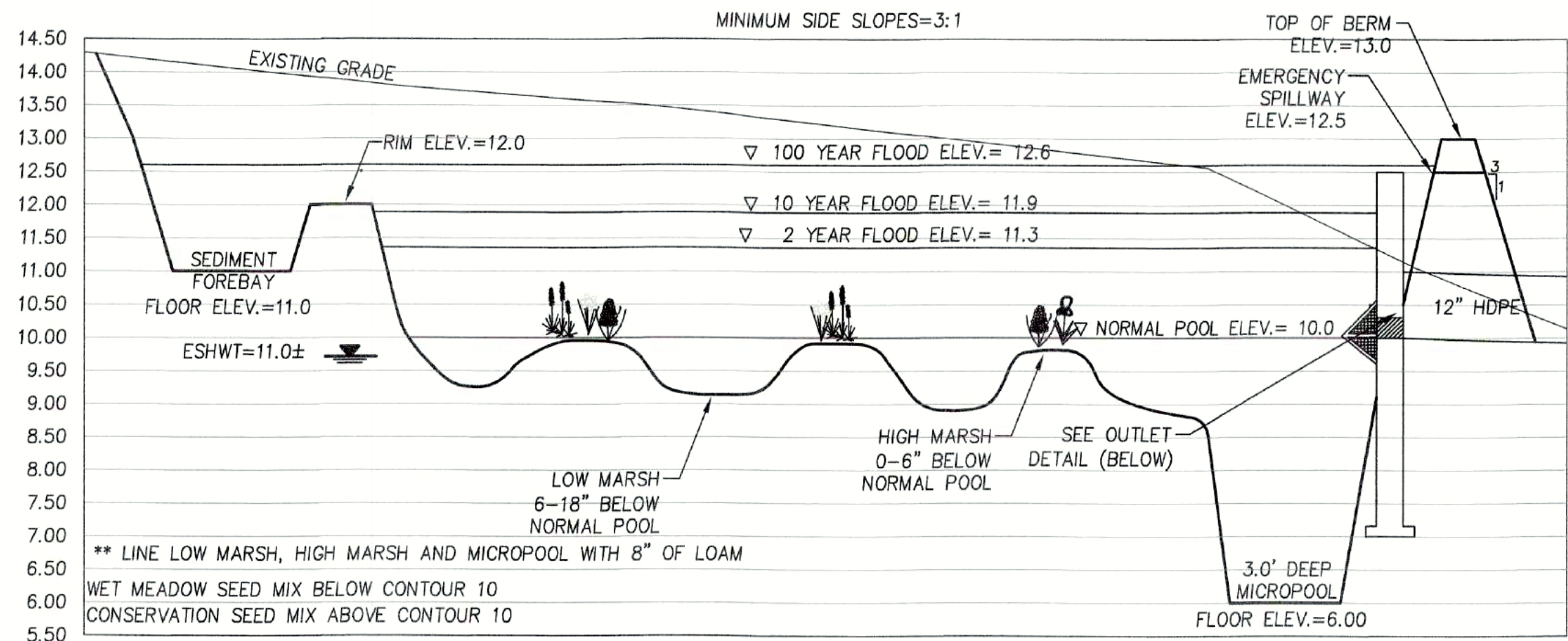


STRUCTURE COVER



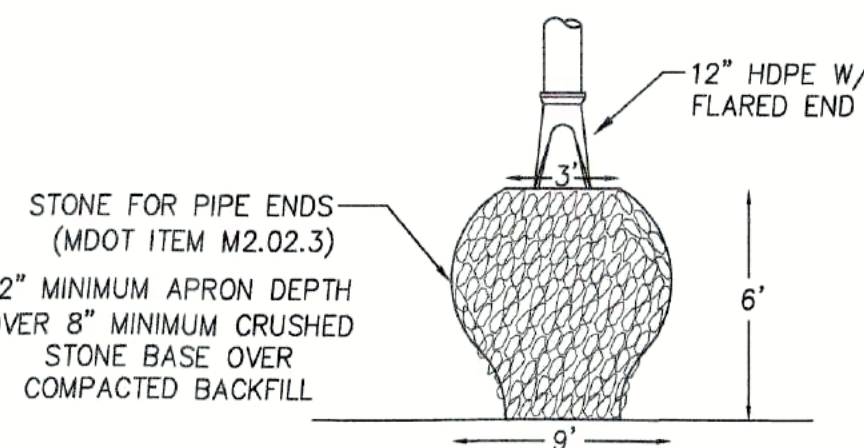
CONSTRUCTED WETLAND #2
LAYOUT

HORIZ. SCALE: 1"=20'



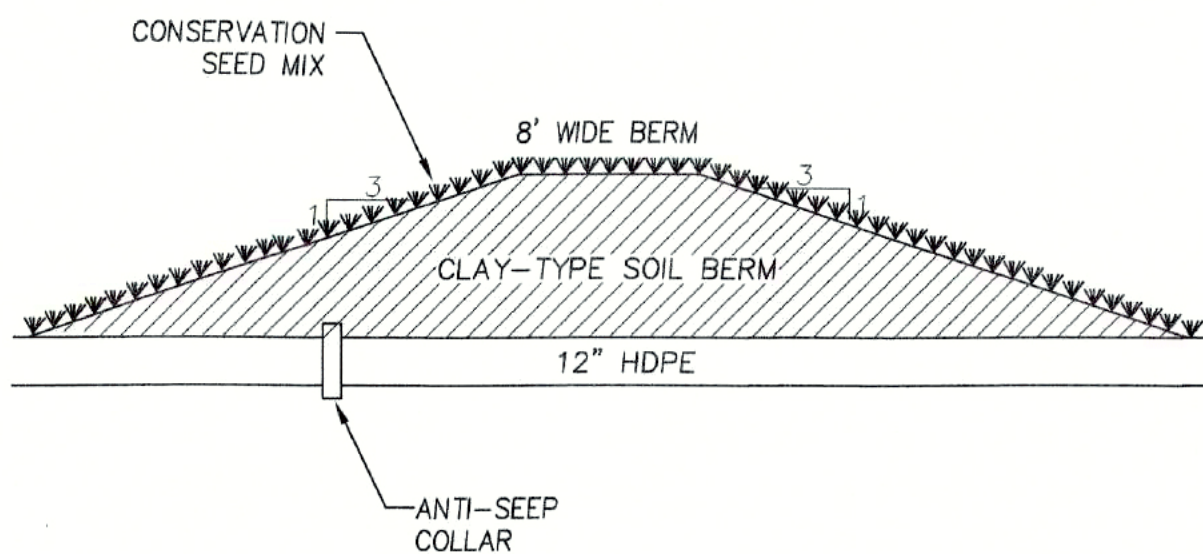
CONSTRUCTED WETLAND #2
PROFILE VIEW

HORIZ. SCALE: N.T.S.
VERT. SCALE: 1"=2'



TYPICAL RIP-RAP
APRON DETAIL

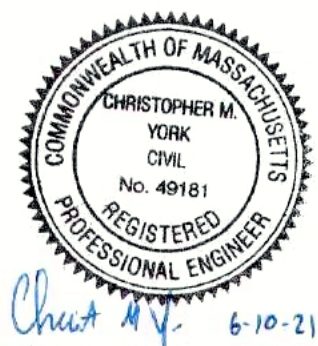
N.T.S.



CONSTRUCTED WETLAND
BERM DETAIL

N.T.S.

| CONSTRUCTED WETLAND PLANT LIST | | | | | |
|--------------------------------|----------------------|-------------------------------------|----------|------------------|--|
| SYMBOL | COMMON NAME | LATIN NAME | HEIGHT | NUMBER | ZONE |
| ① | SWEET PEPPERBUSH | CLETHRA ALNIFOLIA | 3-4' | 4 | HIGH MARSH/SLOPE |
| ② | NORTHERN ARROWWOOD | VIBURNUM DENTATUM | 3-4' | 4 | HIGH MARSH/LOWER SLOPE |
| ③ | WINTERBERRY HOLLY | ILEX VERTICILLATA | 3-4' | 4 (INCL. 1 MALE) | HIGH MARSH |
| ④ | HIGHBUSH BLUEBERRY | VACCINIUM CORYMBOSUM | 3-4' | 4 | HIGH MARSH/LOWER SLOPE |
| ⑤ | RED-OSIER DOGWOOD | CORNUS SERICEA | 3-4' | 4 | HIGH MARSH/LOWER SLOPE |
| ⑥ | BLUE FLAG IRIS | IRIS VERSICOLOR | 2' PLUGS | 20 | HI MARSH/LO MARSH BORDER |
| ⑦ | CARDINAL FLOWER | LOBELIA CARDINALIS | 2' PLUGS | 20 | EDGE HI MARSH/LO MARSH INTO HIGH MARSH |
| ⑧ | SOFT-STEM BULRUSH | SCHOENOPLECTUS TABERNAEMONTANI | 2' PLUGS | 15 | LO SLOPE/MICROPOOL EDGE |
| ⑨ | GREEN BULRUSH | SCIRPUS ATROVIRENS | 2' PLUGS | 15 | MID/LOWER MICROPOOL SLOPE |
| ⑩ | CHAIRMAKER'S BULRUSH | SCHOENOPLECTUS (SCIRPUS) AMERICANUS | 2' PLUGS | 15 | MID/LOWER MICROPOOL SLOPE |
| ⑪ | SWEETFLAG | ACORUS AMERICANUS | 2' PLUGS | 15 | MID/LOWER MICROPOOL SLOPE |



PREPARED FOR
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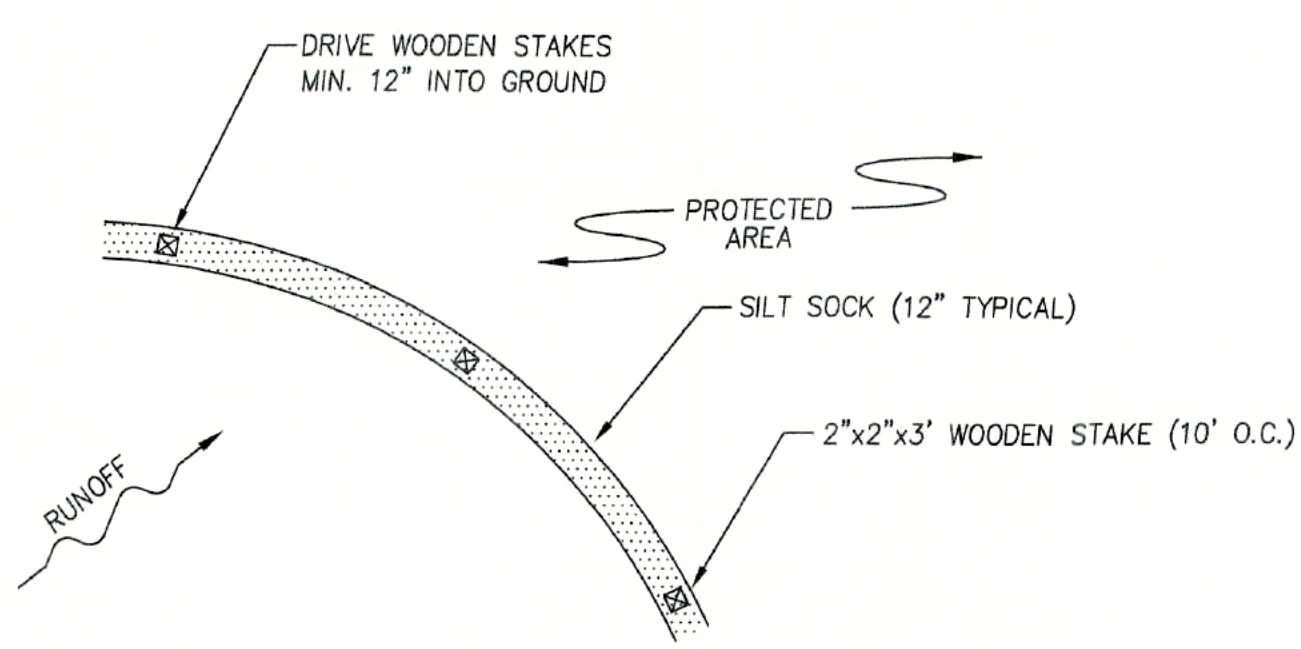
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SITE PLAN
IN
SALISBURY, MA

SHOWING
56 UNIT TOWNHOUSE COMMUNITY
AT
10 FOREST ROAD & MEADOWVIEW LANE

**DRAINAGE
DETAILS**

SHEET: C-13

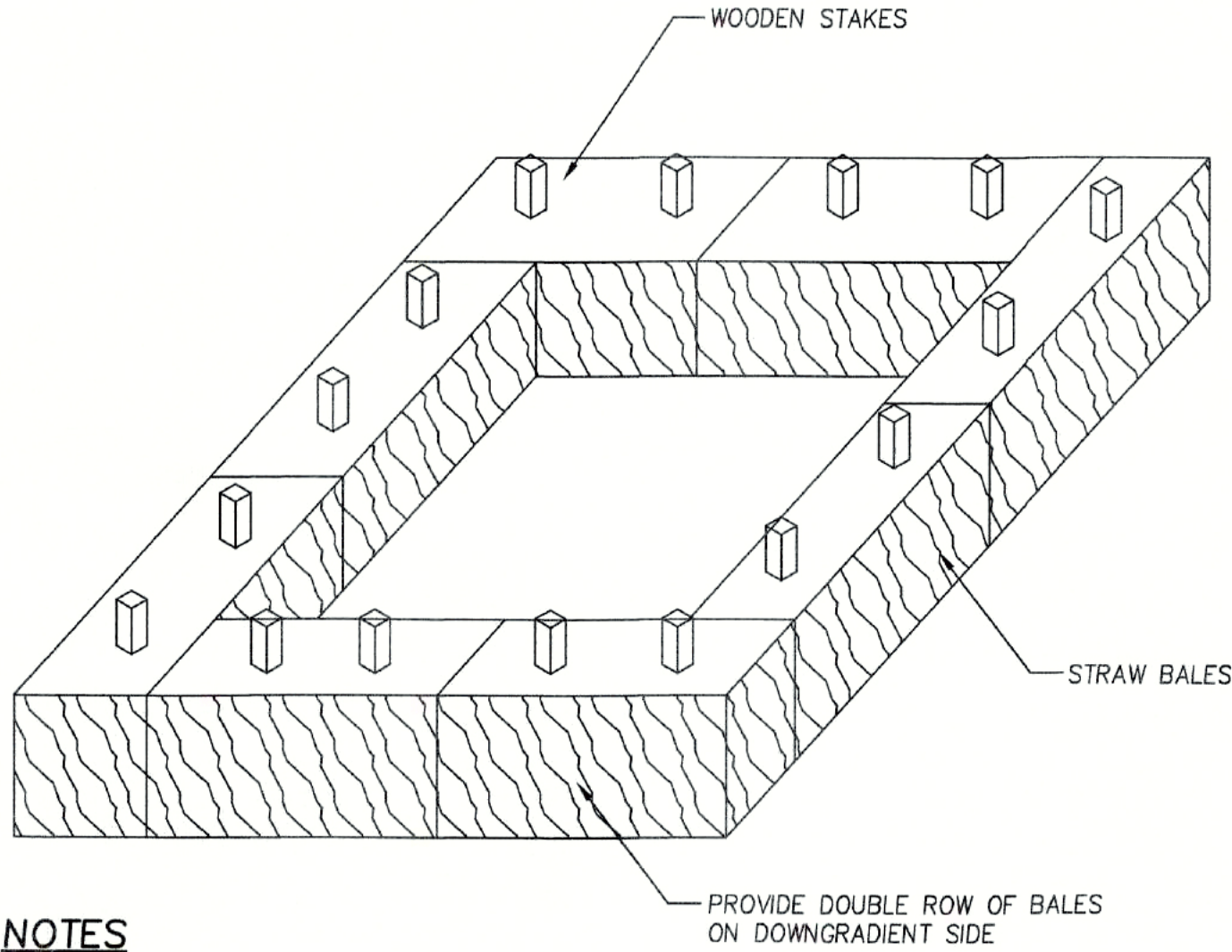


NOTES

1. ALL MATERIAL SHALL MEET SPECIFICATIONS BY FILTREXX OR APPROVED EQUAL.
2. SILT SOCK SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
3. THE CONTRACTOR SHALL REMOVE SEDIMENT AT THE BASE OF THE UPSLOPE SIDE OF THE SILT SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE SILT SOCK.
4. SILT SOCK SHALL BE MAINTAINED UNTIL DISTURBED AREA ABOVE THE DEVICE HAS BEEN PERMANENTLY STABILIZED AND CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
5. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE SOCK HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

SILT SOCK
INSTALLATION

N.T.S.

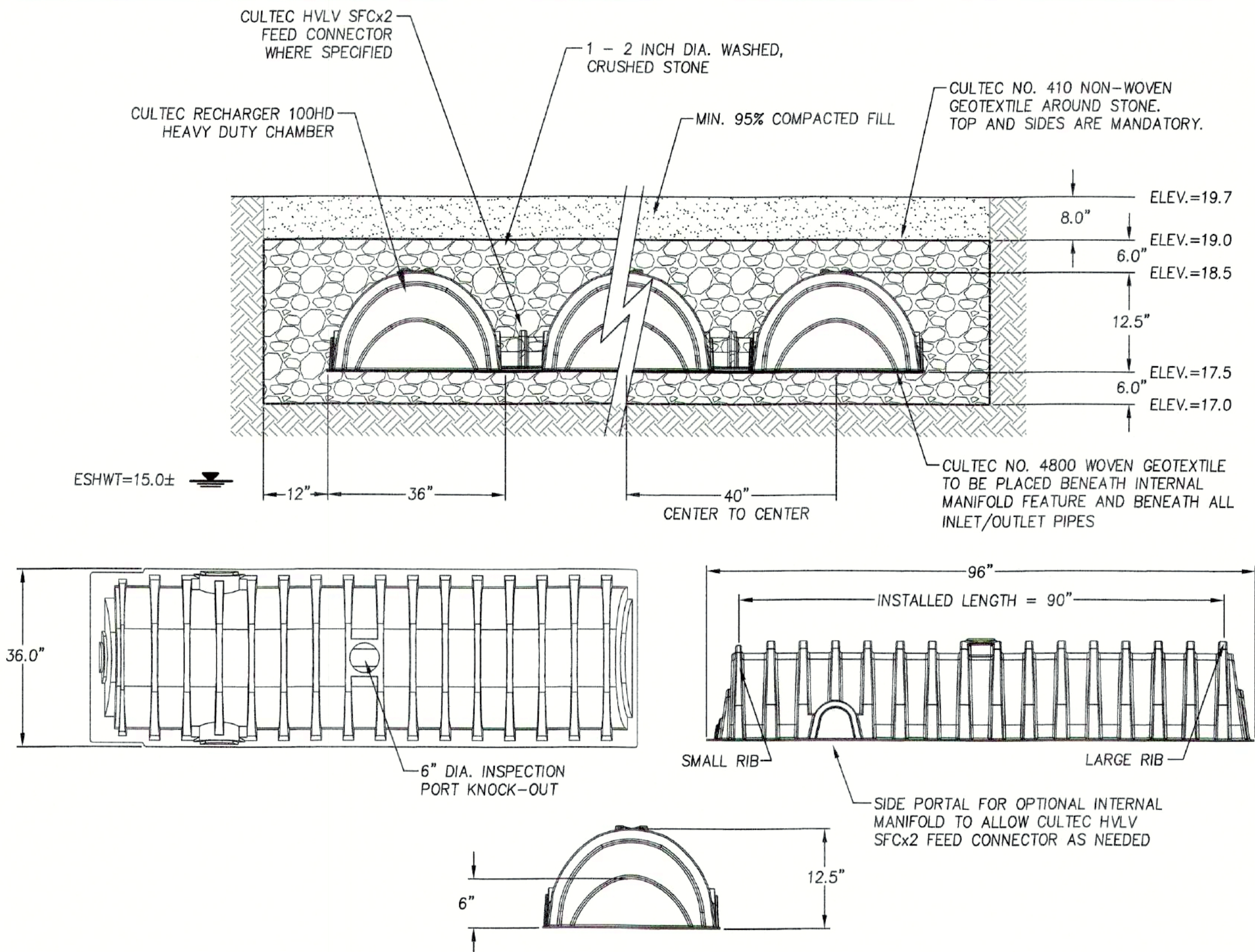


NOTES

1. DURING THE ACTIVE DEWATERING PROCESS, THE STRUCTURE SHALL BE INSPECTED FREQUENTLY (E.G. ONCE PER HOUR).
2. SEDIMENT BUILDUP SHOULD BE REMOVED PERIODICALLY TO ENSURE THAT THE STRUCTURE'S ABILITY TO EFFECTIVELY FILTER SEDIMENT IS MAINTAINED.

TYPICAL DEWATERING
DETAIL

N.T.S.

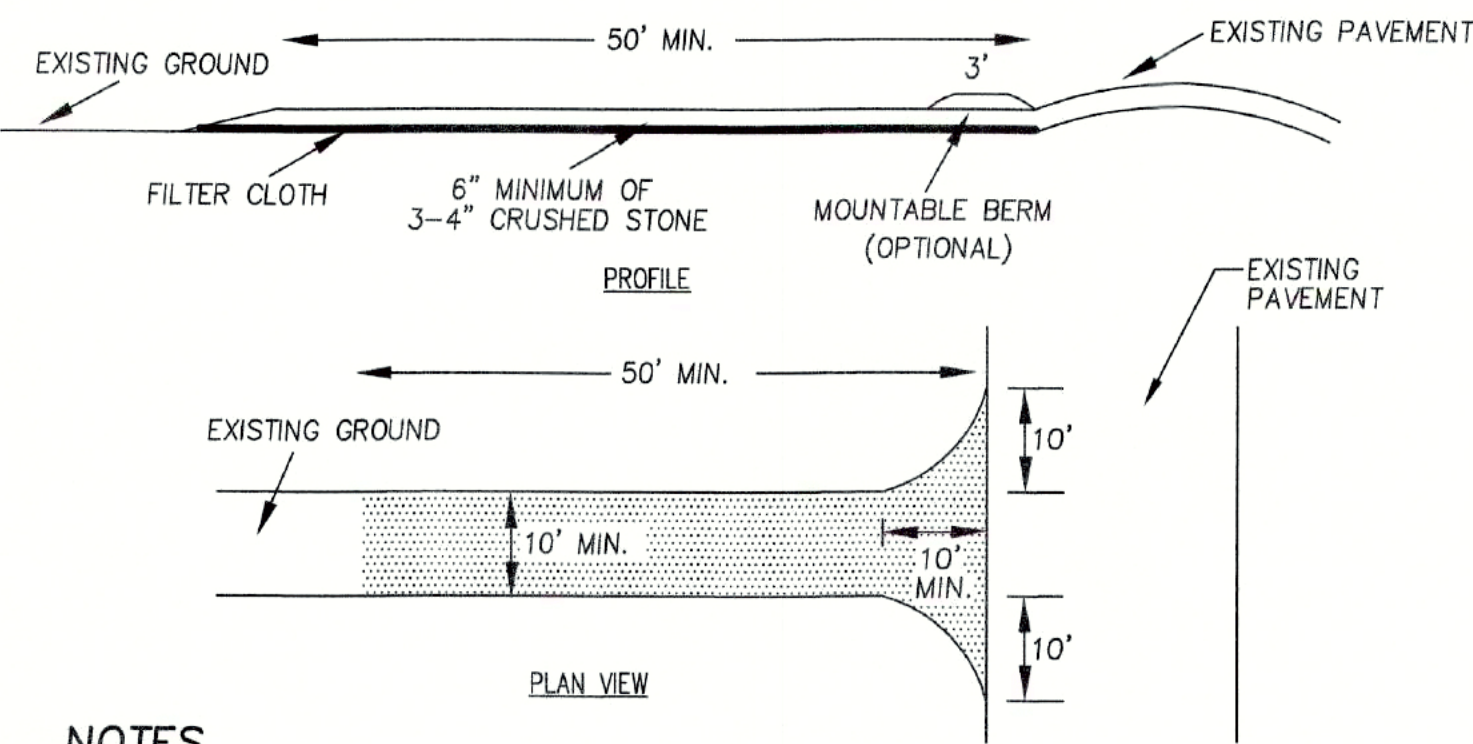


GENERAL NOTES:

- 1) RECHARGER 100HD BY CULTEC, INC. OF BROOKFIELD, CT. ALL RECHARGER 150XLHD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION.

CULTEC RECHARGER
100HD DETAILS

N.T.S.

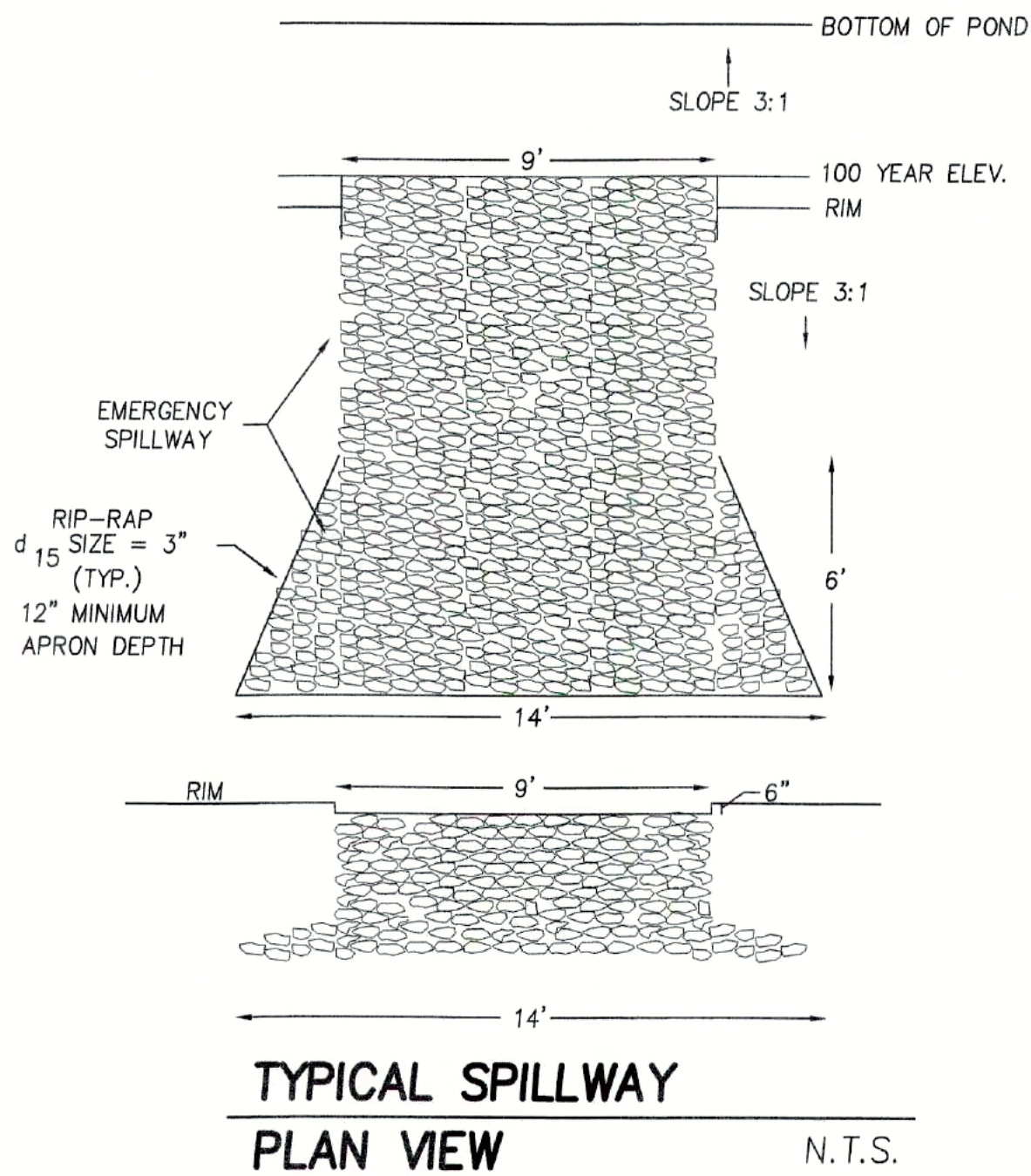


NOTES

1. STONE SHALL BE 3-4" STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50'.
3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6".
4. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
5. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP-DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED PROMPTLY.
7. WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

STABILIZED CONSTRUCTION
ENTRANCE

N.T.S.

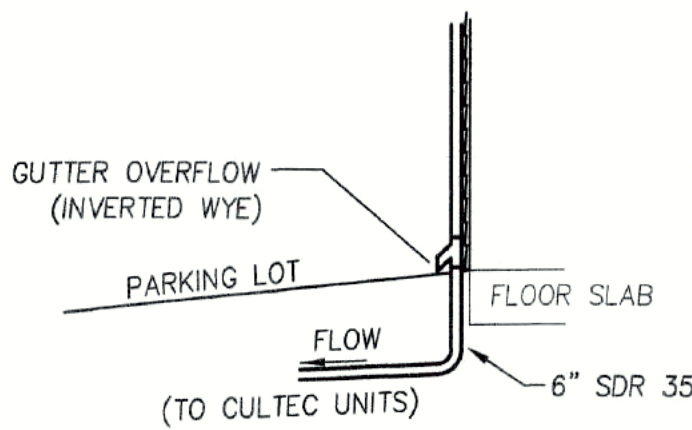


TYPICAL SPILLWAY
PLAN VIEW

N.T.S.

GENERAL EROSION
CONTROL NOTES

1. ALL EROSION CONTROL SHALL BE INSTALLED BEFORE THE START OF CONSTRUCTION. EROSION CONTROL SHALL BE REMOVED UPON COMPLETION OF THE PROJECT AND STABILIZATION OF ALL SOIL.
2. ALL FILL SHALL BE FREE OF STUMPS AND LARGE STONES.
3. ANY STANDING BODIES OF WATER CREATED DURING EXCAVATION SHALL BE ELIMINATED.
4. EROSION CONTROL BARRIERS SHALL BE INSPECTED WEEKLY AND AFTER EVERY 0.5" OF RAINFALL AND PROMPTLY REPAIRED OR REPLACED AS NECESSARY.
5. ACCUMULATED SEDIMENT DEPOSITS UPSTREAM OF BARRIERS SHALL BE PROPERLY DISPOSED OF ON A REGULAR BASIS.
6. AREAS OUTSIDE THE LIMITS OF WORK (EROSION CONTROL/SILT FENCE LOCATIONS) DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE EXPENSE OF THE CONTRACTOR.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EROSION AND/OR SEDIMENT CONTROLS DURING CONSTRUCTION. HE/SHE SHALL INSPECT CONTROLS WEEKLY AND AFTER ALL STORM EVENTS, REPAIRS, IF REQUIRED, SHALL BE MADE IMMEDIATELY.
8. TEMPORARY GROUND COVER SHALL BE ESTABLISHED IN AREAS OF CONSTRUCTION WHERE REQUIRED BY THE SALISBURY CONSERVATION COMMISSION.
9. ANY DISTURBED AREAS OF THE SITE NOT USED FOR ROADWAY OR UTILITY CONSTRUCTION SHALL BE STABILIZED WITH LOAM AND SEED UNTIL FURTHER DISTURBANCE IS REQUIRED FOR BUILDING CONSTRUCTION.
10. PROVIDE GRAVEL AND WIRE MESH SEDIMENT FILTER AT ALL CATCH BASINS.
11. A MINIMUM OF 6" OF LOAM SHALL BE INSTALLED ON ALL DISTURBED UNPAVED SURFACES.
12. PERMANENT SEED MIX SHALL BE MA STATE SLOPE MIXTURE (50% CREEPING RED FESCUE, 30% KENTUCKY 31 TALL FESCUE, 10% ANNUAL RYEGRASS, 5% RED TOP, 5% LADINO CLOVER) AND MA STATE PLOT MIXTURE (50% CREEPING RED FESCUE, 25% 85/80 KENTUCKY BLUEGRASS, 10% ANNUAL RYEGRASS, 10% RED TOP, 5% LADINO CLOVER).
13. NO MORE THAN 3 ACRES SHALL BE DISTURBED AT ONE TIME. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
14. WHERE PLACEMENT OF FILL IS REQUIRED FOR STORM WATER CONTROL, FILL SHALL BE PLACED IN AN UNFROZEN STATE UPON UNFROZEN GROUND. UNDER NO CIRCUMSTANCES SHALL FILL BE PLACED FROM NOVEMBER THROUGH JANUARY.
15. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED: BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED; A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED; A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
16. ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCT. 15TH, OR WHICH ARE DISTURBED AFTER OCT. 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
17. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCT. 15TH, OR WHICH ARE DISTURBED AFTER OCT. 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

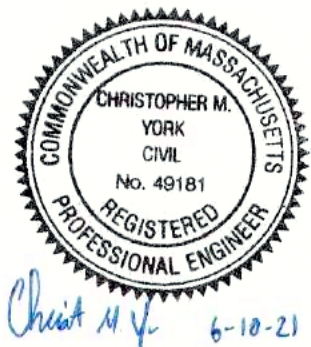


GUTTER DOWN
SPOUT DETAIL

N.T.S.

CONSTRUCTION
SEQUENCE

1. INSTALL EROSION CONTROL AT LIMIT OF WORK & STAKE OUT STORMWATER AREAS
2. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AS DEPICTED.
3. CLEAR AND GRUB DEBRIS TO PHASE LINE AND DISPOSE OF PROPERLY.
4. STRIP, SCREEN AND STOCKPILE TOPSOIL. TOPSOIL CAN BE TEMPORARILY STOCKPILED ON SITE PROVIDING THAT THE PERIMETER OF THE STOCKPILES ARE PROPERLY STAKED WITH SILT FENCE AT THE TOE OF SLOPE.
5. ROUGH GRADE CONSTRUCTED WETLANDS.
6. GRADE PAVEMENT TO TOP OF SUBGRADE ELEVATIONS. ALL ROADWAYS MUST BE STABILIZED IMMEDIATELY AFTER GRADING.
7. BEGIN BUILDING CONSTRUCTION.
8. INSTALL UTILITIES/DRAINAGE STRUCTURES.
9. PLACE RIPRAP WHERE SHOWN ON PLANS. LOAM AND HYDROSEED SIDESLOPES AND ALL DISTURBED AREAS WITHIN 72 HOURS.
10. ADD PLANTINGS TO CONSTRUCTED WETLANDS.
11. SPREAD, SHAPE, AND COMPACT PAVEMENT SUBBASE AS PER TYPICAL PAVEMENT SECTION TO ATTAIN FINAL DESIGN ELEVATIONS.
12. PERFORM BINDER COURSE PAVING.
13. LOAM AND HYDROSEED ANY DISTURBED SURFACES ALONG EDGES OF PAVEMENT AS REQUIRED.
14. PERFORM FINAL PAVING (TOP COURSE).
15. REMOVE EROSION CONTROL.



PREPARED FOR

6 FOREST ROAD LLC
71 COMMERCIAL STREET, #263
BOSTON, MA 02109



MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SITE PLAN
IN
SALISBURY, MA

SHOWING
56 UNIT TOWNHOUSE COMMUNITY
AT
10 FOREST ROAD & MEADOWVIEW LANE

DRAINAGE/
EROSION
CONTROL
DETAILS

SHEET: C-14

BVW restoration area**

| Common Name | Latin Name | comments | Quantity | Plant Size | Wetland Status |
|---|----------------------|--|----------|------------|----------------|
| plant size based on availability – sizes based on New England Wetland Plants – typical. | | | | | |
| Winterberry | Ilex verticillata | Group in 6 or more, 5 to 7 feet on center | 12 | 2-3' | FACW+ |
| Holly | | | | | |
| Silky Dogwood | Cornus amomum | Plant 8 to 10 feet on center with tubelings planted 3 feet on center to fill in area around and between plants | 11 | 3-4' | FACW |
| Red-osier Dogwood | Cornus sericea | Plant 8 to 10 feet on center with tubelings planted 3 feet on center to fill in area around and between plants | 11 | 3-4' | FACW+ |
| Silky Dogwood | Cornus amomum | Plant 3 feet on center around larger of same species to create dense clusters | 30* | tubelings | FACW |
| Red-osier Dogwood | Cornus sericea | Plant 3 feet on center around larger of same species to create dense clusters | 30* | tubelings | FACW+ |
| Wild Raisin | Viburnum cassinoides | Plant 4 to 6 feet on center | 9* | 3-4' | FACW |
| Highbush Blueberry | Vaccinium corymbosum | Plant 4 to 6 feet on center | 12* | 3-4' | FACW |
| Red Maple | Acer Rubrum | Plant 8 feet on center | 8 | 4-6' | FAC |

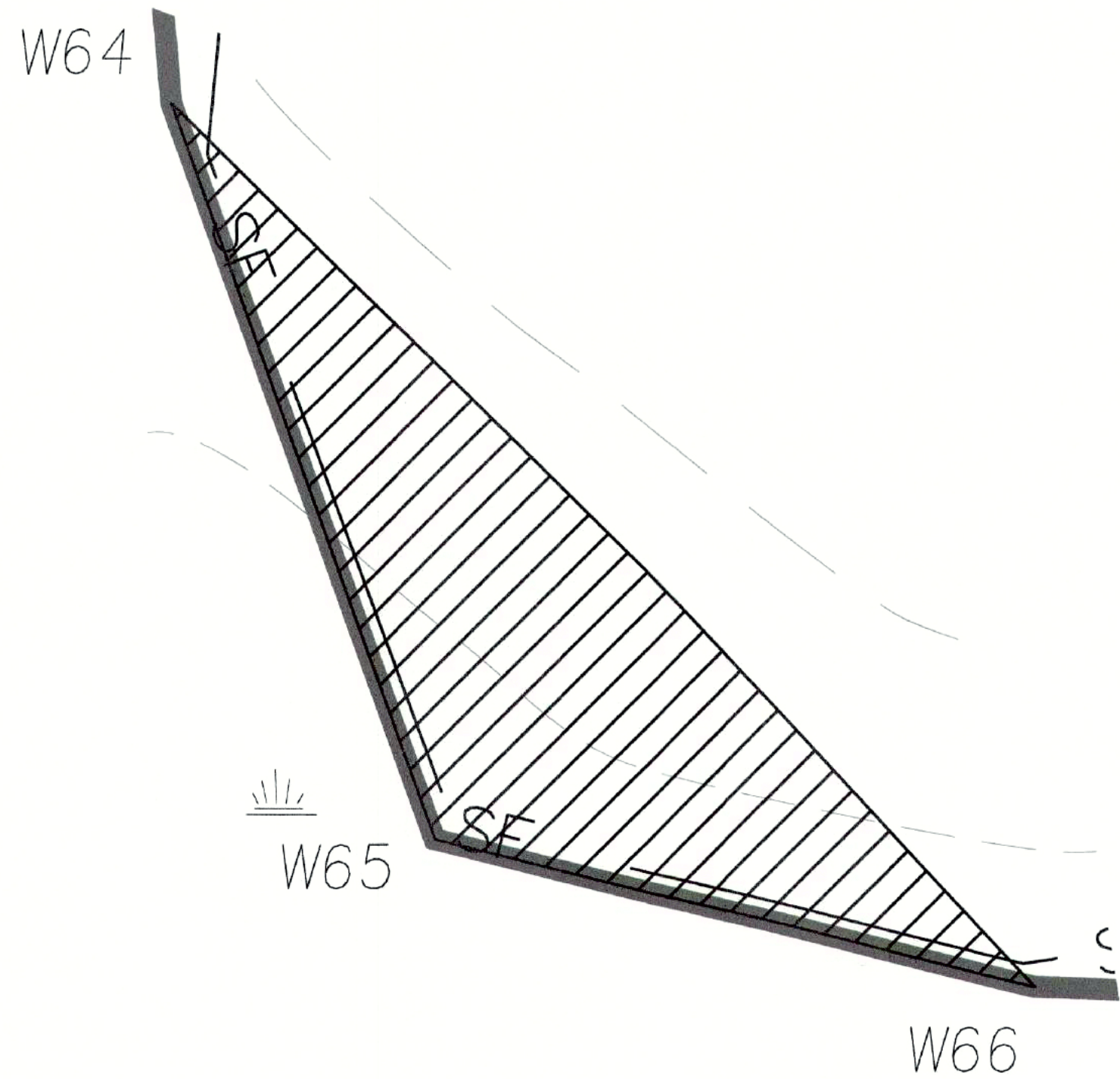
*Actual quantities to plant and purchase are higher, – available in trays of 38, round up for ordering purposes

**Species and sizes may be adjusted based on plant availability

WETLAND REPLICATION

PLANTING LIST

N.T.S.



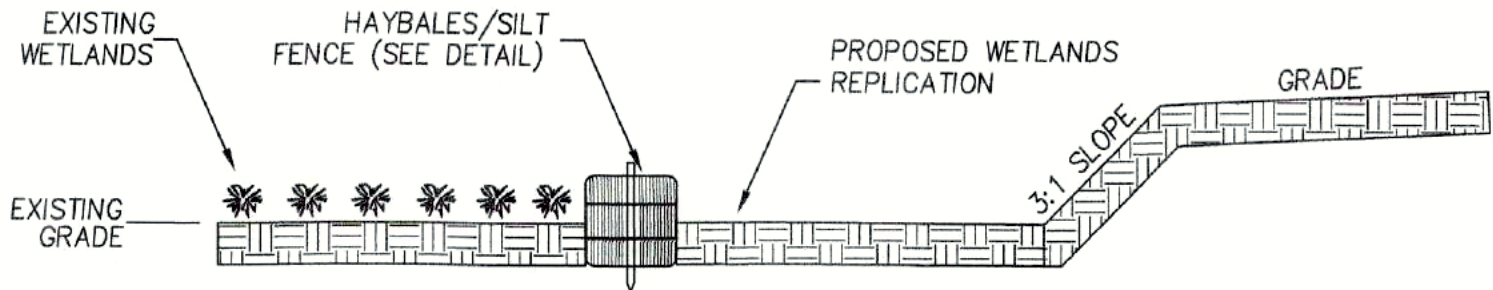
WETLAND REPLICATION

AREA #2

HORIZ. SCALE: 1"=10'

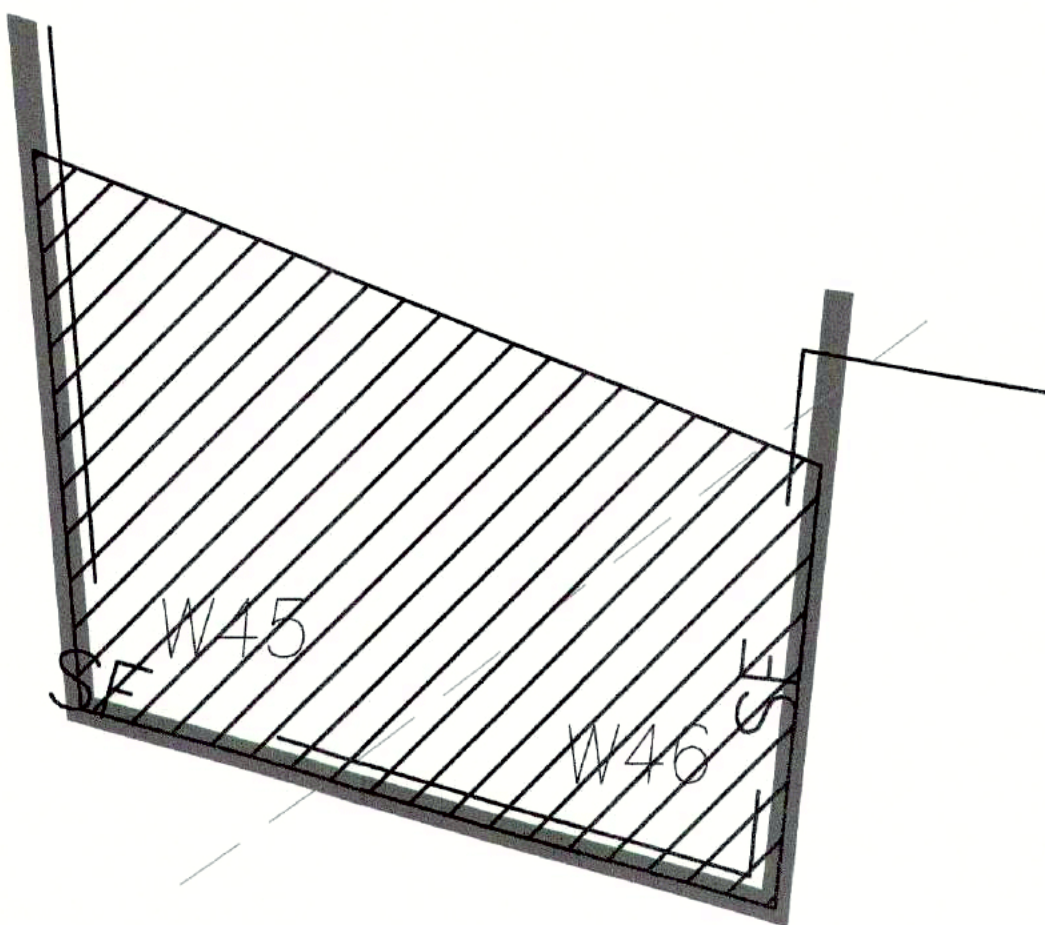
NOTES:

- THE REPLACEMENT AREA SHALL MEET STRICT PERFORMANCE STANDARDS AS LISTED UNDER 310 CMR 10.55(4)(B). CONSTRUCTION OF THE WETLAND REPLACEMENT AREA SHALL BE PERFORMED IN CONFORMANCE WITH THE ORDER OF CONDITIONS ISSUED BY THE CONSERVATION COMMISSION.
- WETLAND REPLACEMENT WORK SHALL BE SUPERVISED BY A WETLAND SCIENTIST APPROVED BY THE SALISBURY CONSERVATION COMMISSION OR ITS AGENT.
- THESE STANDARDS HAVE BEEN SET IN ORDER TO PROTECT THE FUNCTIONS WHICH BORDERING VEGETATED WETLANDS AND BORDERING VEGETATED WETLANDS PROVIDE. THESE STANDARDS SHALL BE MET BY ADHERING TO THE FOLLOWING CONSTRUCTION SPECIFICATIONS.
- A MEETING SHALL BE SCHEDULED WITH THE CONTRACTOR AND THE WETLAND SCIENTIST PRIOR TO SITE CONSTRUCTION TO REVIEW THE CONSTRUCTION METHODOLOGY. THIS WILL INCLUDE AREAS WITHIN THE APPROVED LIMIT OF WORK FOR HARVESTING SUITABLE SOIL MATERIAL AND DESIGNATED STORAGE AREAS FOR THAT SOIL MATERIAL.
- AS REQUIRED IN THE ORDER OF CONDITIONS, ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND INSPECTED PRIOR TO THE START OF WORK AND THE LIMITS OF THE WETLAND REPLACEMENT AREA SHALL BE CLEARLY MARKED WITH WOODEN STAKES. EROSION CONTROL FENCING SPECIFIC TO THE REPLICATION AREA SHALL REMAIN IN PLACE UNTIL EXPOSED SOILS ARE VEGETATED AND STABLE. HAY BALES USED IN CONJUNCTION WITH THE PERIMETER CONTROL OR USED AS TEMPORARY STABILIZATION IN THE AREA OF THE REPLICATION AREA MUST BE FREE OF WEED SPECIES.
- "O" AND "A" LAYER SOILS FROM THE WETLAND FILL AREAS, AS WELL AS AREAS OF THE UPLAND AREA IN THE MEADOW AND AS DIRECTED BY THE WETLAND SCIENTIST WILL BE STRIPPED AND STOCKPILED FOR USE IN THE REPLICATION AREA.
- THE WETLAND REPLACEMENT AREA INDICATED ON THE PLAN SHALL BE EXCAVATED TO THE INDICATED SUBGRADE (SEE WETLAND REPLICATION PROFILE) BEFORE THE REPLACEMENT AREA SOILS ARE PLACED. THE WETLAND SCIENTIST SHALL BE ON-SITE TO INSPECT THE WETLAND REPLACEMENT AREA DURING THE CONSTRUCTION PROCESS AND MAY ADJUST THE FINAL GRADES IN THE WETLAND REPLACEMENT AREA BASED ON OBSERVED HYDROLOGY. WETLAND SOILS SHALL NOT BE PLACED IN THE REPLICATION AREA UNTIL THE WETLAND SCIENTIST HAS AGREED THAT THE ROUGH GRADE HAS ESTABLISHED APPROPRIATE HYDROLOGY.
- THE TRANSITION ZONE BETWEEN THE WETLAND REPLACEMENT AREA AND THE SURROUNDING UPLAND PLANT COMMUNITY ADJACENT TO THE WETLAND REPLACEMENT AREA SHALL BE GRADED TO CREATE A SMOOTH TRANSITIONAL SLOPE BETWEEN THE WETLAND REPLACEMENT AREA AND THE UPLAND PLANT COMMUNITY.
- SITE GRADES AND SLOPES SHALL BE CONSTRUCTED IN AGREEMENT WITH THE GRADING DETAILS SHOWN ON THE APPROVED SITE PLAN, WITH MINOR ADJUSTMENTS APPROVED IN THE FIELD BY THE WETLAND SCIENTIST.
- STOCKPILED WETLAND OR SELECTED "O" AND "A" SOILS FROM THE MEADOW AREA SHALL BE PLACED IN THE ROUGH GRADED REPLACEMENT AREA TO ESTABLISH WETLAND SOILS BETWEEN 8 AND 12 INCHES IN DEPTH. ONSITE UPLAND SOILS MAY REQUIRE SUPPLEMENTARY DECOMPOSED LEAF LITTER OR OTHER APPROVED ORGANIC MATTER, TO PROVIDE A MINIMUM 25 % ORGANIC MATTER BY VOLUME. ANY EXISTING/IMPORTED WETLAND SOIL AND SOIL AMENDMENT MATERIAL SHALL BE INSPECTED BY THE WETLAND SCIENTIST FOR ANY OBVIOUS PRESENCE OF INVASIVE/EXOTIC SPECIES PRIOR TO TRANSLOCATION TO THE SITE. IN THE EVENT OFFSITE SOIL IS USED FOR THE WETLAND SOILS, IT SHALL CONTAIN 12-18 % ORGANIC CARBON BY DRY WEIGHT.
- COARSE, WOODY DEBRIS SHALL BE ADDED THROUGHOUT THE REPLACEMENT WETLAND SURFACE AREA TO ACHIEVE COVERAGE OF AT LEAST 5%.
- OPTIMAL PLANTING CONDITIONS OCCUR FROM APRIL 1 – MAY 15 IN THE SPRING AND SEPTEMBER 1 – OCTOBER 15. SEEDING AND PLANTING WILL OCCUR ONLY DURING THESE TIME PERIODS UNLESS APPROVED BY THE WETLAND SCIENTIST. WETLAND VEGETATION PLANTED IN THE WETLAND REPLACEMENT AREA MAY INCLUDE PLANTS SALVAGED FROM THE BORDERING VEGETATED WETLAND PROPOSED TO BE FILLED AND TRANSFERRED TO THE WETLAND REPLACEMENT AREA IF DEEMED SUITABLE BY THE WETLAND SCIENTIST. ADDITIONAL NATIVE SHRUBS WILL BE ADDED TO THE PLANTING AREA TO SUPPLEMENT THE SALVAGED MATERIAL AS IDENTIFIED IN THE PLANTING TABLE.
- PROPOSED VEGETATION FOR WETLAND REPLICATION AREA. PLANTS SHALL BE PLANTED IN APPROXIMATED DENSITIES/SPACING AS IDENTIFIED IN THE TABLE, ALTHOUGH SHRUB SPECIES MAY BE CLUSTERED IN GROUPS OF 2/3 TO CREATED MORE NATURAL CONDITIONS.
- PLANTS SHALL BE SOURCED FROM NEW ENGLAND WETLAND PLANTS, INC. OR EQUIVALENT.
- A WETLAND SEED MIX SUCH AS NEW ENGLAND WETMIX BY NEW ENGLAND WETLAND PLANTS, INC., OR APPROVED EQUIVALENT, SHALL BE BROADCAST THROUGHOUT THE AREA AT AN APPLICATION RATE OF 1 LB PER 2,500 S.F. OR AS SPECIFIED BY THE MANUFACTURER, AND IT SHALL BE MULCHED WITH 1-2" THICK LAYER OF STRAW OR OTHER SUITABLE ORGANIC EQUIVALENT AND MAINTAINED UNTIL VEGETATION HAS BEEN ESTABLISHED.
- UPLAND BUFFER ZONES DISTURBED AS A RESULT OF CONSTRUCTION OF THE WETLAND REPLICATION AREA SHALL BE PLANTED WITH NATIVE SHRUBS AND SAPLINGS APPROVED BY THE WETLAND SCIENTIST AND SEEDED WITH A NATIVE NEW ENGLAND CONSERVATION SEED MIX BY NEW ENGLAND WETLAND PLANTS, INC., OR APPROVED EQUIVALENT, AT AN APPLICATION RATE OF 1 LB PER 1,750 SF OR AS SPECIFIED BY THE MANUFACTURER, AND IT SHALL BE MULCHED WITH 1-2" THICK LAYER OF STRAW OR OTHER SUITABLE ORGANIC EQUIVALENT AND MAINTAINED UNTIL VEGETATION HAS BEEN ESTABLISHED.
- THE WETLAND REPLICATION AREA SHALL BE INSPECTED MONTHLY BY THE WETLAND SCIENTIST UNTIL THE AREA IS 75% UNIFORMLY VEGETATED AND STABLE, AND UNTIL THE WETLAND SCIENTIST DETERMINES THAT THE RESTORATION AREA EROSION CONTROLS CAN BE REMOVED. INSPECTIONS CAN BE SUSPENDED DURING FROZEN CONDITIONS. UPON REACHING STABILITY, TWO ANNUAL INSPECTIONS SHALL BE MADE OF THE COMPLETED REPLACEMENT AREA BY THE WETLAND SCIENTIST IN COMPLIANCE WITH MASSACHUSETTS INLAND WETLAND REPLICATION GUIDELINES, MARCH, 2002 IN ORDER TO ASSESS THE SUCCESS OF THE WETLAND REPLICATION AREA.
- DURING THE TWO ANNUAL INSPECTIONS OF THE REPLACEMENT WETLAND AREA, THE CONTRACTOR SHALL REMOVE BY HAND ALL INVASIVE PLANT SPECIES AS IDENTIFIED BY THE WETLAND SCIENTIST.



TYPICAL WETLAND
REPLICATION SECTION

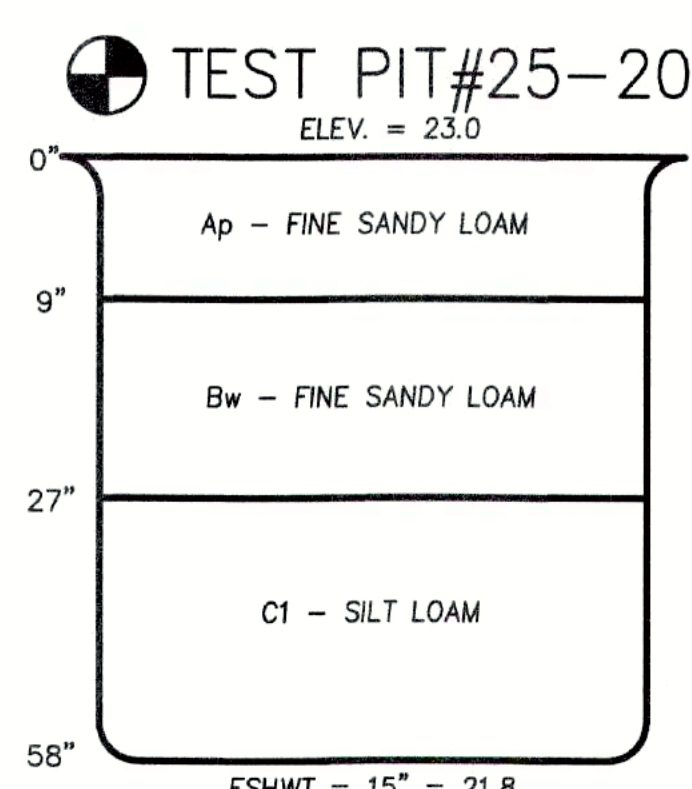
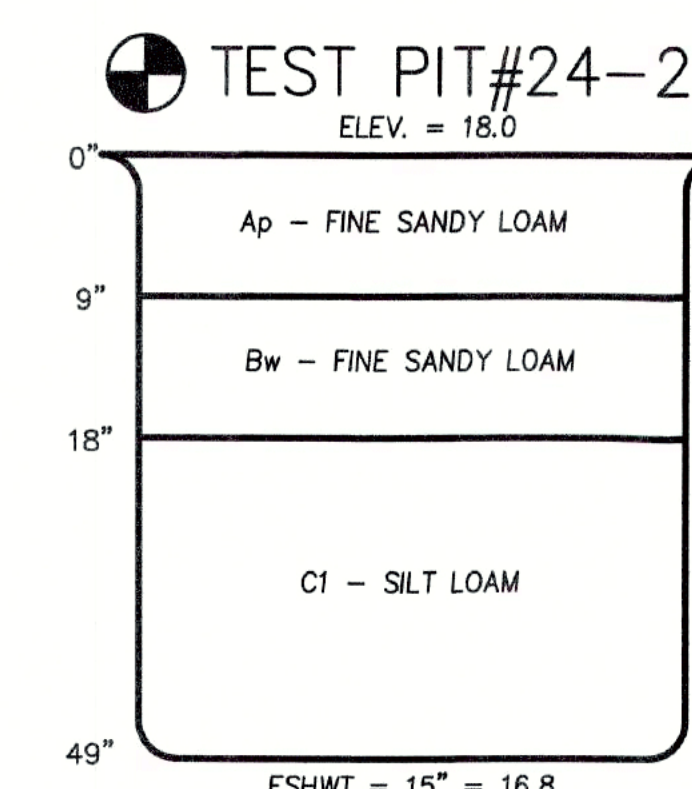
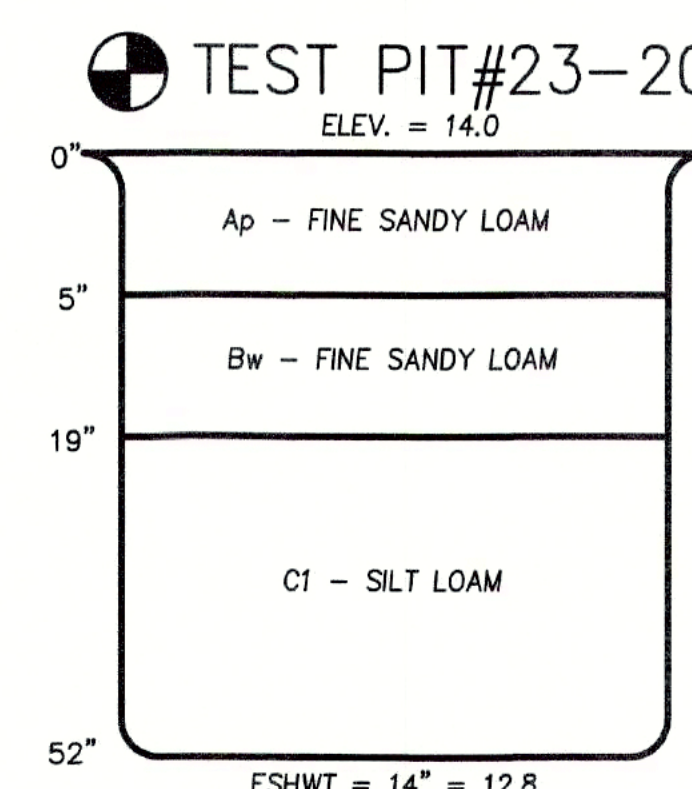
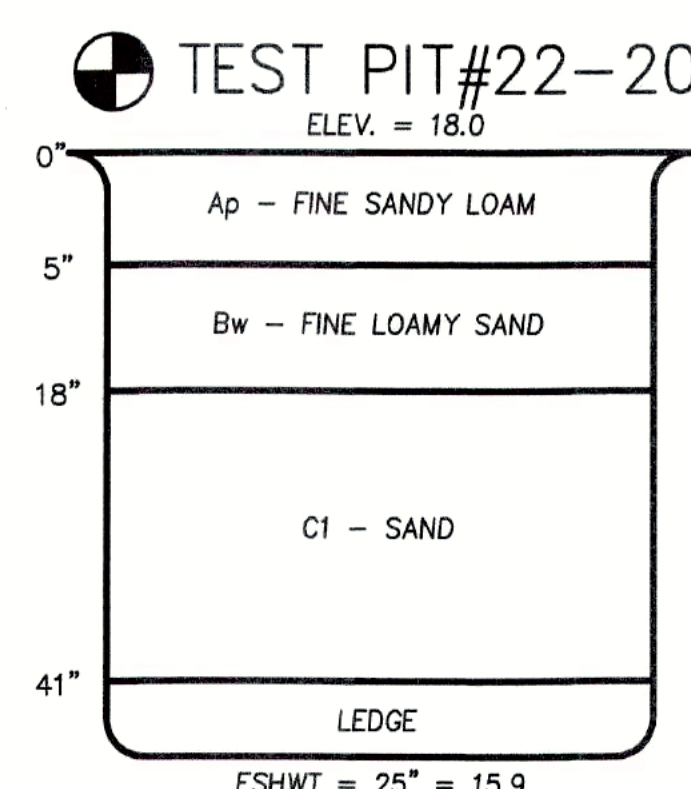
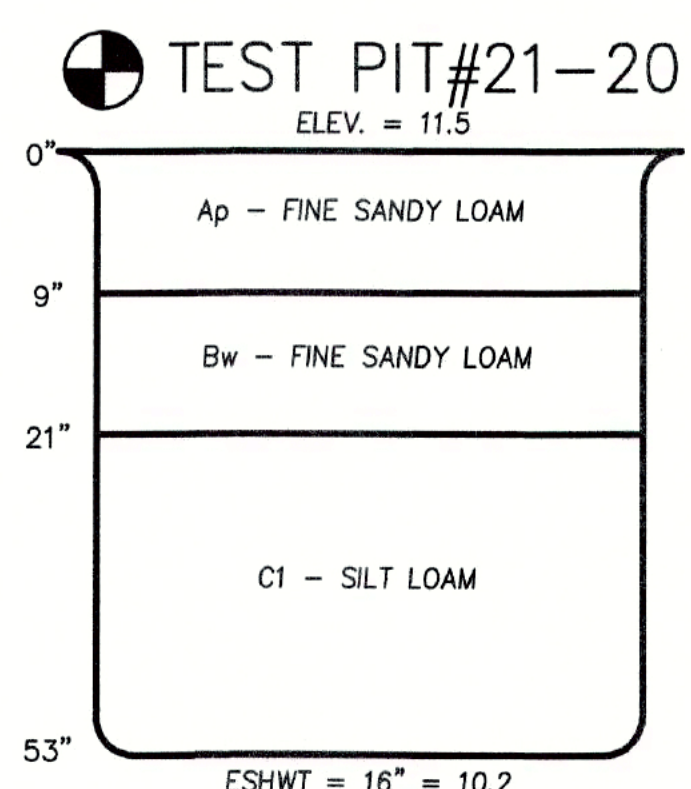
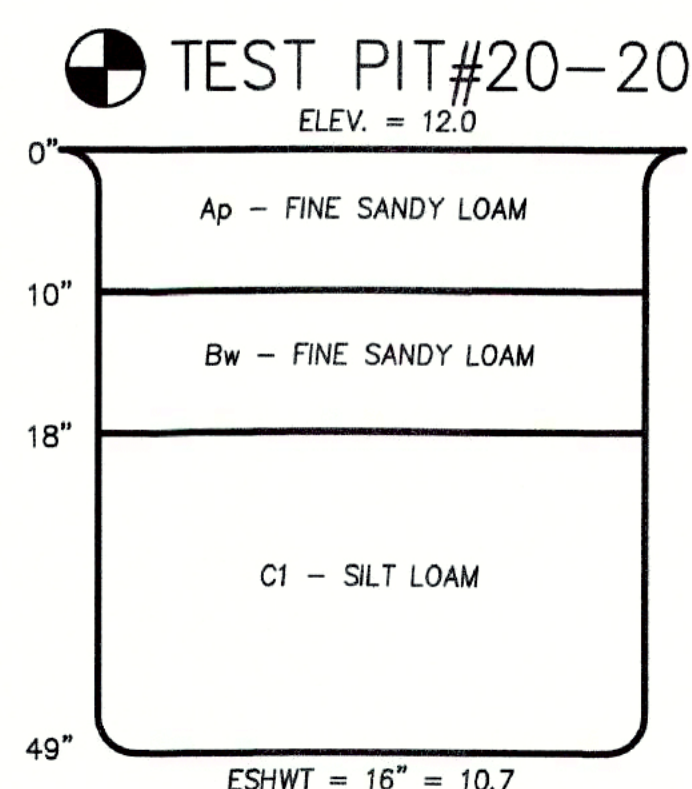
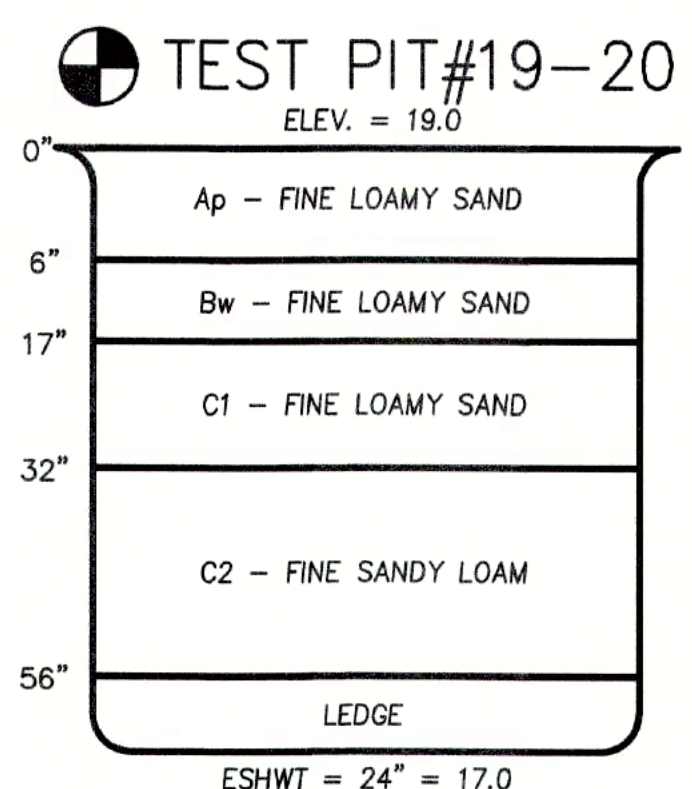
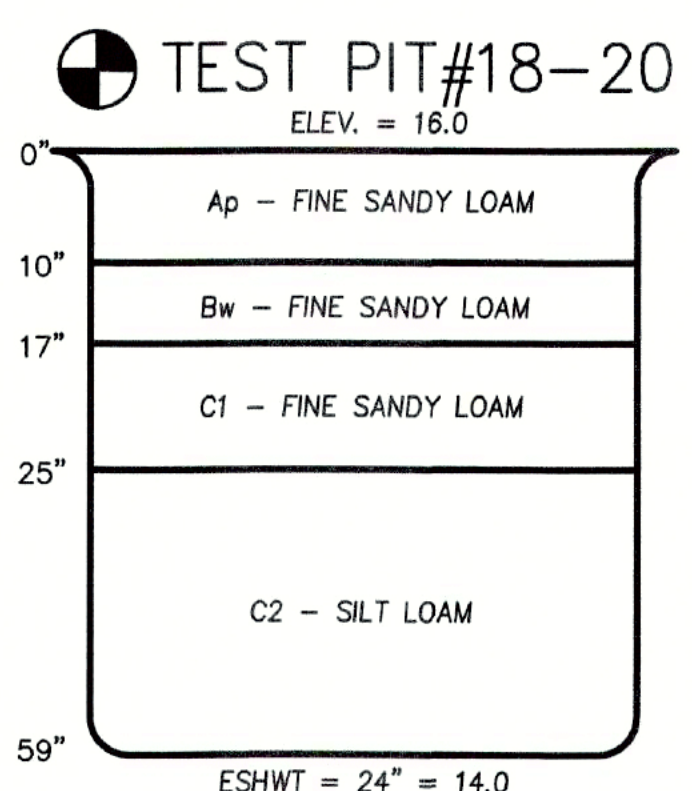
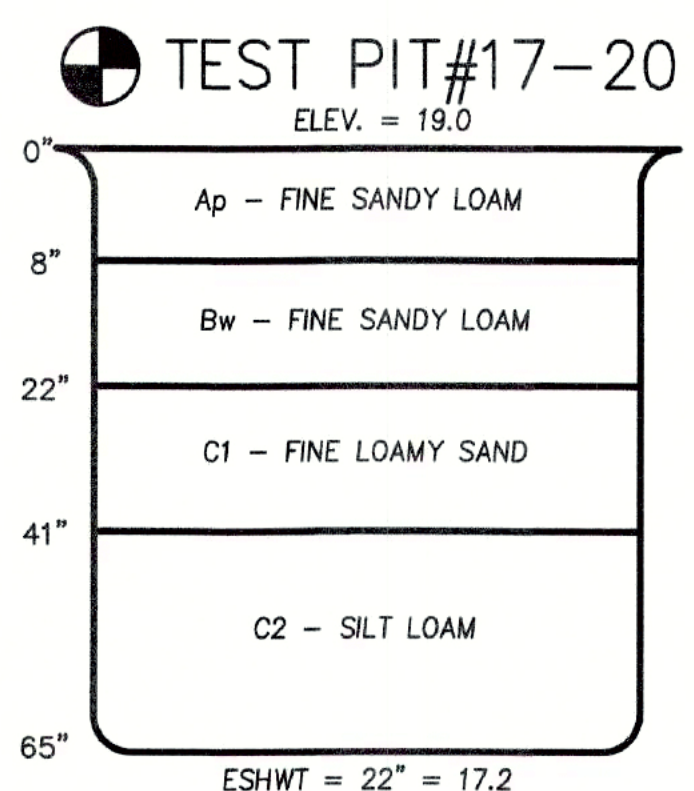
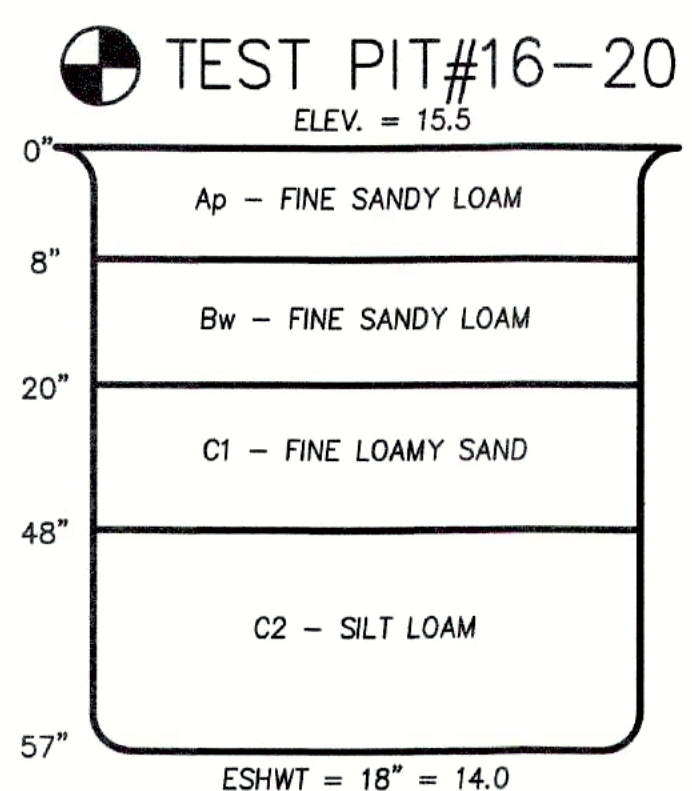
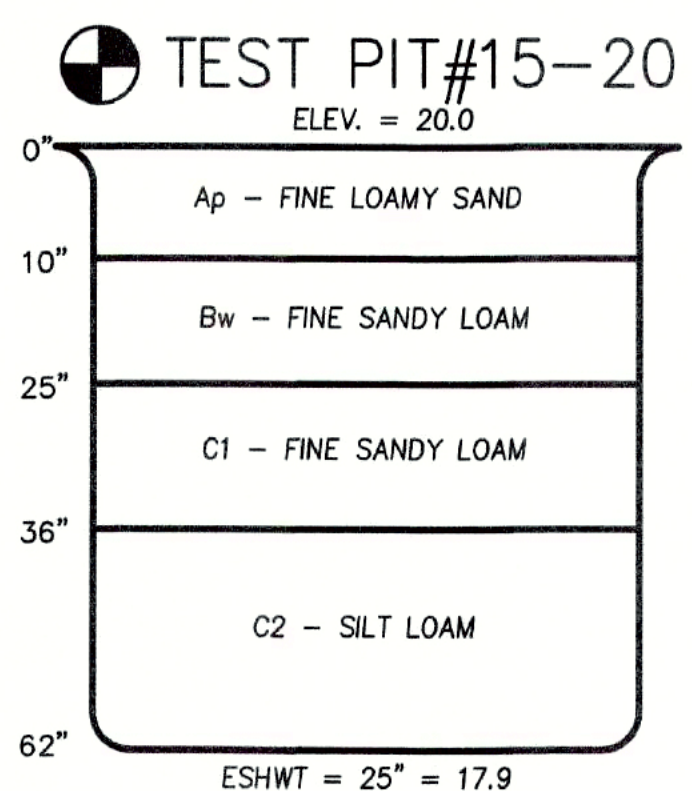
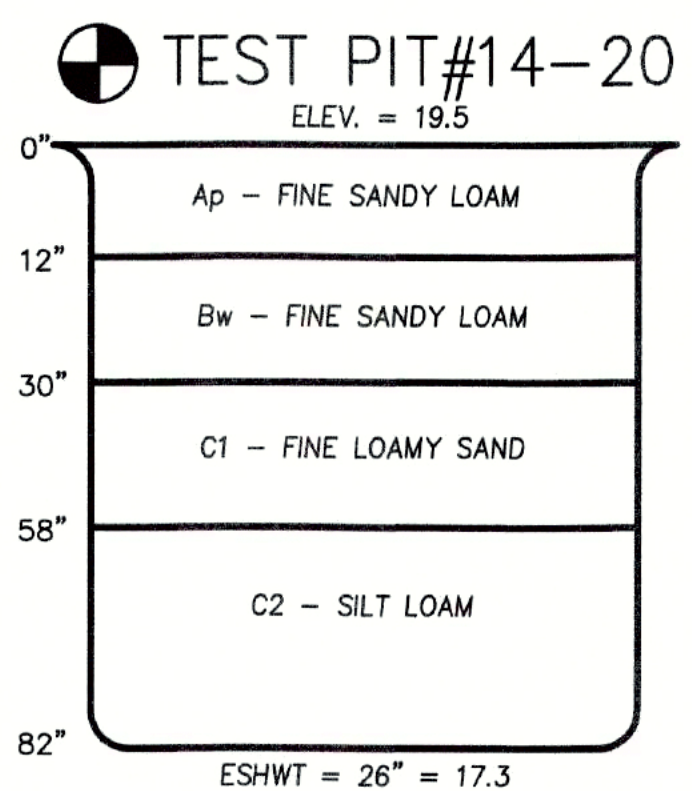
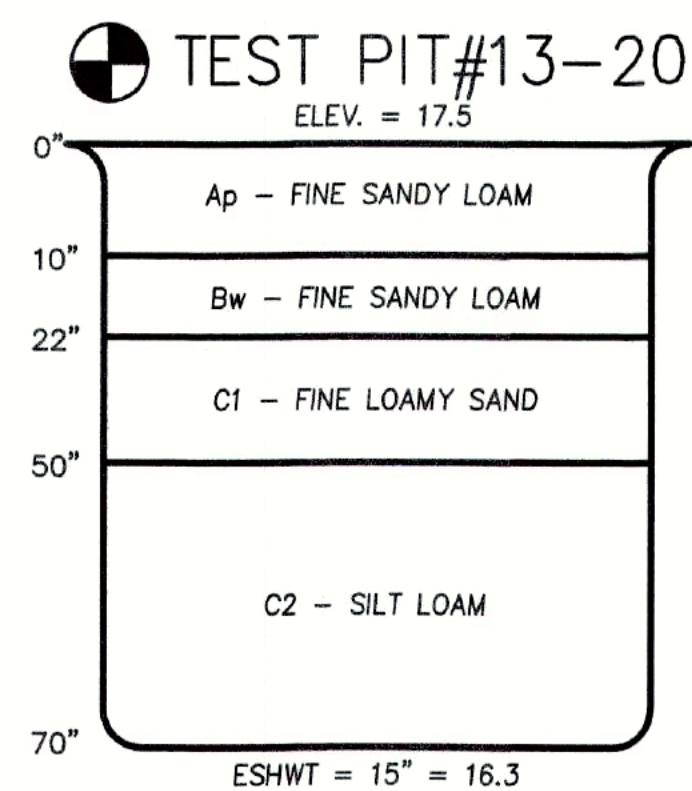
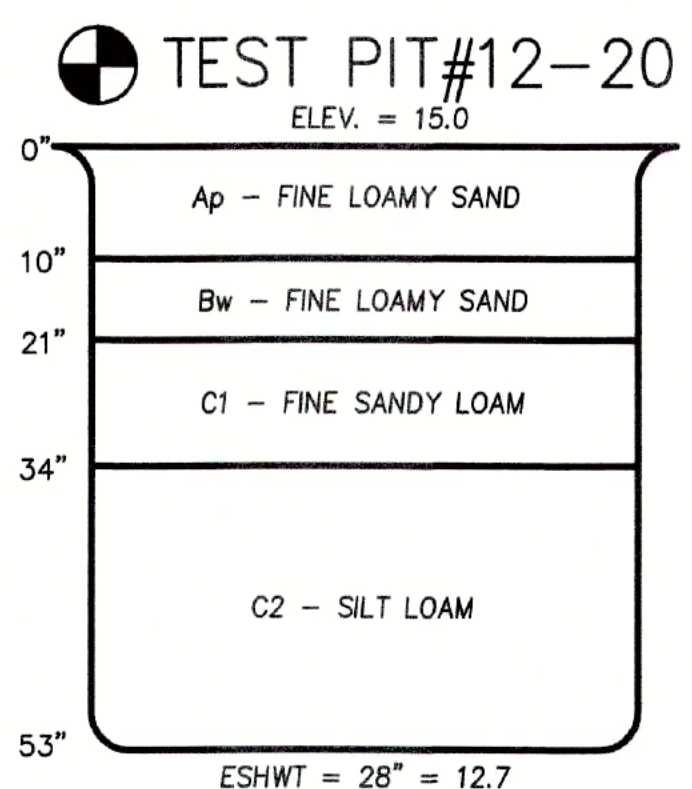
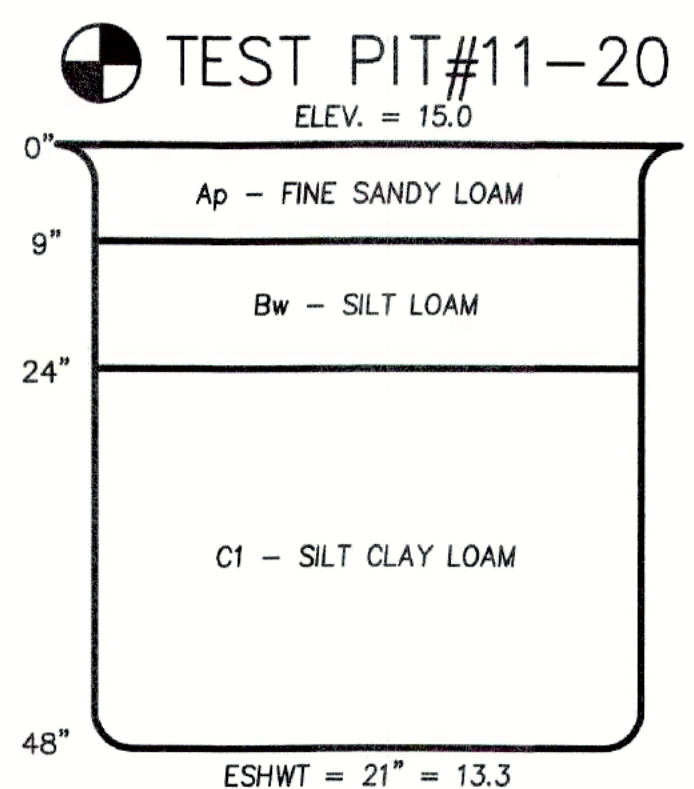
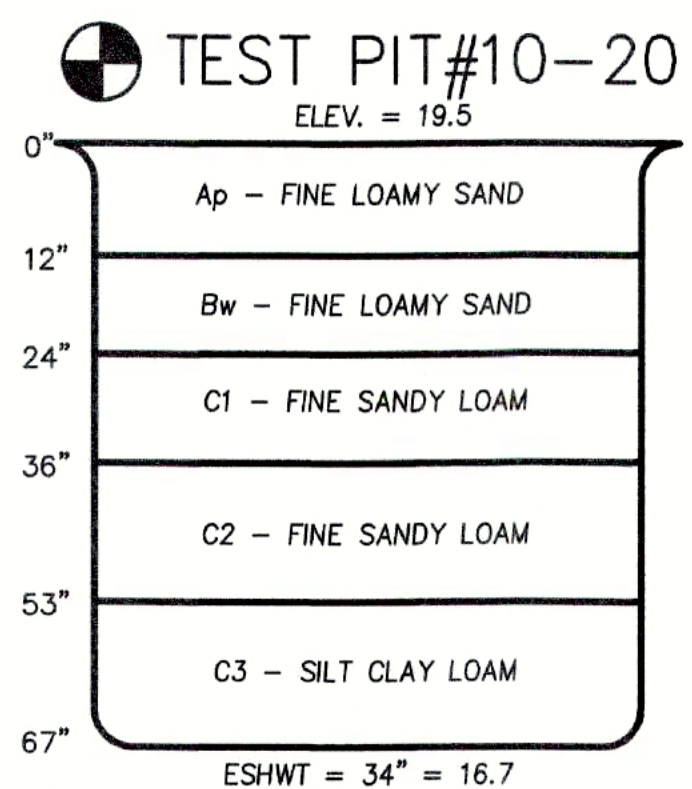
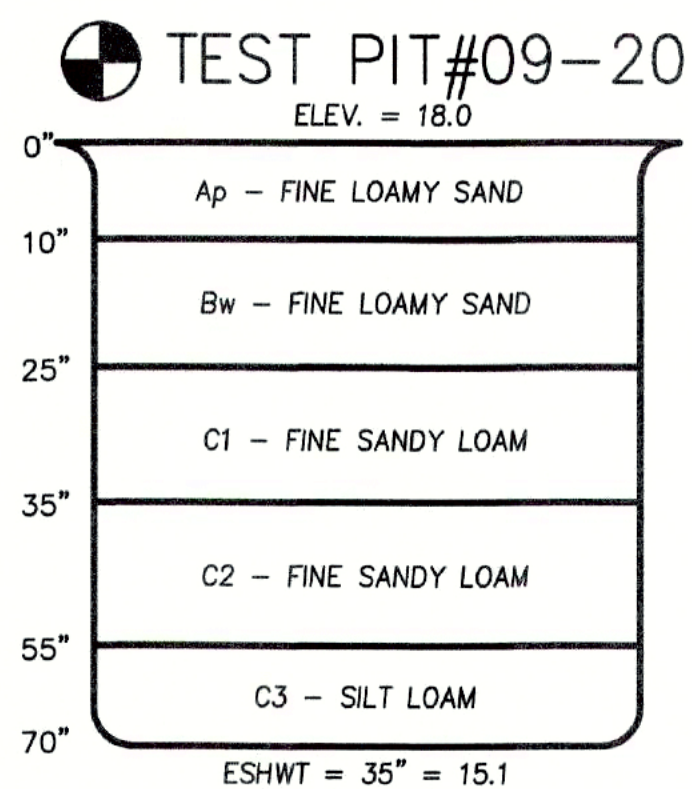
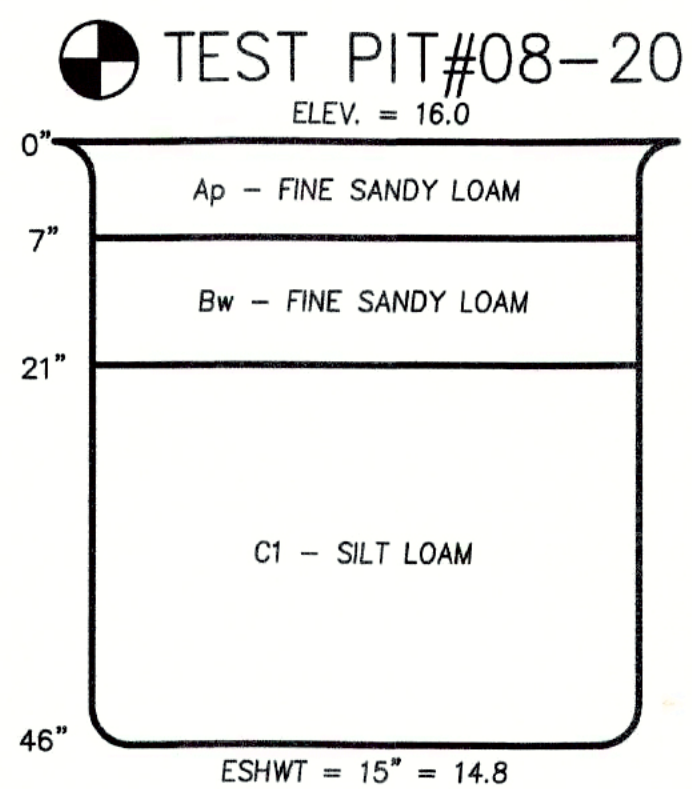
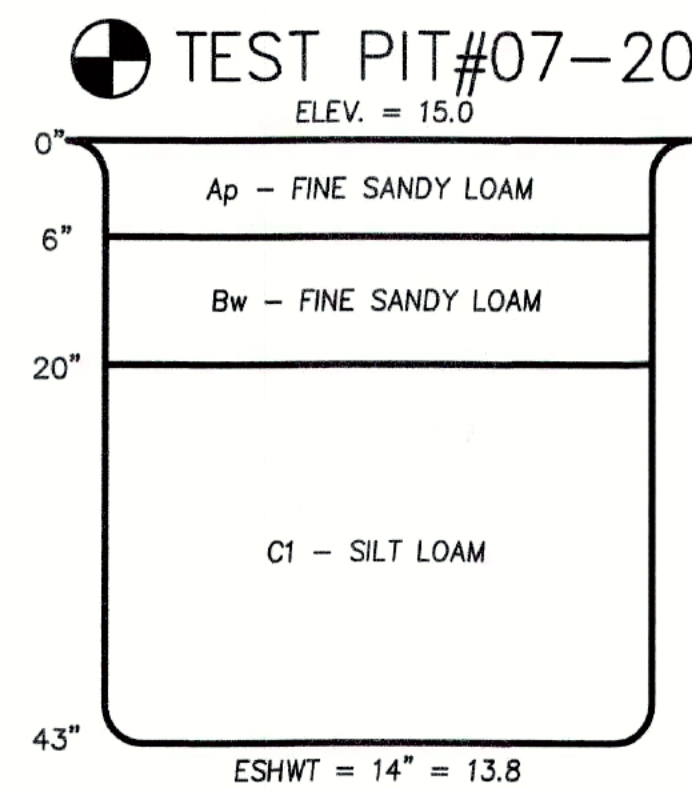
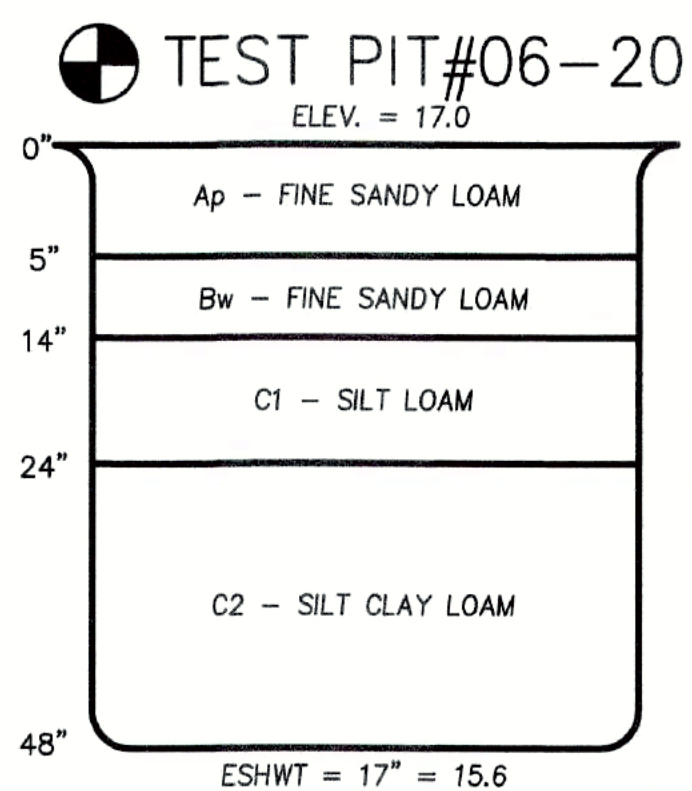
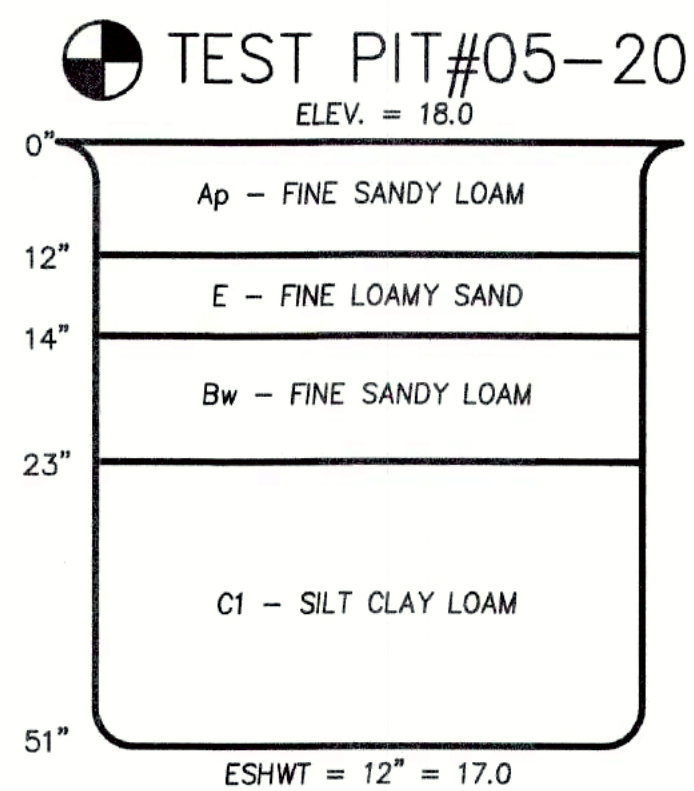
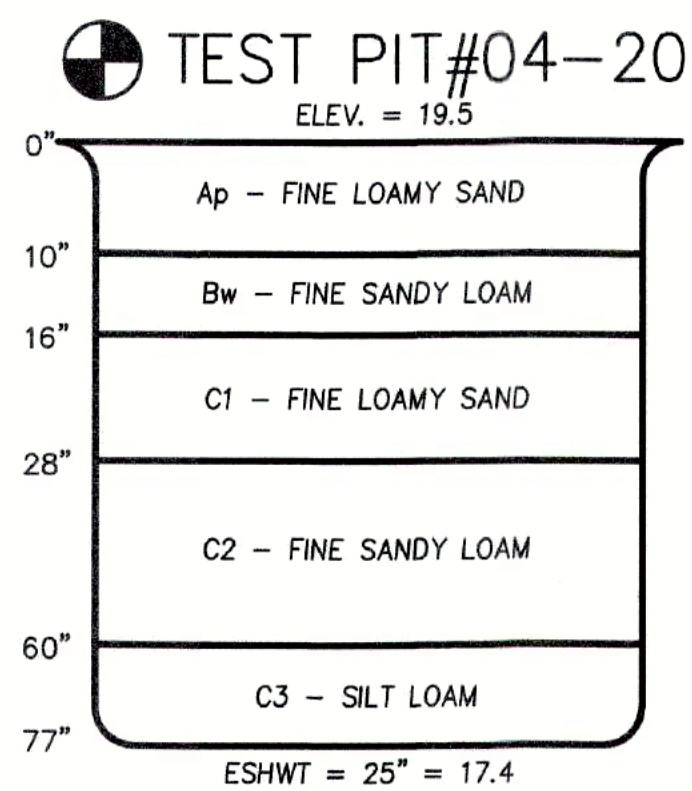
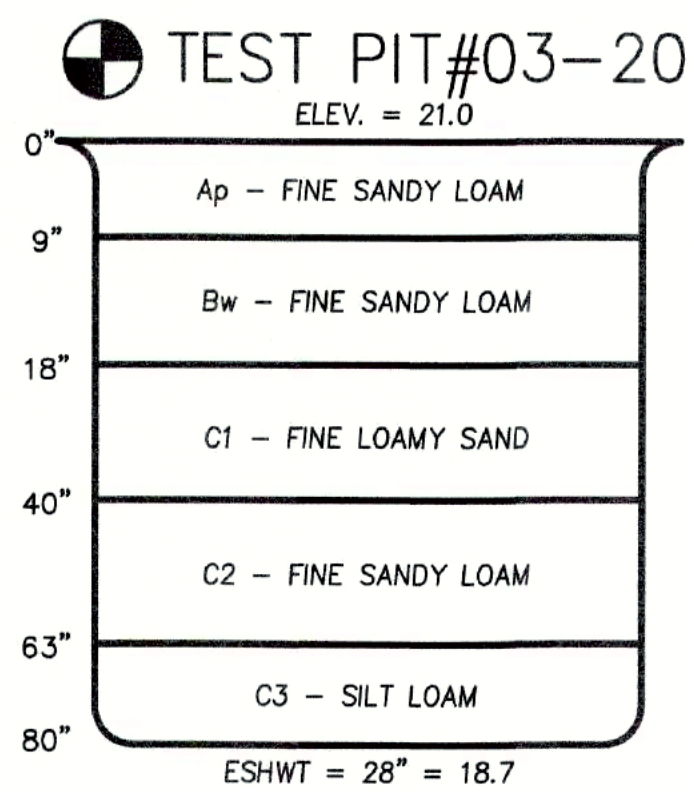
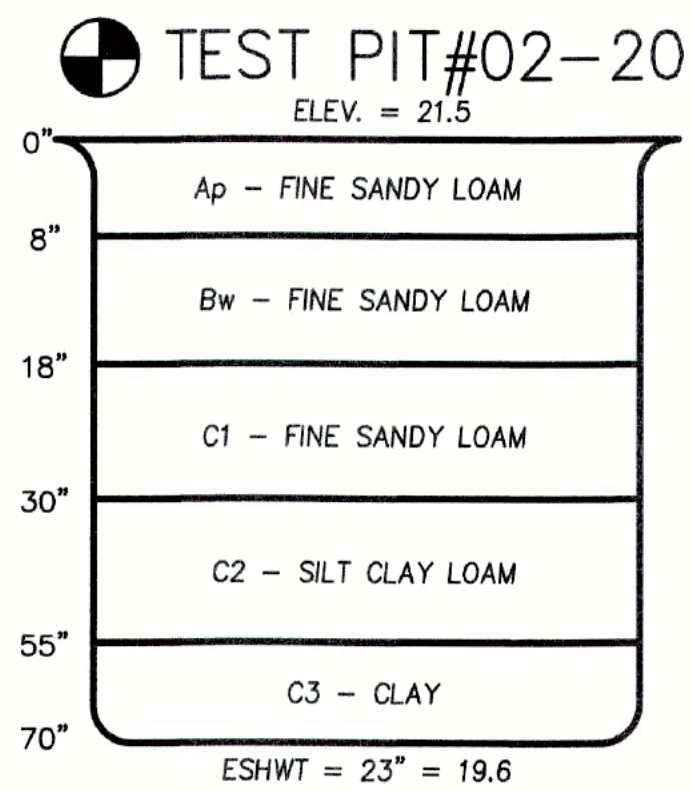
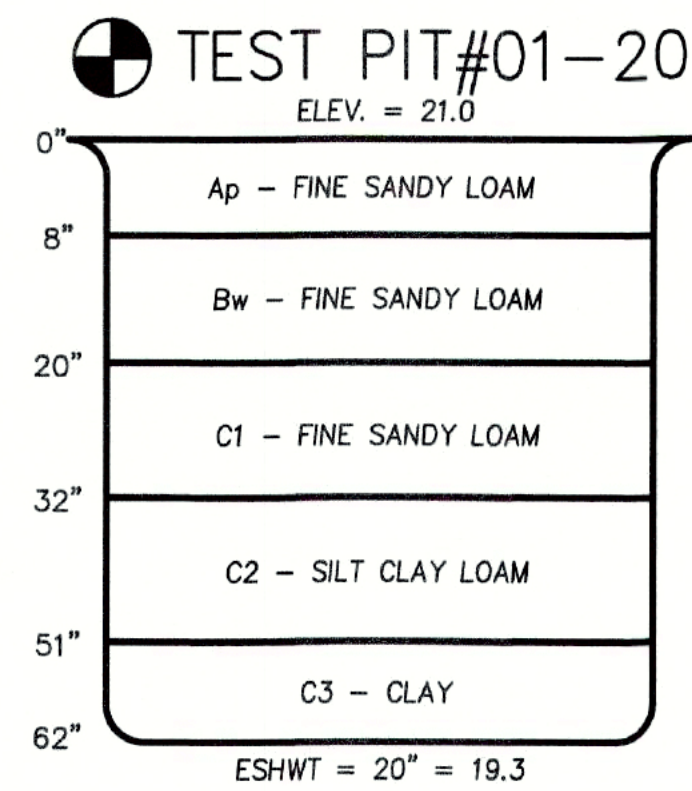
N.T.S.



WETLAND REPLICATION

AREA #1

HORIZ. SCALE: 1"=10'



PREPARED FOR
6 FOREST ROAD LLC
71 COMMERCIAL STREET, #263
BOSTON, MA 02109

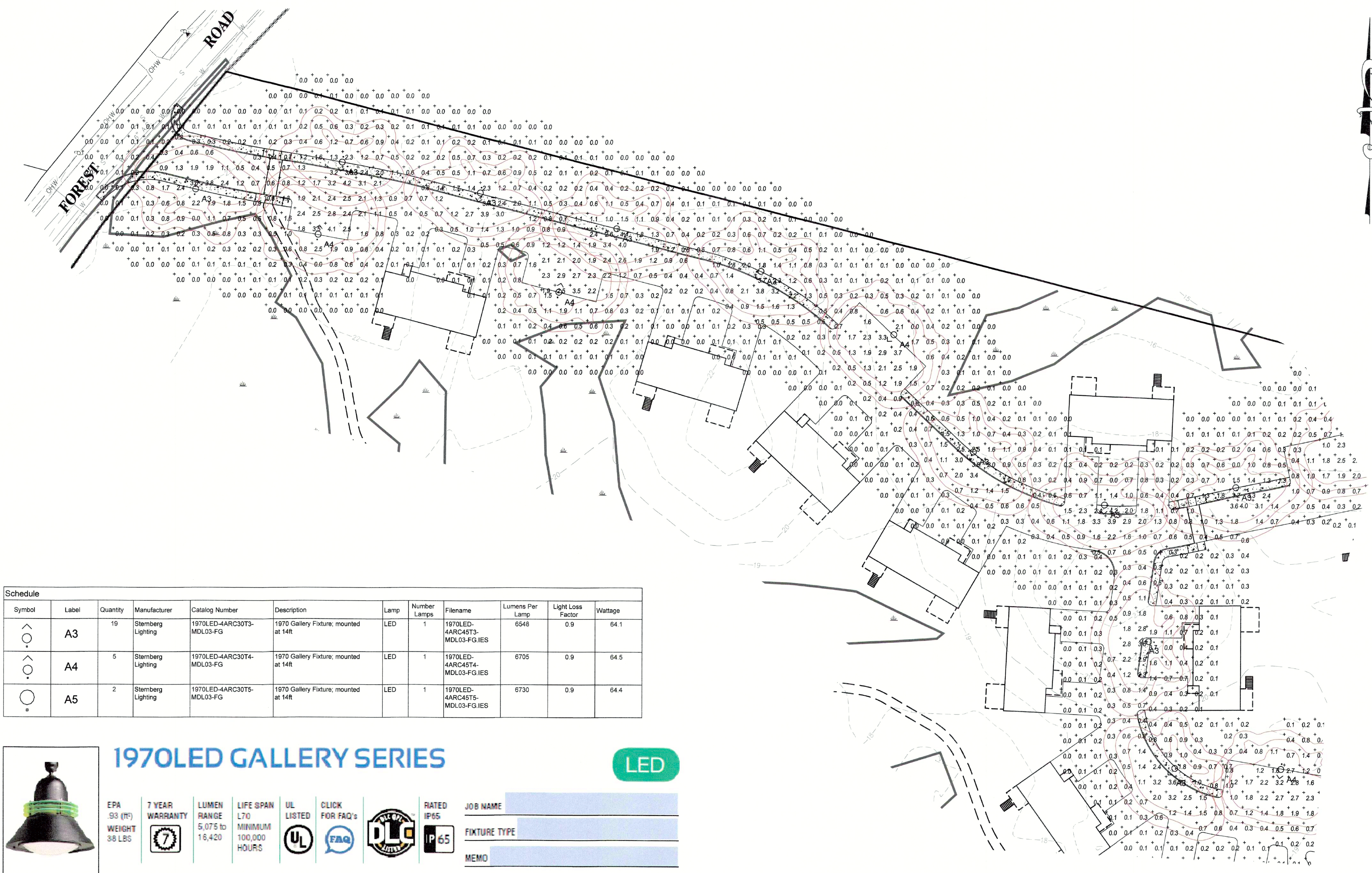
| NO. | DATE | DESCRIPTION | BY |
|-----|---------|-----------------------------|--------|
| 2 | 6/10/21 | ADDRESS REVIEWER'S COMMENTS | C.M.Y. |
| 1 | 4/12/21 | ADDRESS REVIEWER'S COMMENTS | C.M.Y. |

MEI **MILLENNIUM ENGINEERING, INC.**
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

| | | |
|---------------------|------------------|------------------|
| SCALE: AS NOTED | DES. BY: C.M.Y. | PROJECT: M193659 |
| DATE: OCT. 26, 2020 | CHKD. BY: E.W.B. | |

SITE PLAN
IN
SALISBURY, MA
SHOWING
56 UNIT TOWNHOUSE COMMUNITY
AT
10 FOREST ROAD & MEADOWVIEW LANE




SOIL LOGS
SHEET: C-16



PLAN BOOK 218 PLAN 91



Site Lighting Layout
At
10 FOREST ROAD & MEADOWVIEW LANE

| Schedule | | | | | | | | | | | |
|---|-------|----------|--------------------|---------------------------|---------------------------------------|------|--------------|-------------------------------|-----------------|-------------------|---------|
| Symbol | Label | Quantity | Manufacturer | Catalog Number | Description | Lamp | Number Lamps | Filename | Lumens Per Lamp | Light Loss Factor | Wattage |
|  | A3 | 19 | Sternberg Lighting | 1970LED-4ARC30T3-MDL03-FG | 1970 Gallery Fixture, mounted at 14ft | LED | 1 | 1970LED-4ARC45T3-MDL03-FG.IES | 6548 | 0.9 | 64.1 |
|  | A4 | 5 | Sternberg Lighting | 1970LED-4ARC30T4-MDL03-FG | 1970 Gallery Fixture, mounted at 14ft | LED | 1 | 1970LED-4ARC45T4-MDL03-FG.IES | 6705 | 0.9 | 64.5 |
|  | A5 | 2 | Sternberg Lighting | 1970LED-4ARC30T5-MDL03-FG | 1970 Gallery Fixture, mounted at 14ft | LED | 1 | 1970LED-4ARC45T5-MDL03-FG.IES | 6730 | 0.9 | 64.4 |



1970LED GALLERY SERIES

LED

EPA .93 (R)
WEIGHT 38 LBS

7 YEAR WARRANTY

LUMEN RANGE 5,075 to 16,420

LIFE SPAN L70 MINIMUM 100,000 HOURS

UL LISTED

CLICK FOR FAQ's

UL LISTED

IP65

JOB NAME

FIXTURE TYPE

MEMO

BUILD A PART NUMBER

ORDERING EXAMPLE: 2A-1970LED-S-CR-4ARC45T5-MDL03-SV1-R7-PE-HSHN/CA6/5218P5/UBKT

| Mounting Contig. | Fixture | Shade Edge | Top Feature | LED | CCT | Type | Driver | Lens | Optional Control Receptacle | Optional Control | Option Fuse | Option Hang-straight | Option House Side Shield | Arm See Arm Code Sheets | Pole See Pole Code Sheets | Finish |
|------------------|---------|------------|-------------|-----|-----|------|--------|------|-----------------------------|------------------|-------------|----------------------|--------------------------|-------------------------|---------------------------|--------|
| | | | | | | | | | | | | | | | | |

| Statistics | | | | | | |
|--------------------|--------|--------|--------|--------|---------|---------|
| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
| Outside of Roadway | + | 0.3 fc | 4.4 fc | 0.0 fc | N/A | N/A |
| Roadway | + | 1.2 fc | 4.2 fc | 0.1 fc | 42.0:1 | 12.0:1 |

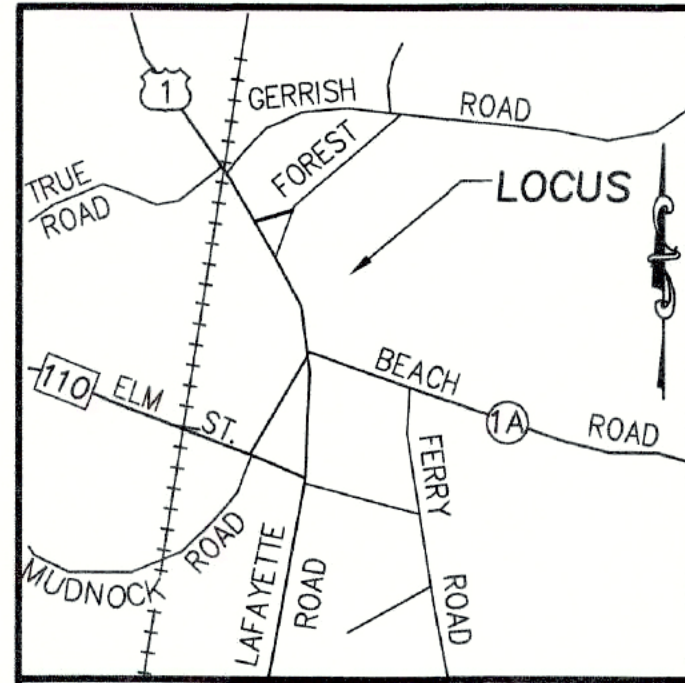
Designer
Heidi G. Connors
Visible Light, Inc.
24 Stickney Terrace
Suite 6
Hampton, NH 03842
Date
6/10/2021
Scale
1"=30'
Drawing No.

Summary



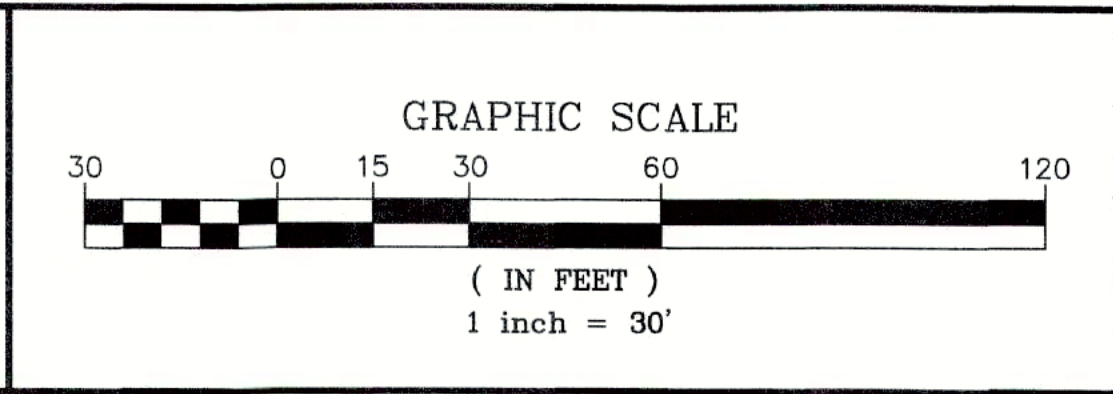
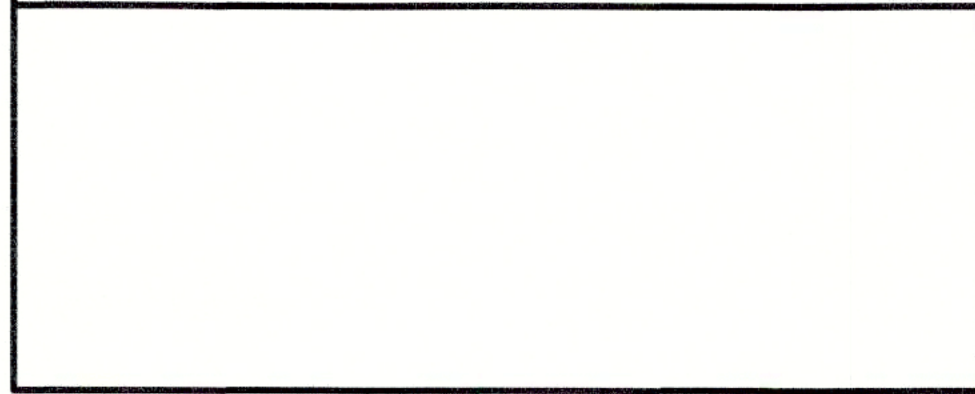
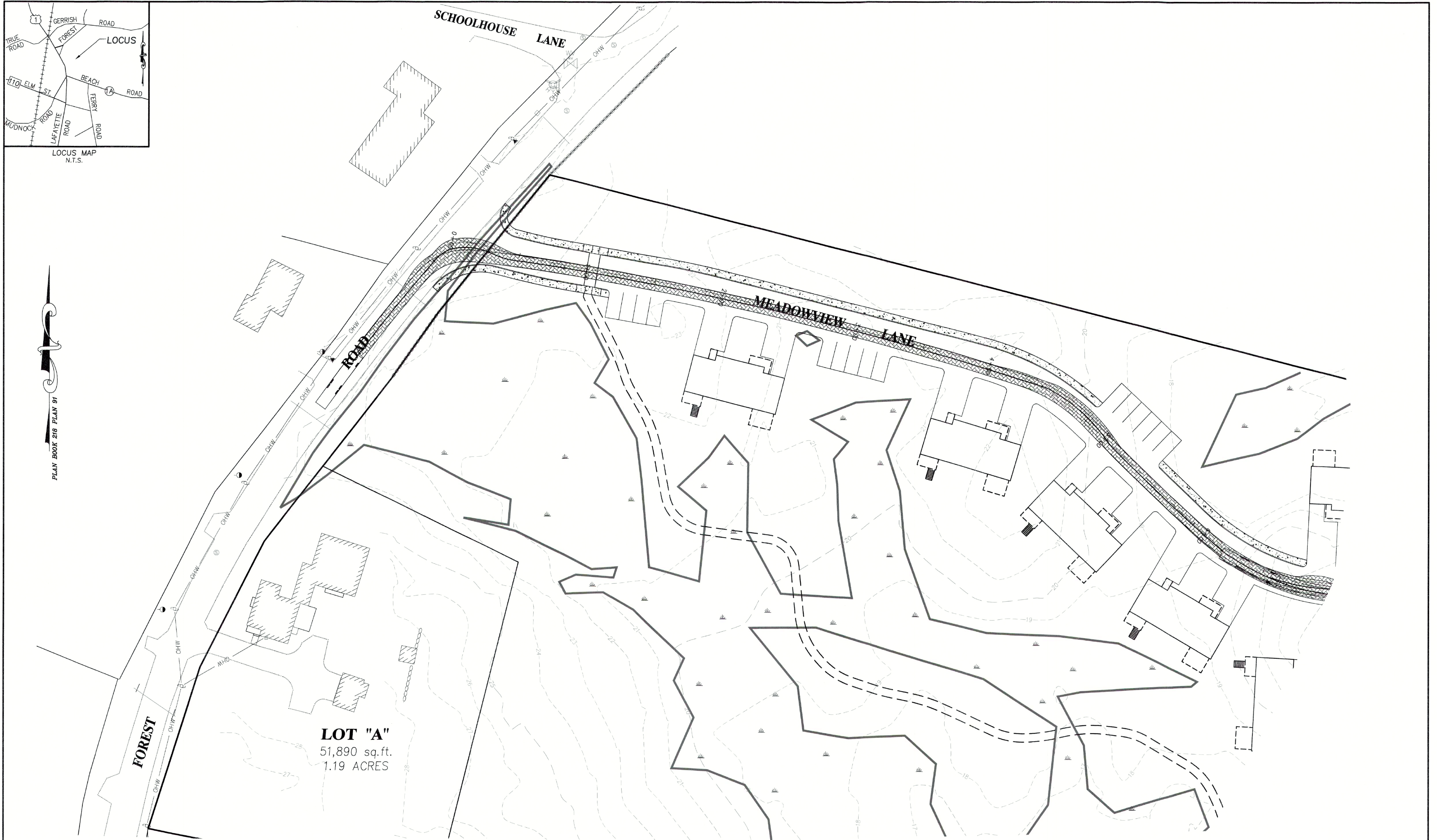
Site Lighting Layout
At
10 FOREST ROAD & MEADOWVIEW LANE

Designer
Heidi G. Connors
Visible Light, Inc.
24 Stickney Terrace
Suite 6
Hampton, NH 03842
Date
6/10/2021
Scale
1"=30'
Drawing No.
Summary



LOCUS MAP
N.T.S.

PLAN BOOK 218 PLAN 18



PREPARED FOR
6 FOREST ROAD LLC
71 COMMERCIAL STREET, #263
BOSTON, MA 02109

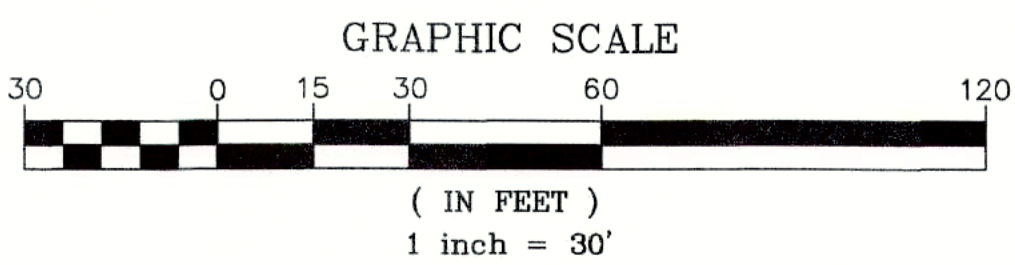
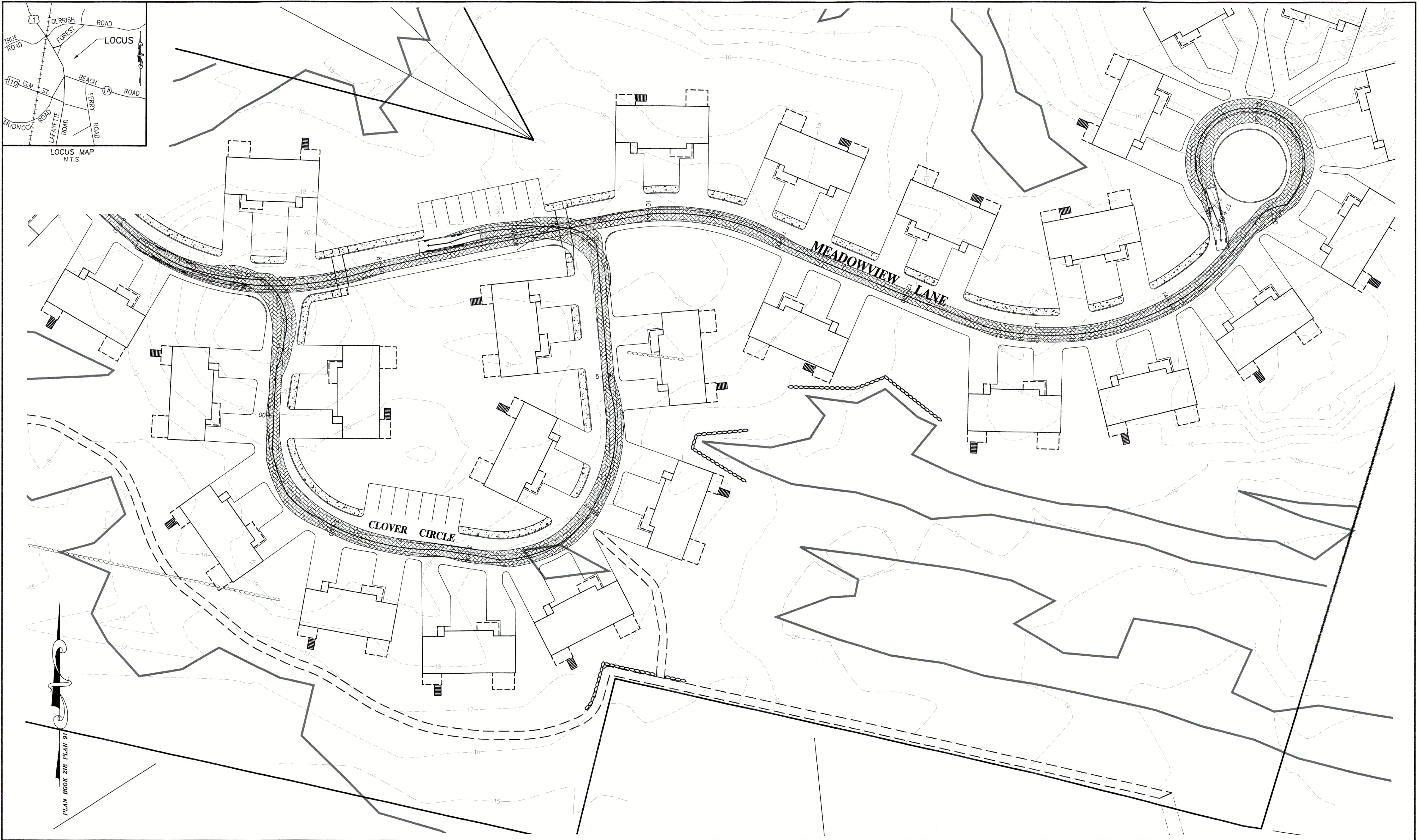
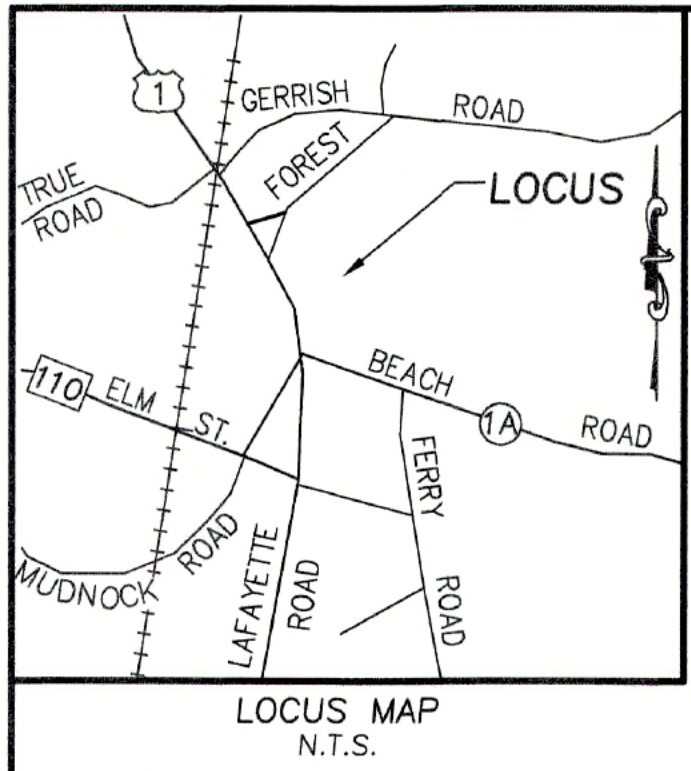
| NO. | DATE | DESCRIPTION | BY |
|-----|---------|-----------------------------|--------|
| 2 | 6/10/21 | ADDRESS REVIEWER'S COMMENTS | C.M.Y. |
| 1 | 4/12/21 | ADDRESS REVIEWER'S COMMENTS | C.M.Y. |

MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=30'
DATE: OCT. 26, 2020
DESIGN BY: C.M.Y.
CHECKED BY: E.W.B.
PROJECT: M193659

PLAN OF LAND
IN
SALISBURY, MA
SHOWING
56 UNIT TOWNHOUSE COMMUNITY
AT
10 FOREST ROAD & MEADOWVIEW LANE

FIRE TRUCK TEMPLATE
SHEET: F-1



PREPARED FOR
6 FOREST ROAD LLC
71 COMMERCIAL STREET, #263
BOSTON, MA 02109

MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
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PLAN OF LAND
IN
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56 UNIT TOWNHOUSE COMMUNITY
AT
10 FOREST ROAD & MEADOWVIEW LANE

FIRE TRUCK TEMPLATE
SHEET: F-2

| NO. | DATE | DESCRIPTION | BY |
|-----|---------|-----------------------------|--------|
| 2 | 6/10/21 | ADDRESS REVIEWER'S COMMENTS | C.M.Y. |
| 1 | 4/12/21 | ADDRESS REVIEWER'S COMMENTS | C.M.Y. |

SCALE: 1"=30'
DATE: OCT. 26, 2020
DESIG. BY: C.M.Y.
CHKD. BY: E.W.B.
PROJECT: M193659



SHRUBS: QTY 55

| | | |
|----------------------------|-------------------|--------|
| ARONIA ARBUT. 'BRILLIANT' | CHOKEBERRY | 5 GAL. |
| CLETHRA ALNIFOLIA | SUMMERSWEET | 5 GAL. |
| CORNUS SERICEA 'ISANT' | RED-TWIG DOGWOOD | 5 GAL. |
| HYDRANGEA PAN. 'QUICKFIRE' | PANICLE HYDRANGEA | 5 GAL. |
| ILEX GLABRA 'SHAMROCK' | INKBERRY | 5 GAL. |
| ILEX VERTICILLATA | WINTERBERRY | 5 GAL. |
| TAXUS X MEDIA 'DENSIFOR' | SPREADING YEW | 5 GAL. |
| VIBURNUM DENTATUM | ARROWWOOD | 5 GAL. |
| VIBURNUM TRILOBUM | AM. CRANBERRYBUSH | 5 GAL. |



| | | |
|---|---------|------------|
| 1 | 9-5-20 | For review |
| 2 | 9-5-20 | For review |
| 3 | 9-28-20 | For review |
| 4 | 9-30-20 | For review |
| 5 | 3-29-21 | For review |
| 6 | 4-28-21 | For review |
| 7 | 6-7-21 | For review |



27 High St.
Newburyport, MA 01950
ph) 781.632.6004

Salisbury, MA

LANDSCAPE PLAN

Scale: 1"=50'-0"