

”MEADOWVIEW AT SALISBURY”  
CONDOMINIUM  
AT  
6 FOREST ROAD &  
MEADOWVIEW LANE  
IN  
SALISBURY, MA

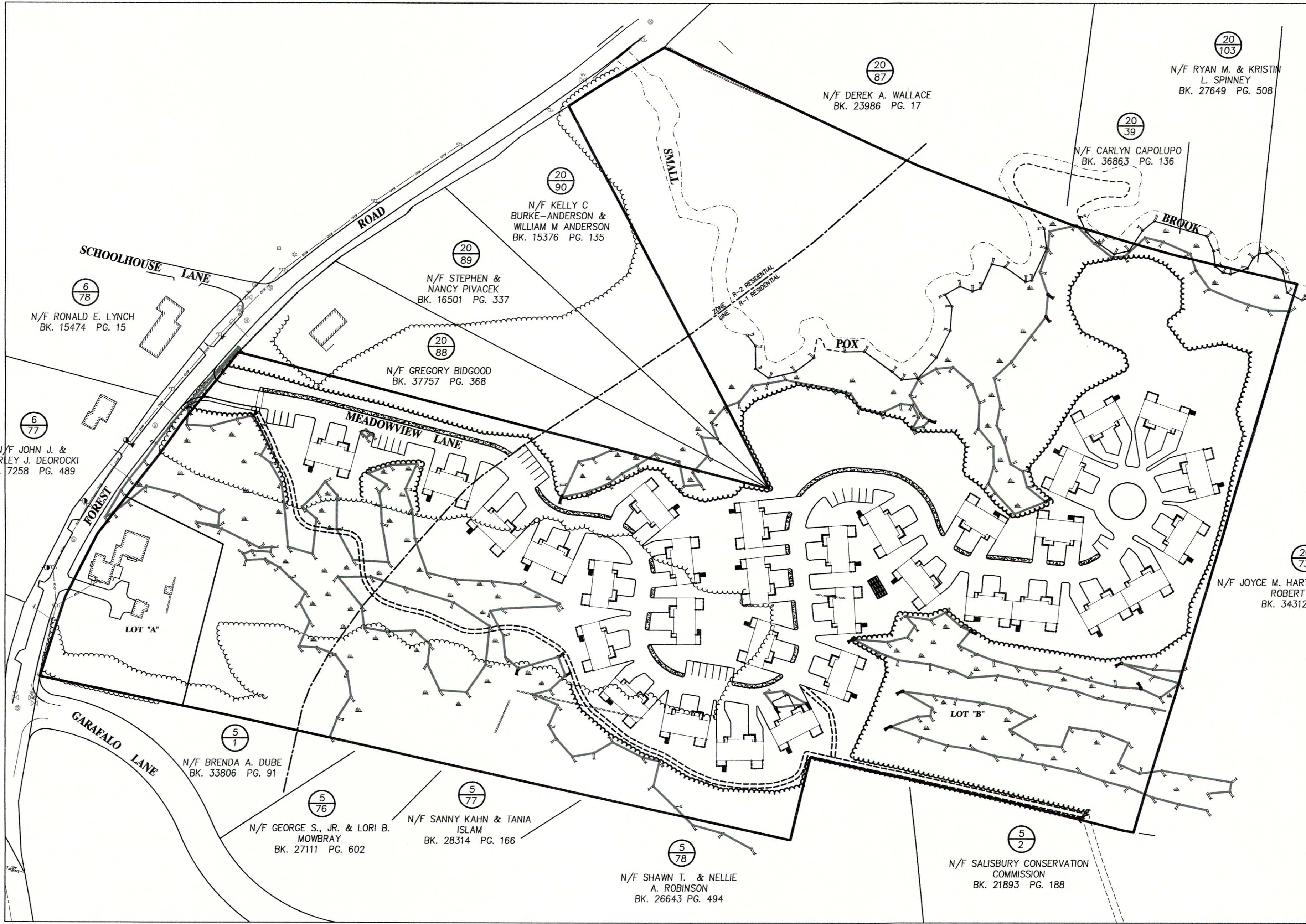
APRIL 2021

OWNER OF RECORD

20 44 20 45  
N/F FREEMAN J. AND MAUREEN  
F. CONDON  
REVOCABLE TRUST  
BK. 21338 PG. 332  
20 43 20 91  
N/F FREEMAN J. AND MAUREEN  
F. CONDON  
REVOCABLE TRUST  
BK. 21338 PG. 324  
TOTAL AREA  
1,173,380 S.F.  
26.94 ACRES

PLAN INDEX

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C-8-10	UTILITY PLAN & PROFILE
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E-1-2	LIGHTING PLAN
F-1-2	FIRE TRUCK TEMPLATE
L-1	LANDSCAPE PLAN
A1	ARCHITECTURAL PLAN

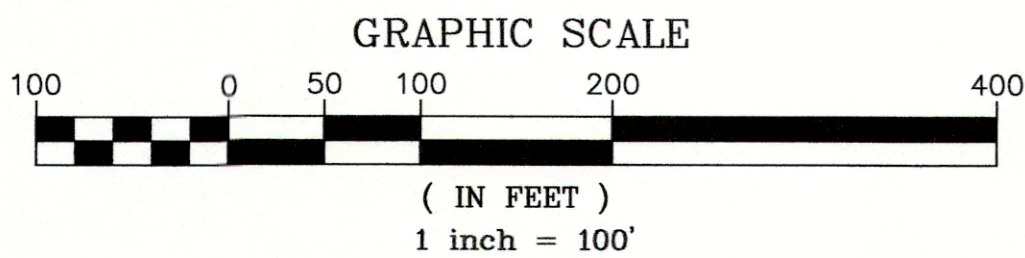


ZONING TABLE

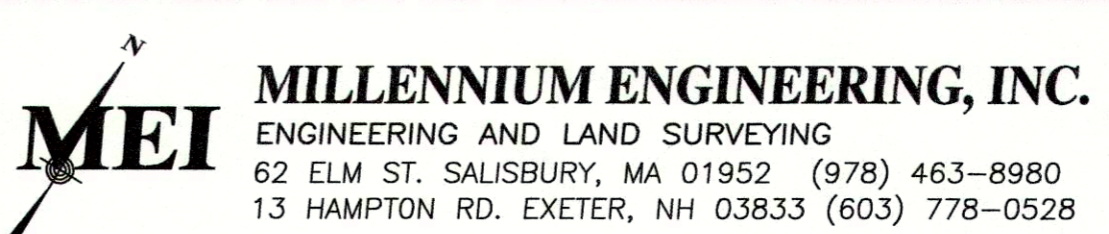
6 FOREST ROAD - ASSESSORS MAP 20 LOTS 43, 44, 45 & 91 ZONING DISTRICT R-1			
	REQUIRED	EXISTING	PROPOSED
LOT AREA:	2 ACRES	26.94 ACRES	26.94 ACRES
LOT FRONTAGE:	200 FEET	725.26 FEET	725.26 FEET
FRONT SETBACK:	40 FEET	10.9 FEET	112.6 FT
SIDE SETBACK:	20 FEET	150.8 FEET	21.5 FT
REAR SETBACK:	20 FEET	1012.4 FEET	21.7 FT
LOT COVERAGE:	20% MAX	**	6.1%
OPEN SPACE:	N/A	**	**
BLDG HEIGHT:	35 FEET	**	< 35 FEET

6 FOREST ROAD - ASSESSORS MAP 20 LOTS 43, 44, 45 & 91  
ZONING DISTRICT R-2

	REQUIRED	EXISTING	PROPOSED
LOT AREA:	1 ACRES	26.94 ACRES	26.94 ACRES
LOT FRONTAGE:	150 FEET	725.26 FEET	725.26 FEET
FRONT SETBACK:	40 FEET	10.9 FEET	112.6 FT
SIDE SETBACK:	20 FEET	150.8 FEET	21.5 FT
REAR SETBACK:	20 FEET	1012.4 FEET	21.7 FT
LOT COVERAGE:	25% MAX	**	6.1%
OPEN SPACE:	N/A	**	**
BLDG HEIGHT:	35 FEET	**	< 35 FEET



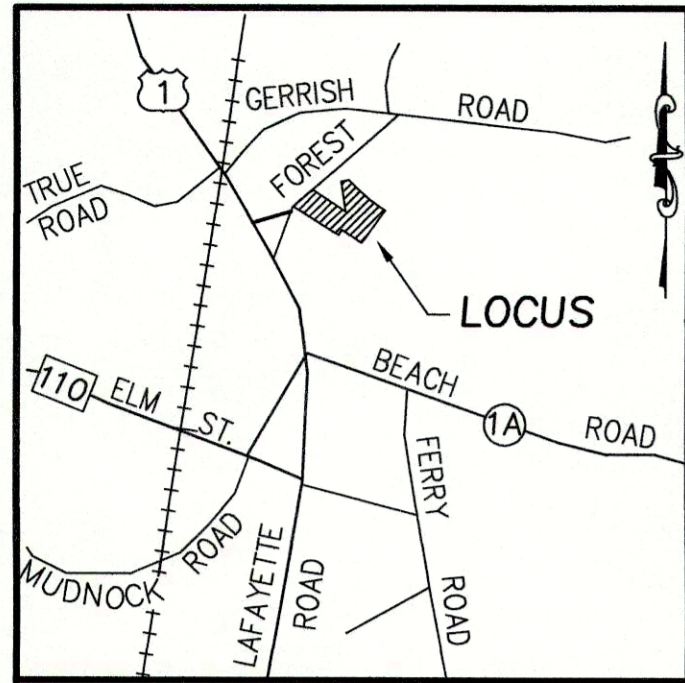
PREPARED FOR  
6 FOREST ROAD LLC  
71 COMMERCIAL STREET, #263  
BOSTON, MA 02109



PLAN OF LAND  
IN  
SALISBURY, MA  
SHOWING  
64 UNIT TOWNHOUSE COMMUNITY  
AT  
6 FOREST ROAD & MEADOWVIEW LANE

COVER SHEET

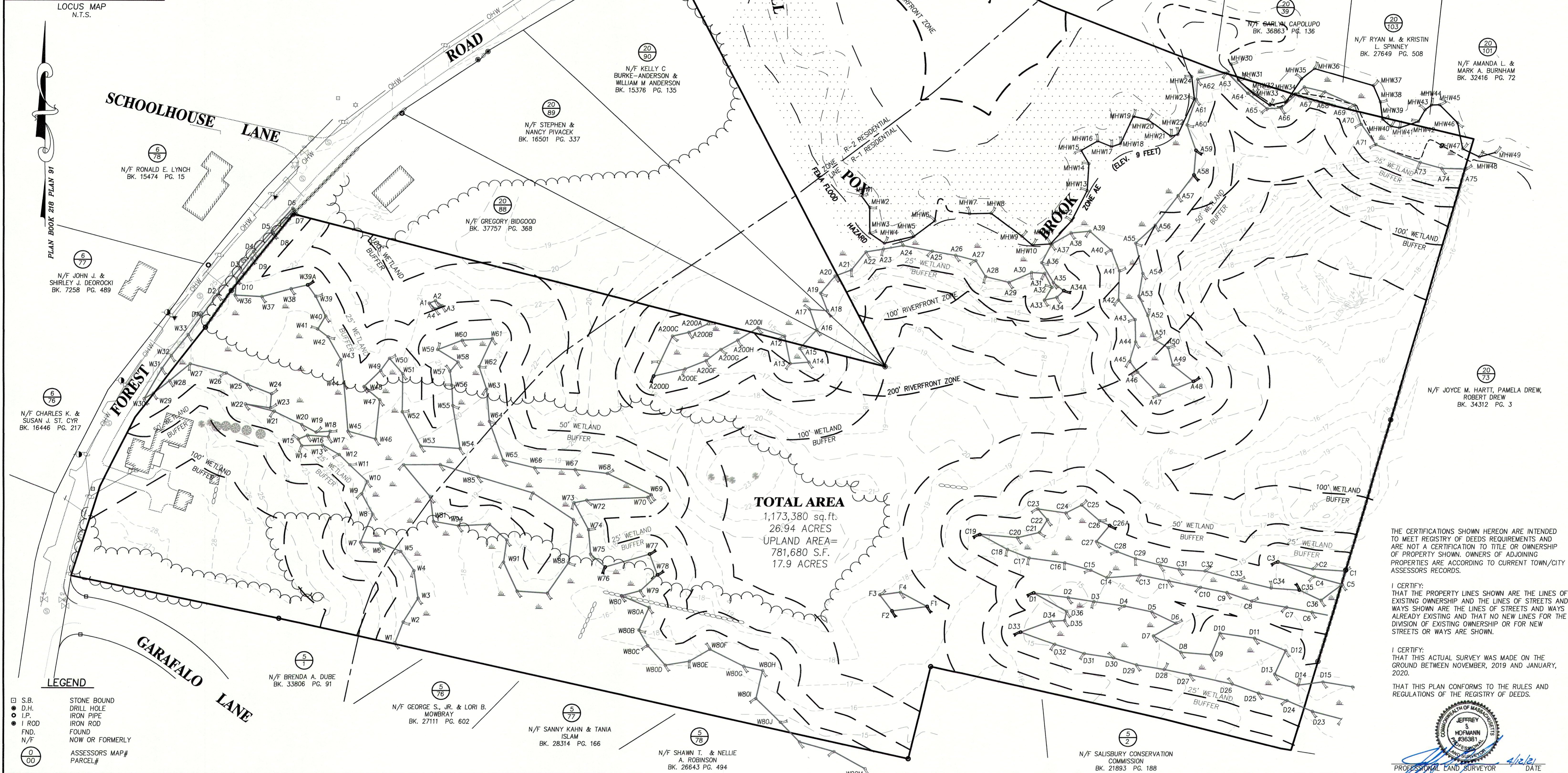
SHEET: C-1



ZONING TABLE			
6 FOREST ROAD - ASSESSORS MAP 20 LOTS 43, 44, 45 & 91 ZONING DISTRICT R-2			
	REQUIRED	EXISTING	PROPOSED
LOT AREA:	1 ACRES	26.94 ACRES	**
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SIDE SETBACK:	20 FEET	150.8 FEET	**
REAR SETBACK:	20 FEET	1012.4 FEET	**
LOT COVERAGE:	25%	**	**
OPEN SPACE:	N/A	**	**
BLDG HEIGHT:	35 FEET	**	**

WETLAND DELINEATED BY:  
WEST ENVIRONMENTAL  
(DELINEATED: NOVEMBER 2019)  
WETLAND LINE APPROVED PER ORDER OF  
RESOURCE AREA DELINEATION ON MAR. 30, 2021  
DEP FILE #065-1228

ZONING TABLE			
6 FOREST ROAD - ASSESSORS MAP 20 LOTS 43, 44, 45 & 91 ZONING DISTRICT R-1			
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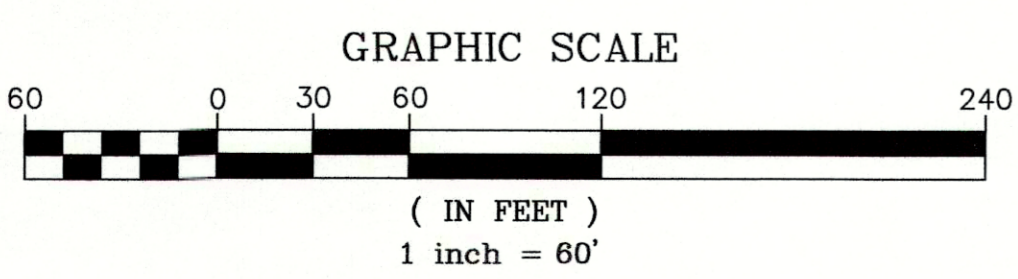
THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN/CITY ASSESSORS RECORDS.

I CERTIFY: THAT THE PROPERTY LINES SHOWN ARE THE LINES OF EXISTING OWNERSHIP AND THE LINES OF STREETS AND WAYS SHOWN ARE THE LINES OF STREETS AND WAYS ALREADY EXISTING AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW STREETS OR WAYS ARE SHOWN.

I CERTIFY: THAT THIS ACTUAL SURVEY WAS MADE ON THE GROUND BETWEEN NOVEMBER, 2019 AND JANUARY, 2020.

THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

JEFFREY S. HOFMANN  
PROFESSIONAL LAND SURVEYOR  
4/12/21  
DATE



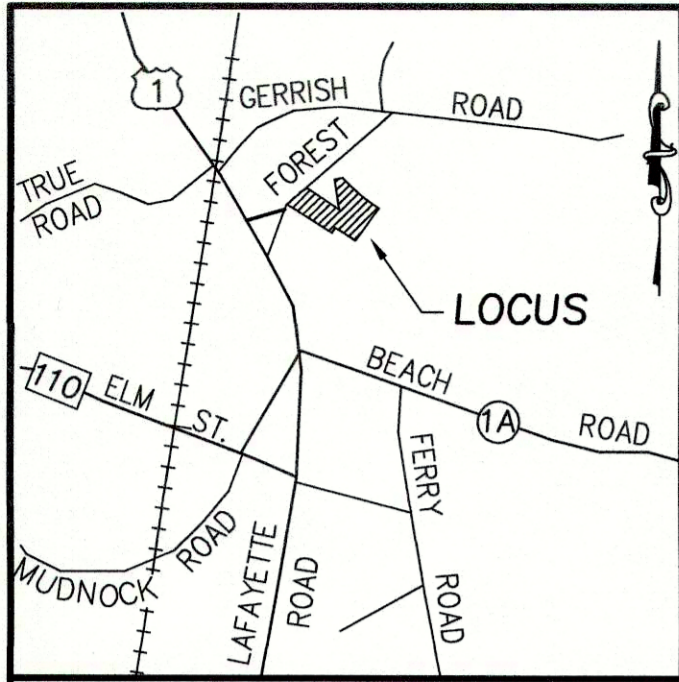
PREPARED FOR  
**6 FOREST ROAD LLC**  
71 COMMERCIAL STREET, #263  
BOSTON, MA 02109

**MEI** **MILLENNIUM ENGINEERING, INC.**  
ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

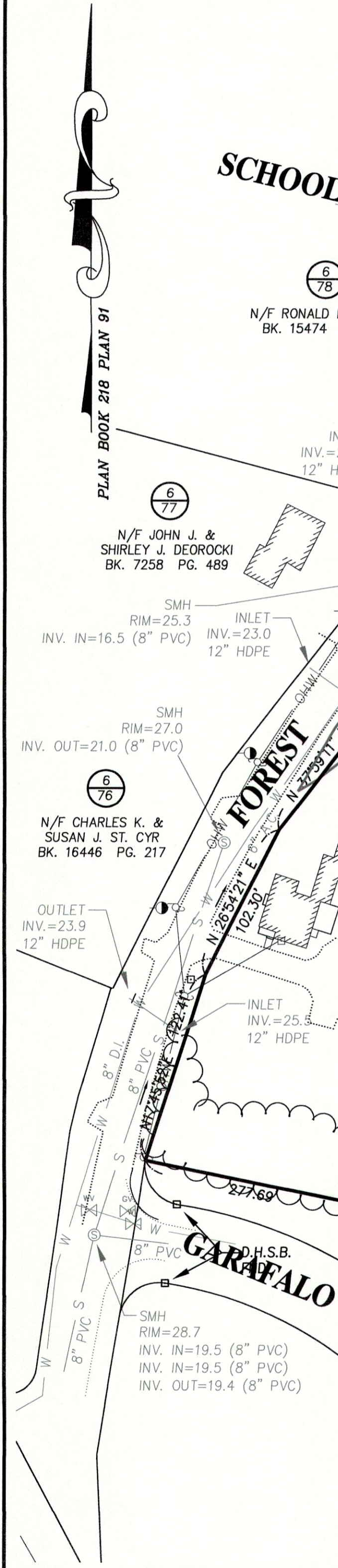
**PLAN OF LAND**  
IN  
**SALISBURY, MA**  
SHOWING  
**76 UNIT TOWNHOUSE COMMUNITY**  
AT  
**6 FOREST ROAD & MEADOWVIEW LANE**  
**EXISTING CONDITIONS TOPOGRAPHY**  
SHEET: C-2

NO.	DATE	DESCRIPTION	BY
1	4/12/21	ADDRESS REVIEWER'S COMMENTS	C.M.Y.

SCALE: 1"=60'	CALC. BY: P.D.B.	PROJECT: M193659
DATE: OCT. 26, 2020	CHKD. BY: J.S.H.	



LOCUS MAP  
N.T.S.

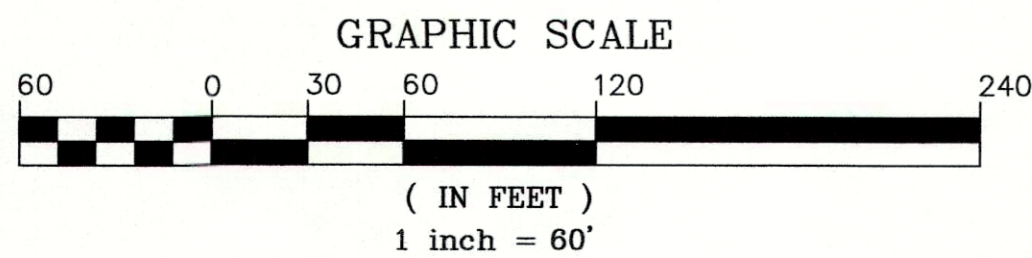


ZONING TABLE			
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ZONING DISTRICT R-2			
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BLDG HEIGHT:	35 FEET	**	**

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REAR SETBACK:	20 FEET	1012.4 FEET	**
LOT COVERAGE:	20%	**	**
OPEN SPACE:	N/A	**	**
BLDG HEIGHT:	35 FEET	**	**

**TOTAL AREA**  
1,173,380 sq.ft.  
26.94 ACRES  
UPLAND AREA=  
781,680 S.F.  
17.9 ACRES

- LEGEND**
- S.B.
  - D.H.
  - I.P.
  - I ROD
  - FND.
  - N/F
  - STONE BOUND
  - DRILL HOLE
  - IRON PIPE
  - IRON ROD
  - FOUND
  - NOW OR FORMERLY
  - ASSESSORS MAP#
  - PARCEL#



PREPARED FOR  
**6 FOREST ROAD LLC**  
71 COMMERCIAL STREET, #263  
BOSTON, MA 02109

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1	4/12/21	ADDRESS REVIEWER'S COMMENTS	C.M.Y.

MILLENNIUM ENGINEERING, INC.			
ENGINEERING AND LAND SURVEYING 62 ELM ST. SALISBURY, MA 01952 (978) 463-8980 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528			
SCALE: 1"=60'	CALC. BY: P.D.B.	PROJECT: M193659	
DATE: OCT. 26, 2020	CHKD. BY: J.S.H.		

PLAN OF LAND	
IN <b>SALISBURY, MA</b>	
SHOWING <b>76 UNIT TOWNHOUSE COMMUNITY</b>	
AT <b>6 FOREST ROAD &amp; MEADOWVIEW LANE</b>	

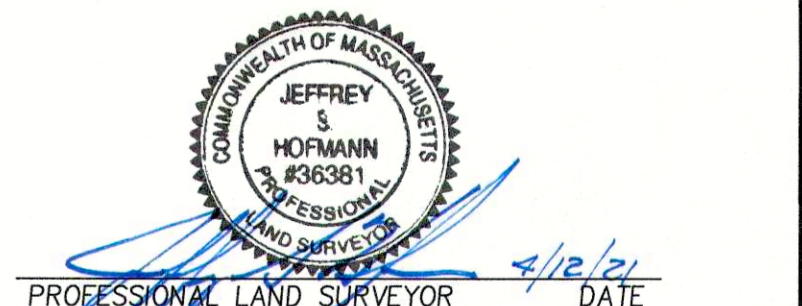
EXISTING CONDITIONS UTILITIES
SHEET: C-3

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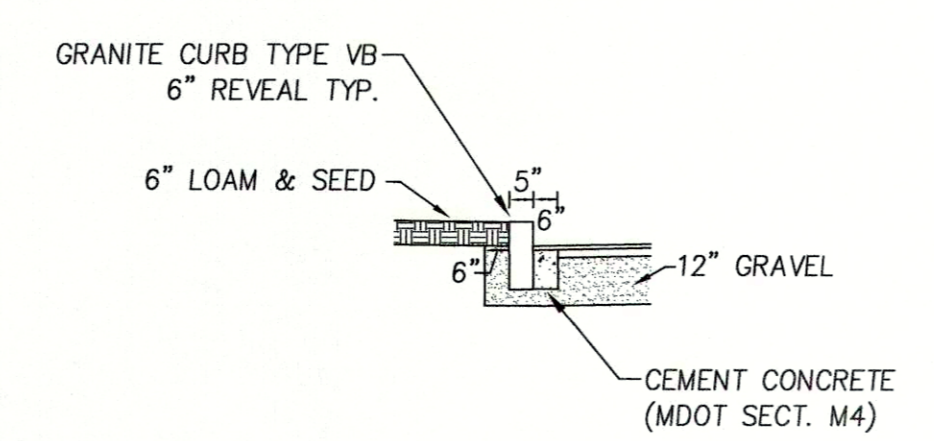
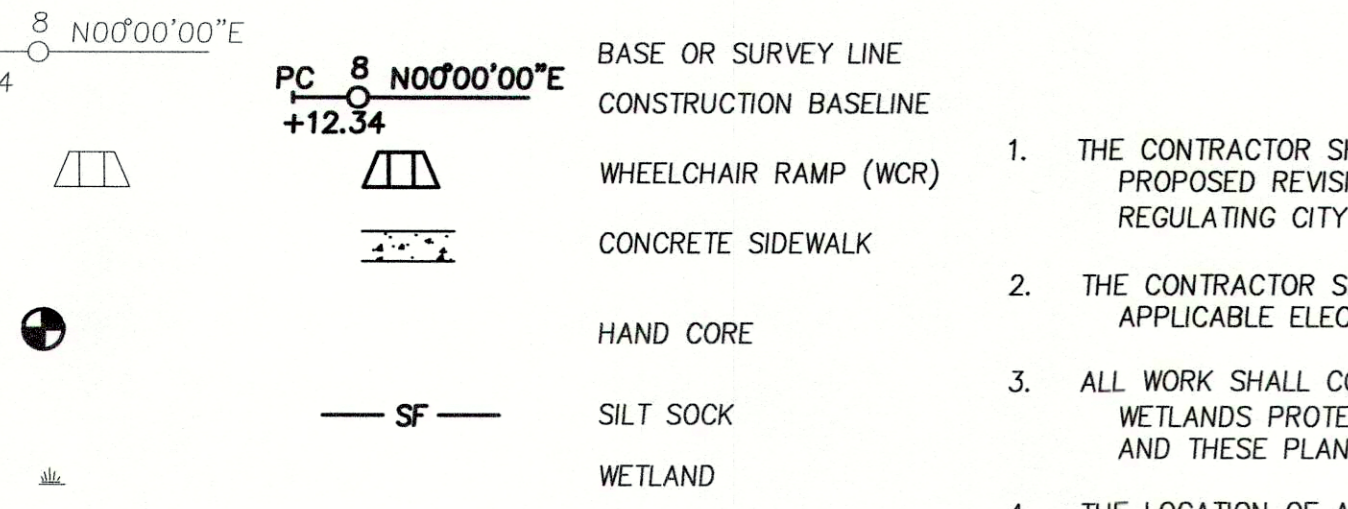
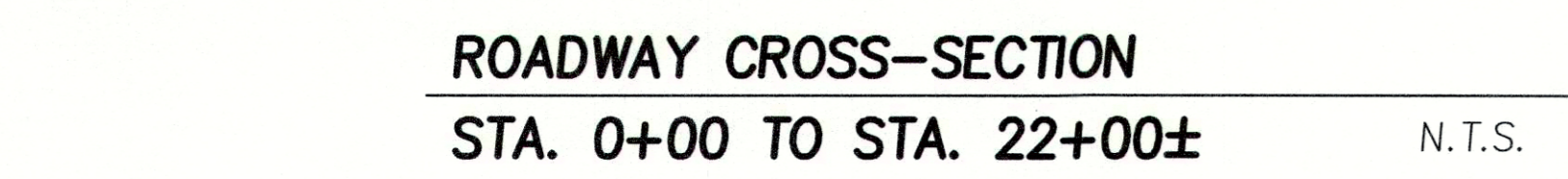
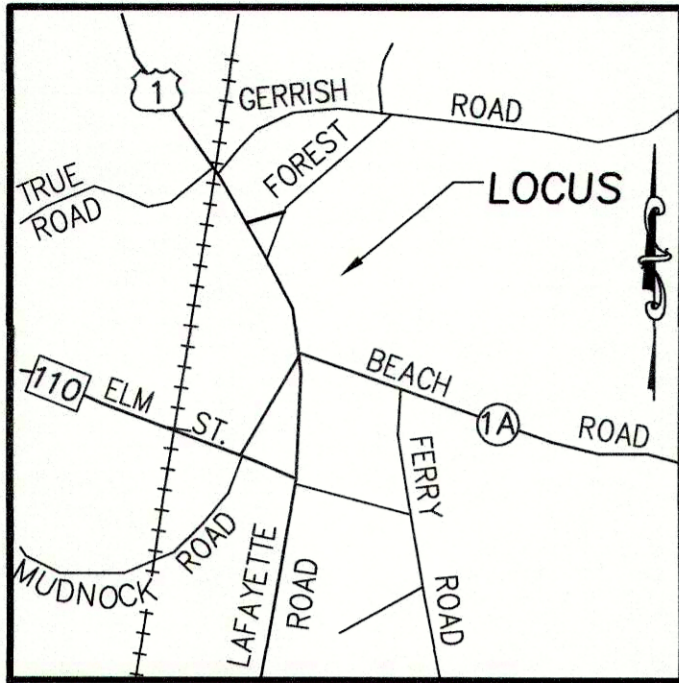


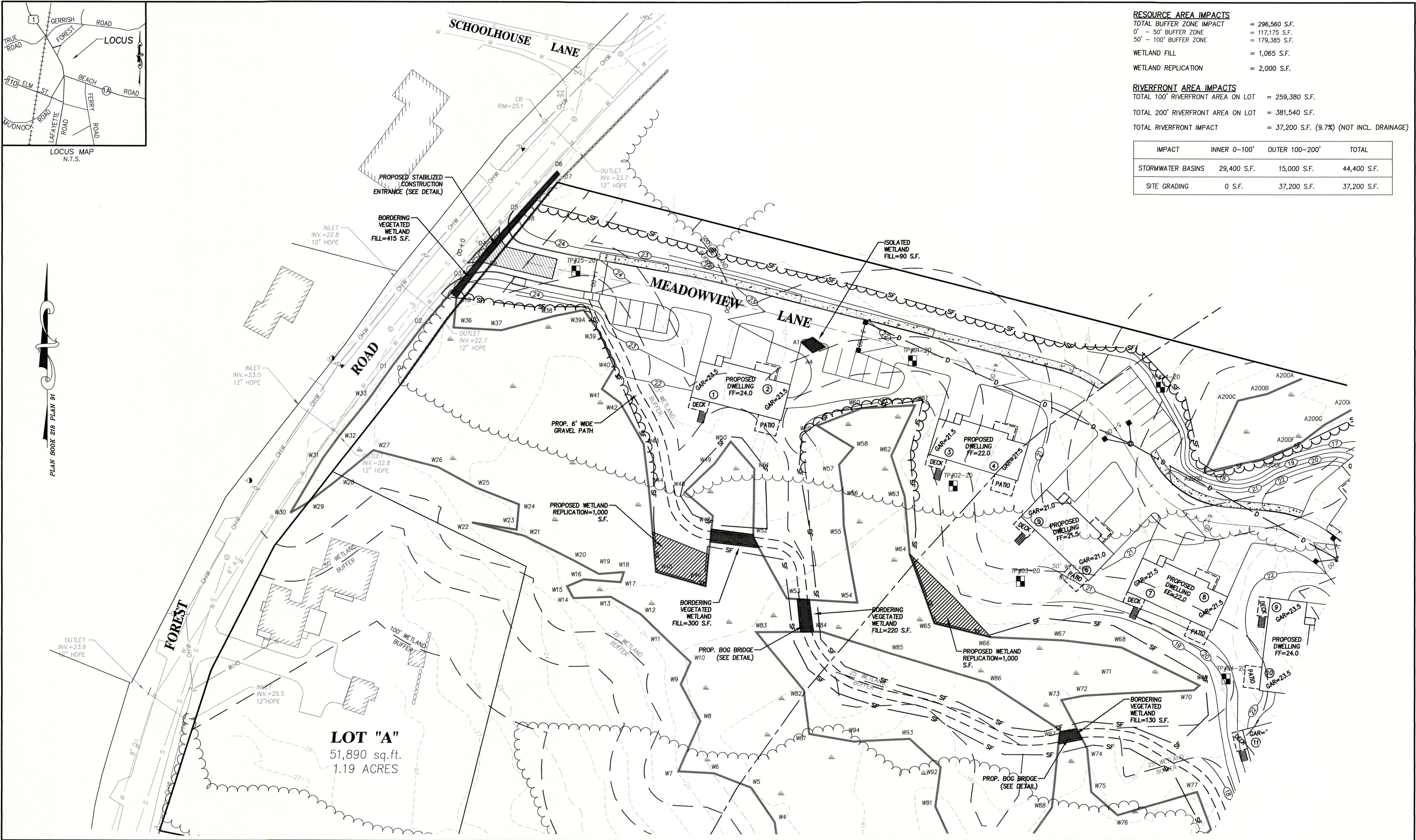
Diagram illustrating the proposed granite transition edging detail. The detail shows a cross-section of the transition area, including the proposed granite transition edging (typ.), the proposed bituminous concrete (PROP. BIT. CONC. SIDEWALK), and the low side transition. The transition area is defined by a 3'-0" minimum width and a 7.5% slope. The low side transition is 6.5 ft wide. The transition area is also labeled as "LEVEL ENTRANCE" with a 1.5% slope for drainage. A detectable warning panel is shown at the edge of the transition area. The diagram also indicates the direction of decreasing grade.

A.D.A. ACCESS	
RAMP DETAIL	N.T.S.



LOCUS MAP  
N.T.S.

PLAN BOOK 218 PLAN 91



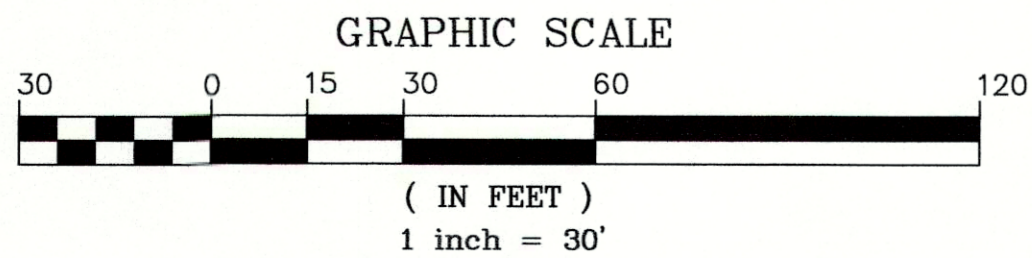
**RESOURCE AREA IMPACTS**

TOTAL BUFFER ZONE IMPACT	= 296,560 S.F.
0' - 50' BUFFER ZONE	= 117,175 S.F.
50' - 100' BUFFER ZONE	= 179,385 S.F.
WETLAND FILL	= 1,065 S.F.
WETLAND REPLICATION	= 2,000 S.F.

**RIVERFRONT AREA IMPACTS**

TOTAL 100' RIVERFRONT AREA ON LOT	= 259,380 S.F.
TOTAL 200' RIVERFRONT AREA ON LOT	= 381,540 S.F.
TOTAL RIVERFRONT IMPACT	= 37,200 S.F. (9.7%) (NOT INCL. DRAINAGE)

IMPACT	INNER 0-100'	OUTER 100-200'	TOTAL
STORMWATER BASINS	29,400 S.F.	15,000 S.F.	44,400 S.F.
SITE GRADING	0 S.F.	37,200 S.F.	37,200 S.F.



PREPARED FOR  
**6 FOREST ROAD LLC**  
71 COMMERCIAL STREET, #263  
BOSTON, MA 02109



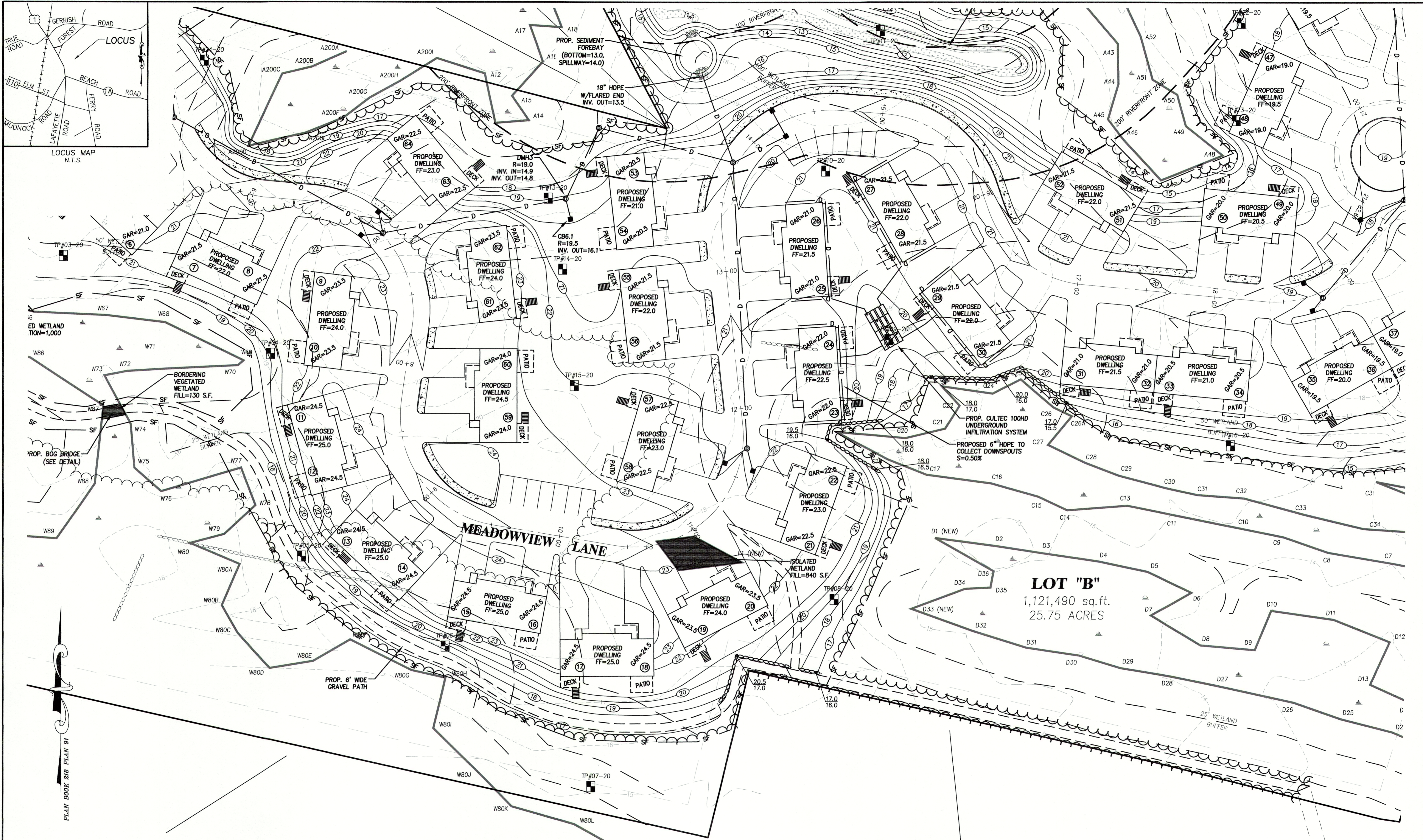
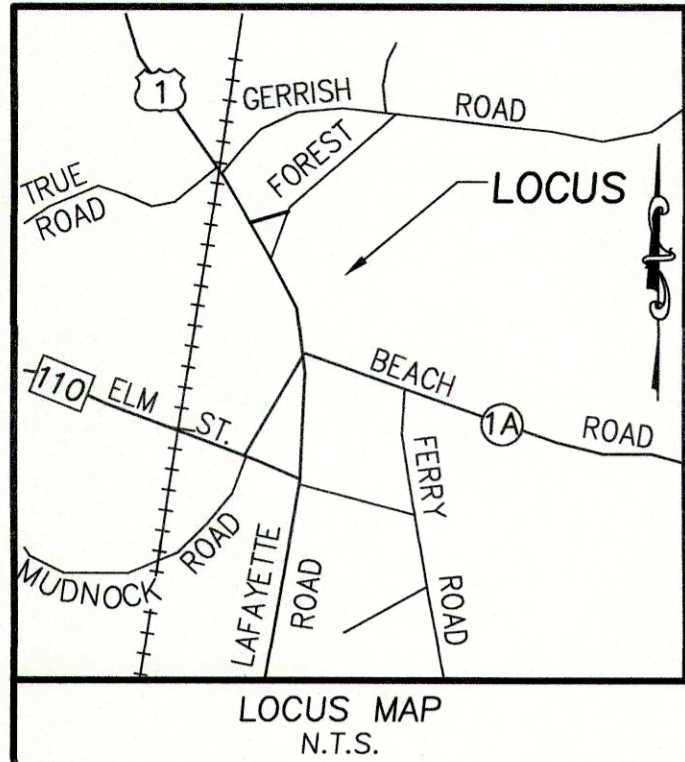
**MILLENNIUM ENGINEERING, INC.**  
ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

**PLAN OF LAND**  
IN  
**SALISBURY, MA**

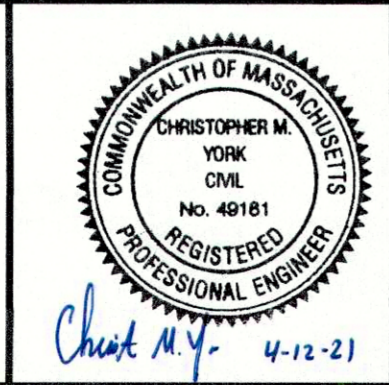
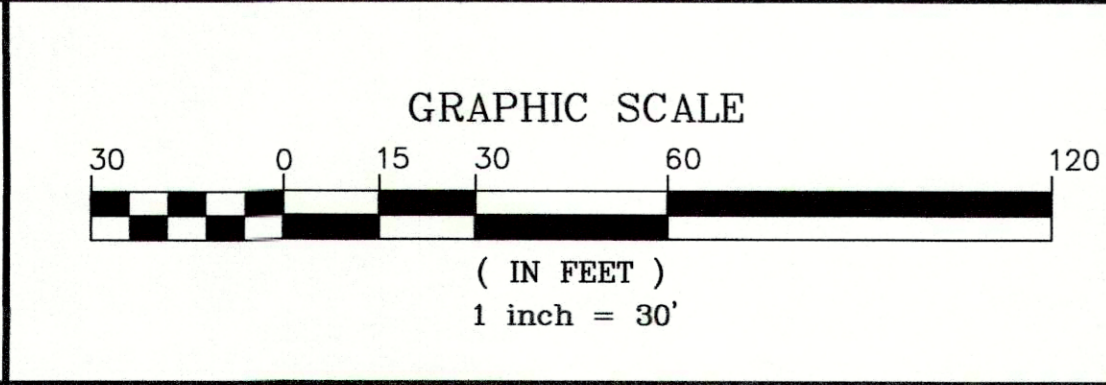
SHOWING  
**64 UNIT TOWNHOUSE COMMUNITY**  
AT  
**6 FOREST ROAD & MEADOWVIEW LANE**

**GRADING  
PLAN**

SHEET: C-5



PLAN BOOK 218 PLAN 91



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**6 FOREST ROAD LLC**  
71 COMMERCIAL STREET, #263  
BOSTON, MA 02109

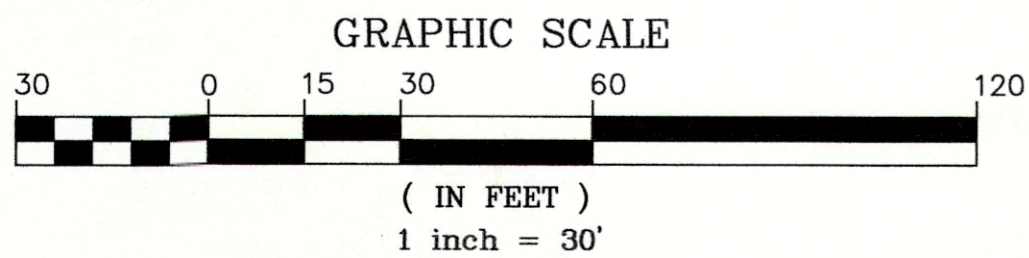
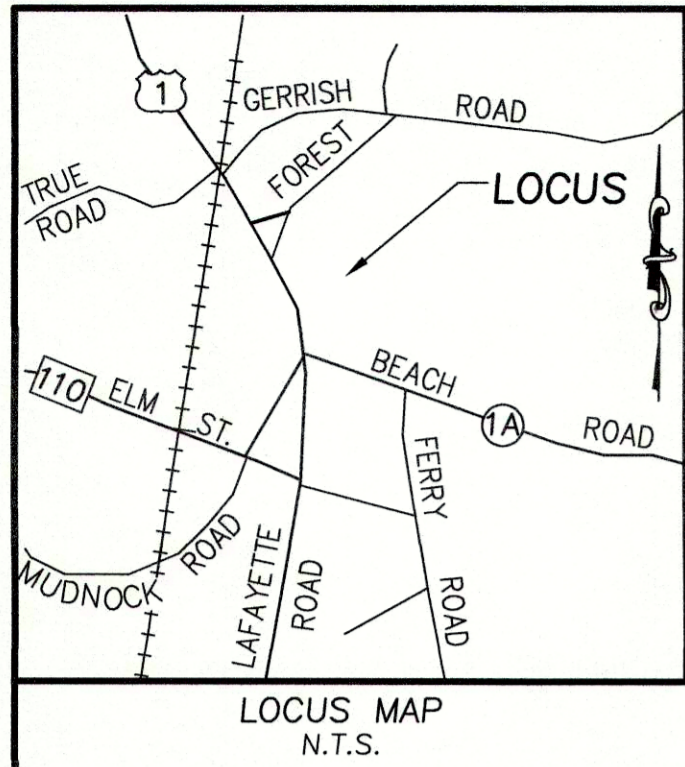
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1	4/12/21	ADDRESS REVIEWER'S COMMENTS	C.M.Y.

**MEI** **MILLENNIUM ENGINEERING, INC.**  
ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=30'  
DATE: OCT. 26, 2020  
DESIGNER: C.M.Y.  
CHECKED: E.W.B.  
PROJECT: M193659

**PLAN OF LAND**  
IN  
**SALISBURY, MA**  
SHOWING  
**64 UNIT TOWNHOUSE COMMUNITY**  
AT  
**6 FOREST ROAD & MEADOWVIEW LANE**

**GRADING PLAN**  
SHEET: C-6



PREPARED FOR  
**6 FOREST ROAD LLC**  
71 COMMERCIAL STREET, #263  
BOSTON, MA 02109

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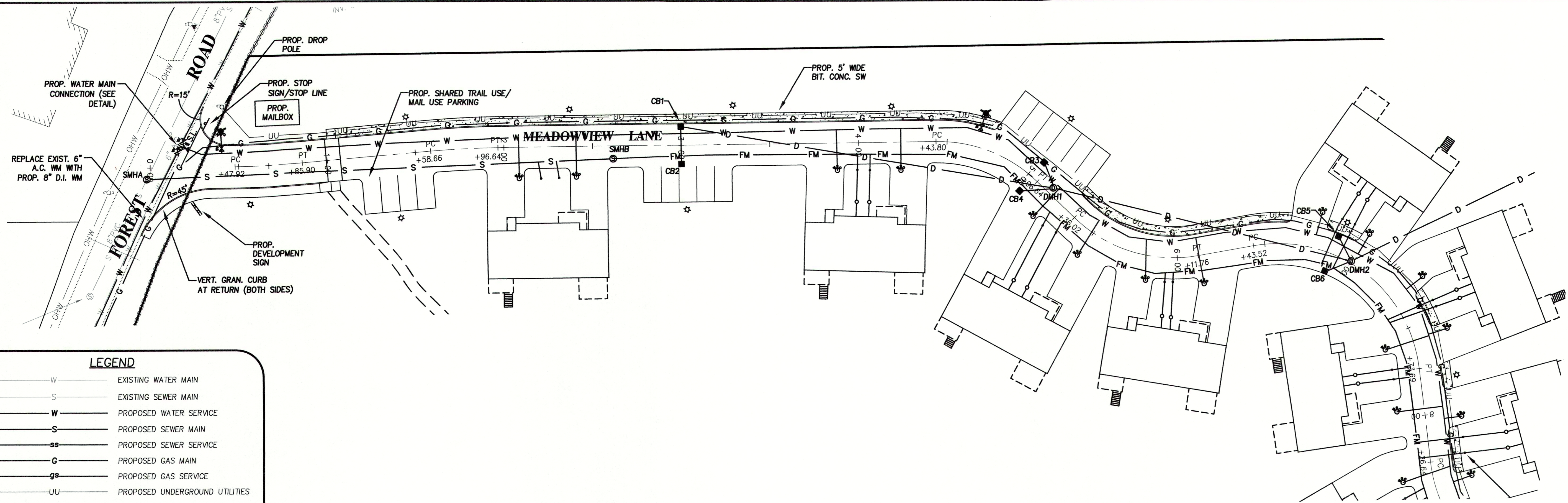
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**PLAN OF LAND**  
IN  
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AT  
**6 FOREST ROAD & MEADOWVIEW LANE**

**GRADING  
PLAN**

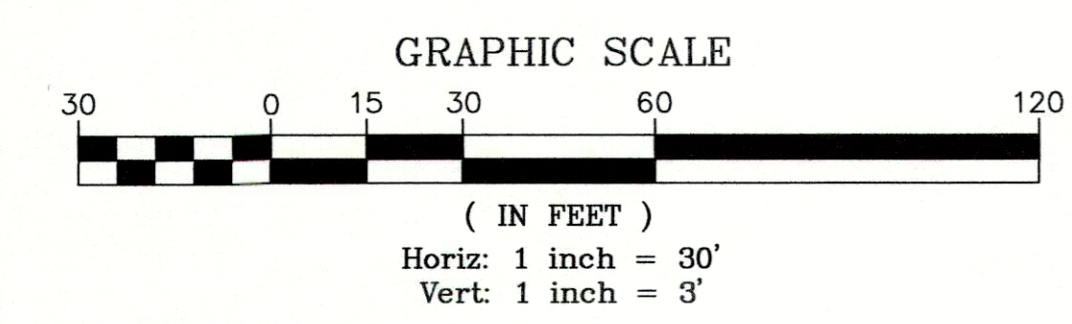
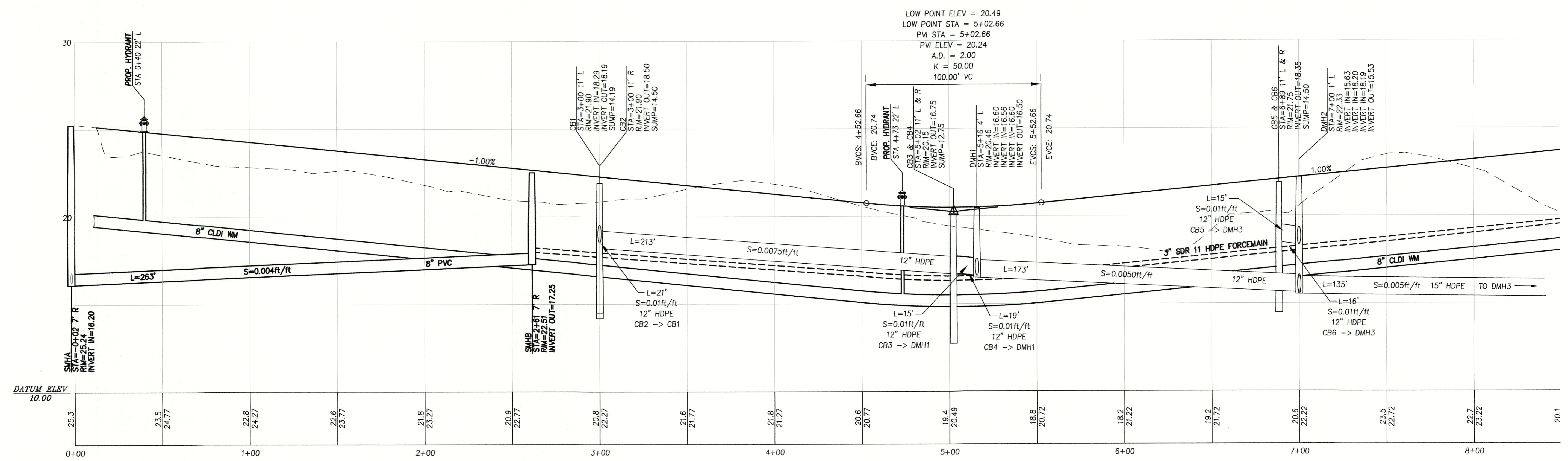
SHEET: C-7



PLAN BOOK 218 PLAN 91

**LEGEND**

- W — EXISTING WATER MAIN
- S — EXISTING SEWER MAIN
- W — PROPOSED WATER SERVICE
- S — PROPOSED SEWER MAIN
- SS — PROPOSED SEWER SERVICE
- G — PROPOSED GAS MAIN
- GS — PROPOSED GAS SERVICE
- UU — PROPOSED UNDERGROUND UTILITIES
- ⊗ PROPOSED WATER GATE
- ⊙ PROPOSED SEWER CLEANOUT
- ★ PROPOSED STREET LIGHT
- ⊕ PROPOSED WATER SHUTOFF
- ⊗ PROPOSED FIRE HYDRANT
- PROPOSED SEWER SERVICE



PREPARED FOR

**6 FOREST ROAD LLC**

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BOSTON, MA 02109

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1	4/12/21	ADDRESS REVIEWER'S COMMENTS	C.M.Y.

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13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=30'

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PROJECT: M193659

**PLAN OF LAND**

IN

**SALISBURY, MA**

SHOWING

**64 UNIT TOWNHOUSE COMMUNITY**

AT

**6 FOREST ROAD & MEADOWVIEW LANE**

**UTILITY PLAN & PROFILE**

SHEET: C-8

LEGEND

W

EXISTING WATER MAIN

S

EXISTING SEWER MAIN

W

PROPOSED WATER SERVICE

S

PROPOSED SEWER MAIN

SS

PROPOSED SEWER SERVICE

G

PROPOSED GAS MAIN

GS

PROPOSED GAS SERVICE

UU

PROPOSED UNDERGROUND UTILITIES

⊗

PROPOSED WATER GATE

⊙

PROPOSED SEWER CLEANOUT

★

PROPOSED STREET LIGHT

⊕

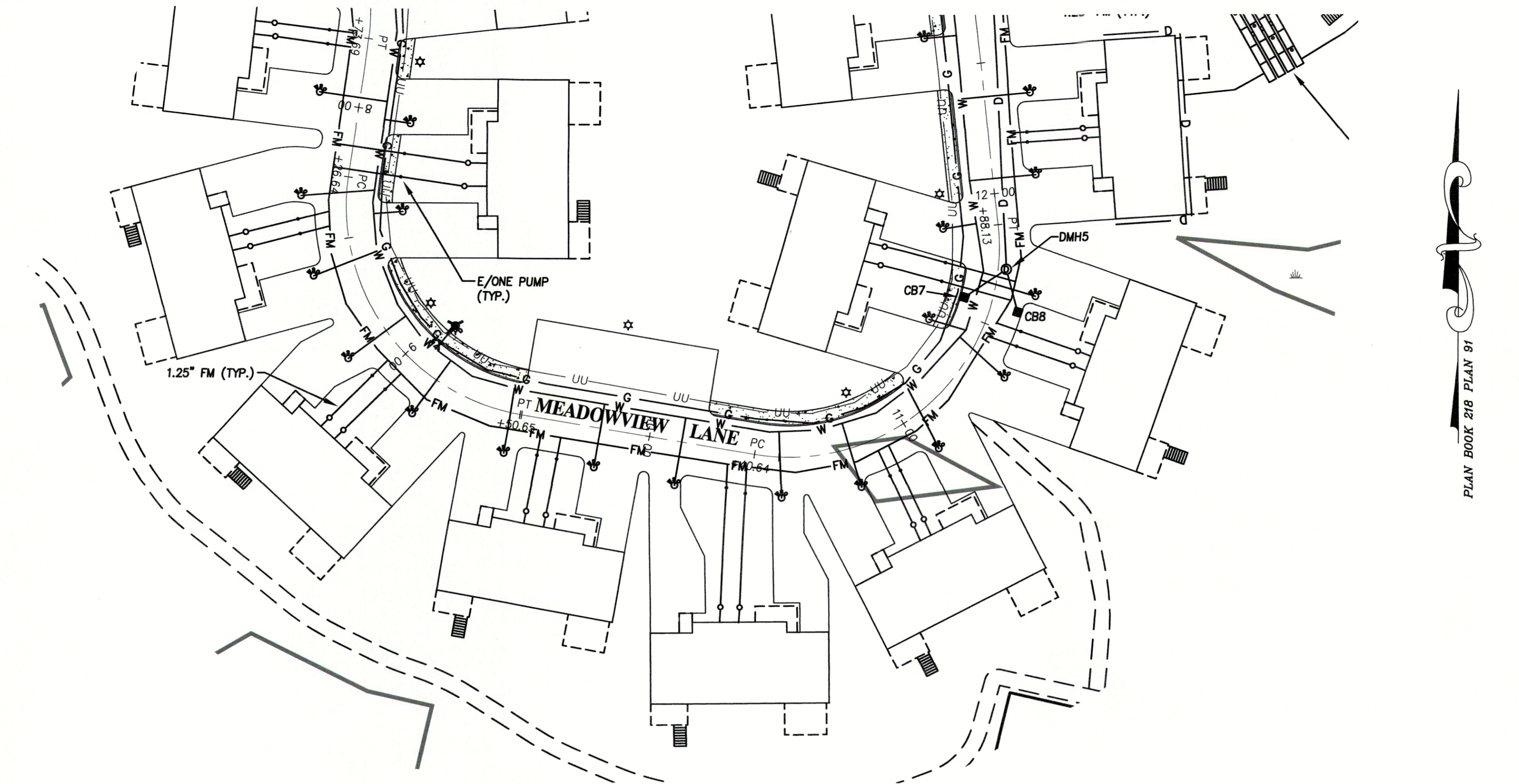
PROPOSED WATER SHUTOFF

⊗

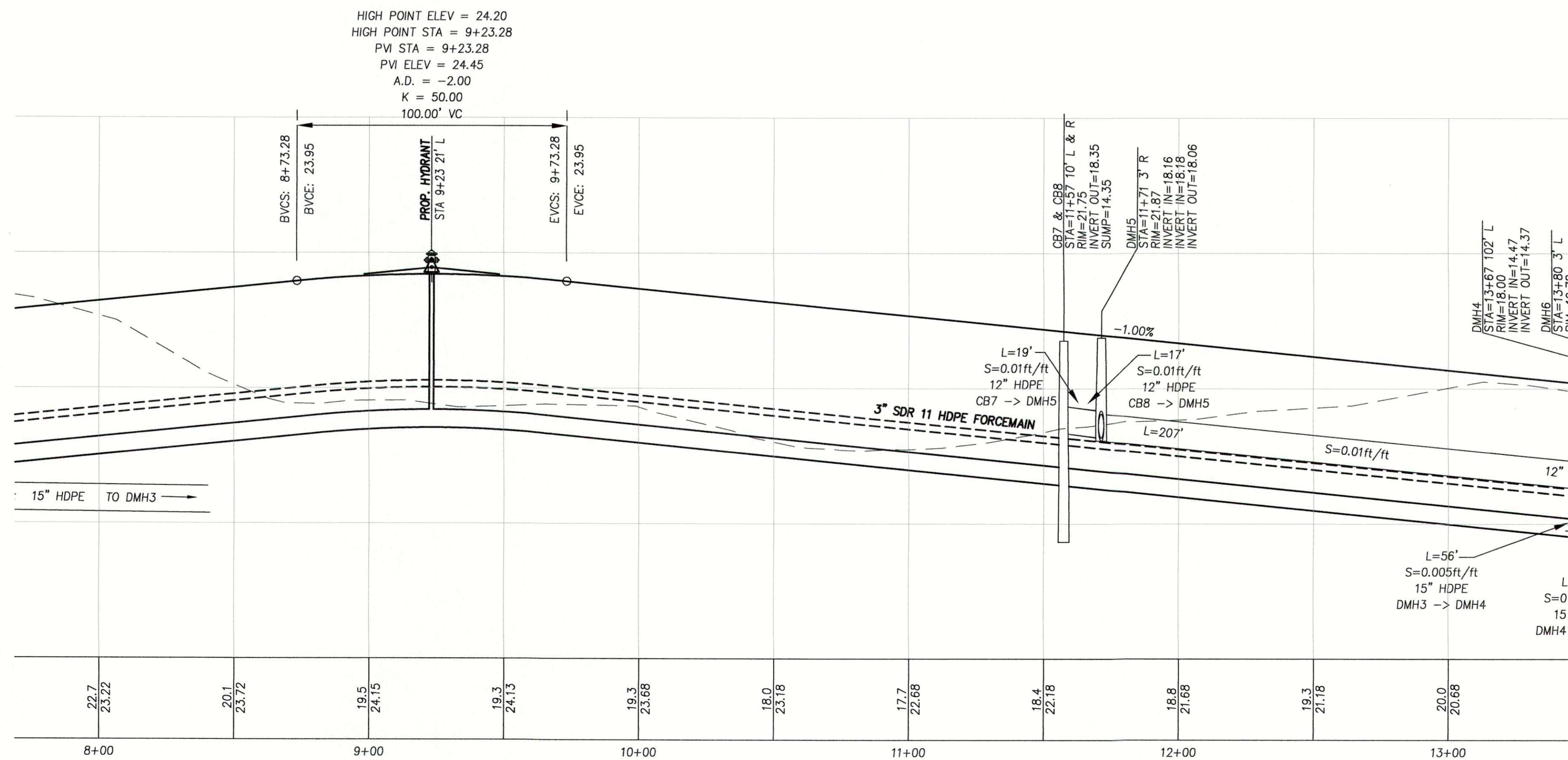
PROPOSED FIRE HYDRANT

○

PROPOSED SEWER SERVICE



PLAN BOOK 218 PLAN 91



GRAPHIC SCALE

30 0 15 30 60 120

( IN FEET )

Horiz: 1 inch = 30'

Vert: 1 inch = 3'

COMMONWEALTH OF MASSACHUSETTS

CHRISTOPHER M. YORK

CIVIL

No. 49181

REGISTERED PROFESSIONAL ENGINEER

Christ M.Y. 4-12-21

PREPARED FOR

6 FOREST ROAD LLC

71 COMMERCIAL STREET, #263

BOSTON, MA 02109

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MEI

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ENGINEERING AND LAND SURVEYING

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13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

PLAN OF LAND

IN

SALISBURY, MA

SHOWING

64 UNIT TOWNHOUSE COMMUNITY

AT

6 FOREST ROAD & MEADOWVIEW LANE

UTILITY PLAN & PROFILE

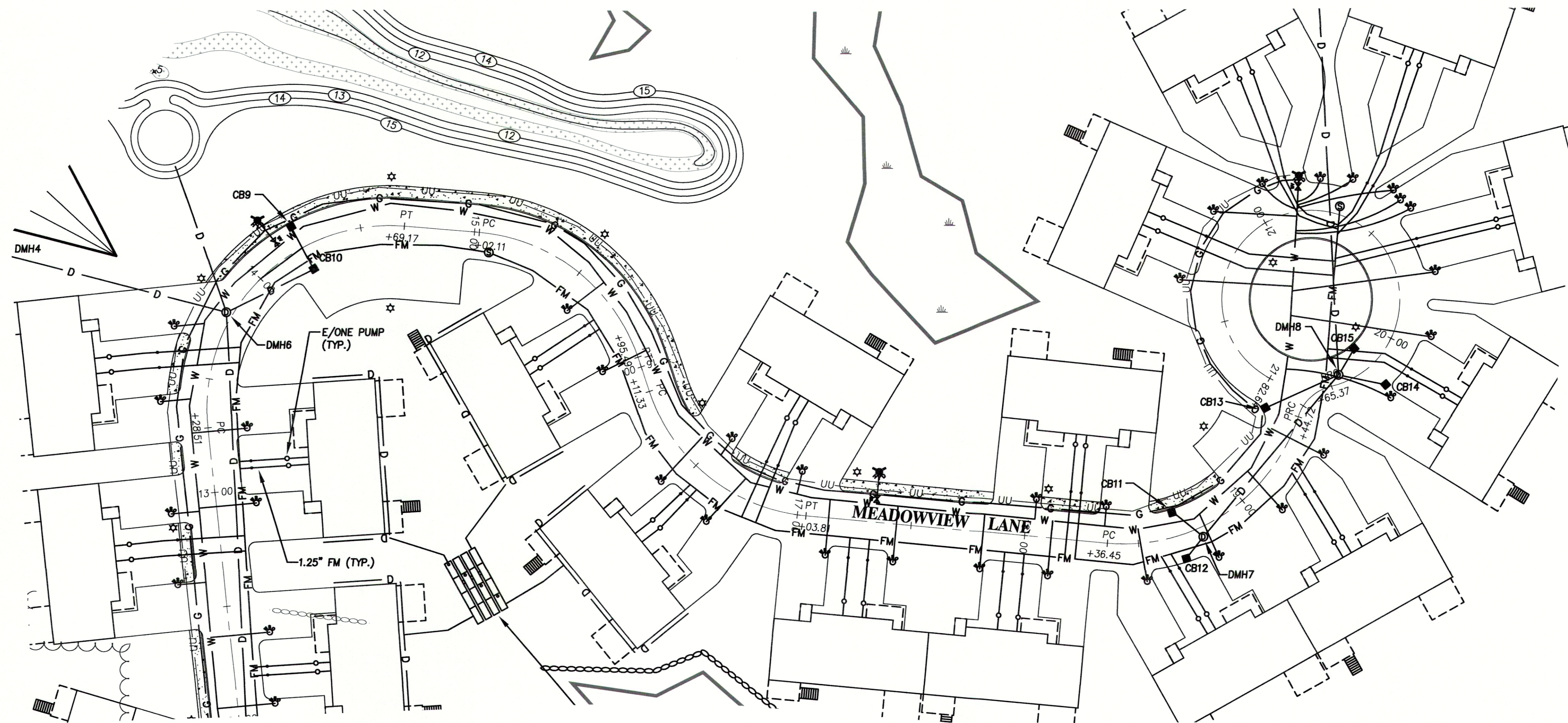
SHEET: C-9

**LEGEND**

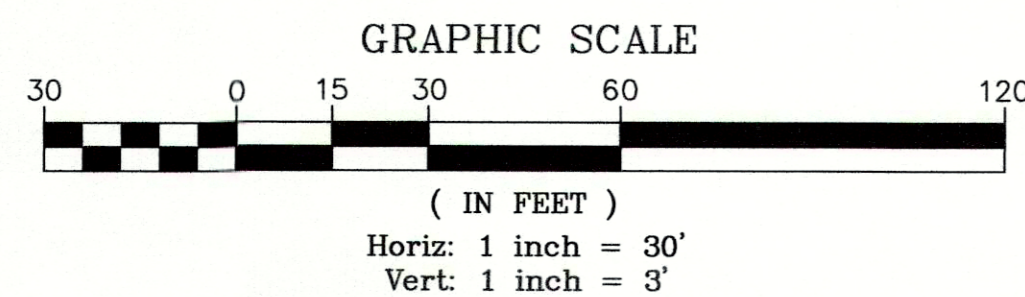
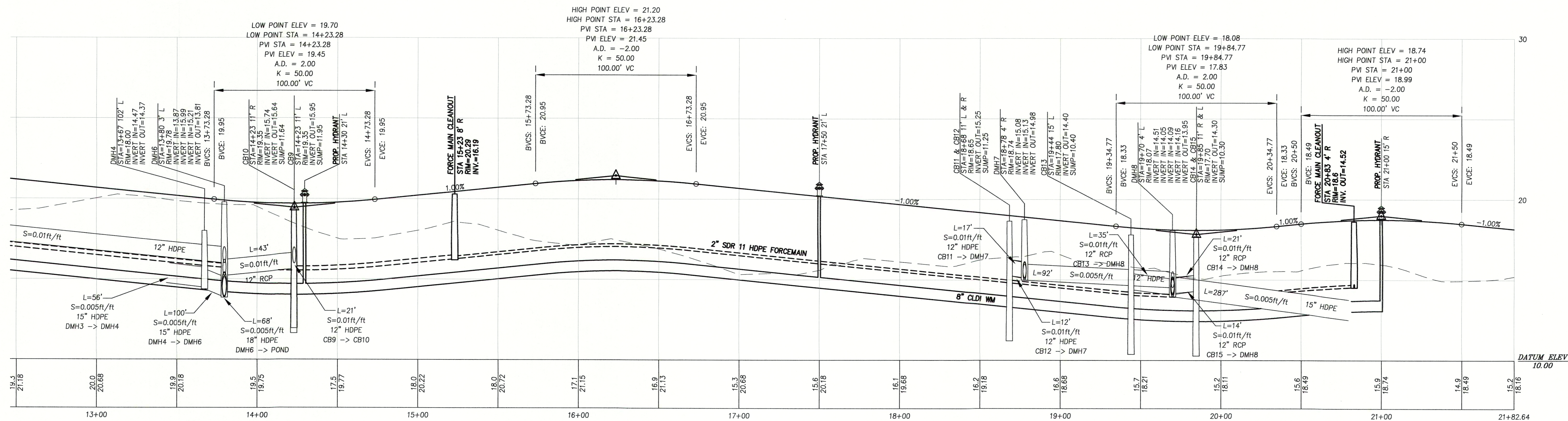
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⊕ PROPOSED WATER GATE  
⊕ PROPOSED SEWER CLEANOUT  
★ PROPOSED STREET LIGHT

⊕ PROPOSED WATER SHUTOFF  
⊕ PROPOSED FIRE HYDRANT  
○ PROPOSED SEWER SERVICE



PLAN BOOK 218 PLAN 81



PREPARED FOR

**6 FOREST ROAD LLC**

71 COMMERCIAL STREET, #263  
BOSTON, MA 02109

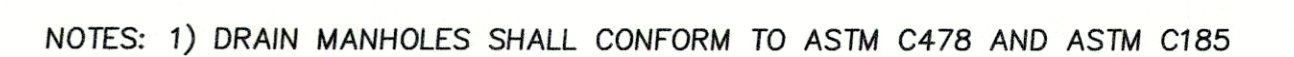
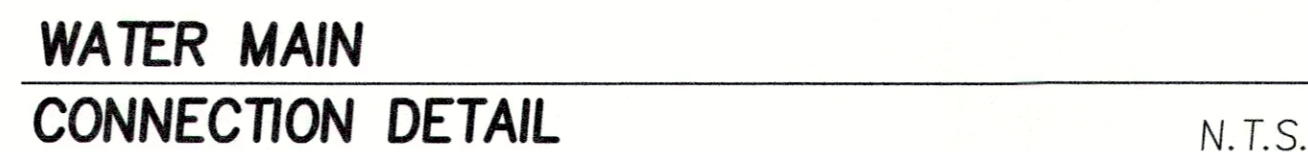
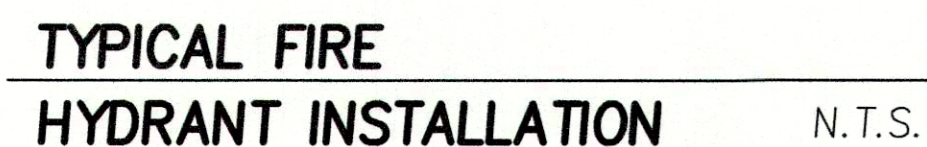
**MEI** **MILLENNIUM ENGINEERING, INC.**

ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

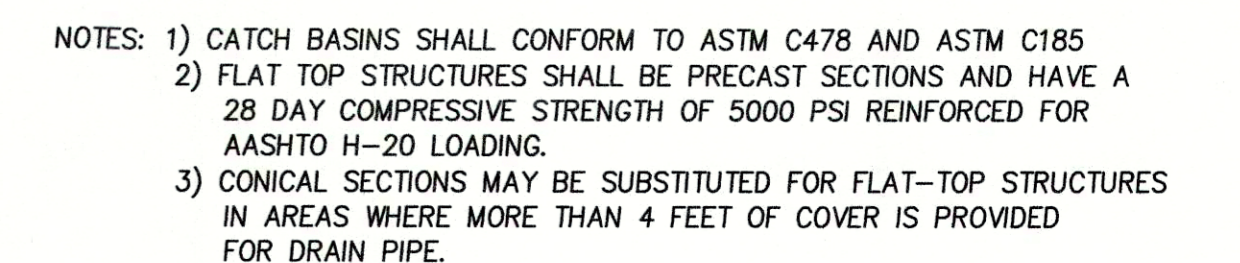
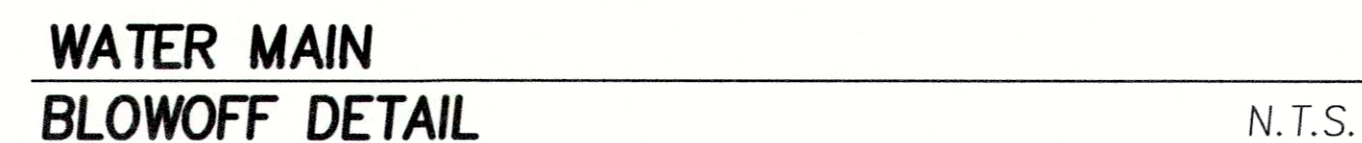
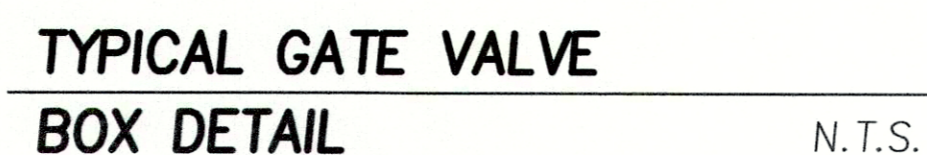
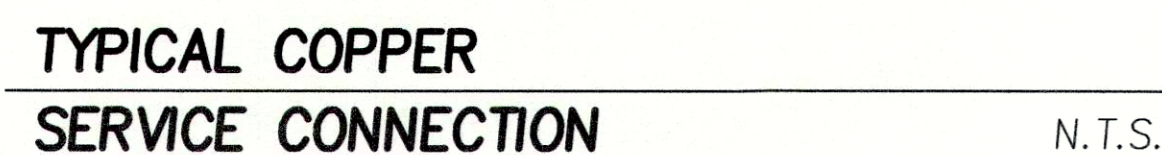
**PLAN OF LAND**  
IN  
**SALISBURY, MA**  
SHOWING  
**64 UNIT TOWNHOUSE COMMUNITY**  
AT  
**6 FOREST ROAD & MEADOWVIEW LANE**

**UTILITY PLAN  
& PROFILE**

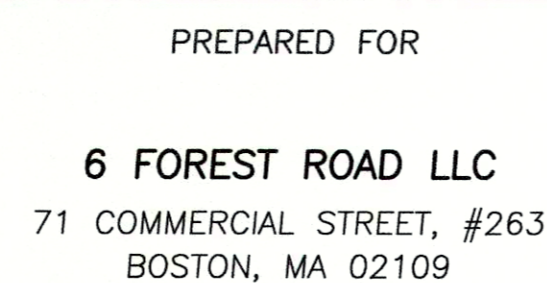
SHEET C-10

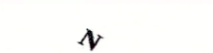


**PRECAST DRAIN  
MANHOLE DETAIL** N.T.S.



**PRECAST DEEP SUMP**  
**CATCH BASIN DETAIL** N.T.S.



						 <b>MILLENNIUM ENGINEERING, INC.</b> ENGINEERING AND LAND SURVEYING 62 ELM ST. SALISBURY, MA 01952 (978) 463-8980 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528
1	4/12/21	ADDRESS REVIEWER'S COMMENTS	C.M.Y.	SCALE: AS NOTED	DESG. BY: C.M.Y.	
NO.	DATE	DESCRIPTION	BY	DATE: OCT. 26, 2020	CHKD. BY: E.W.B.	PROJECT: M193659

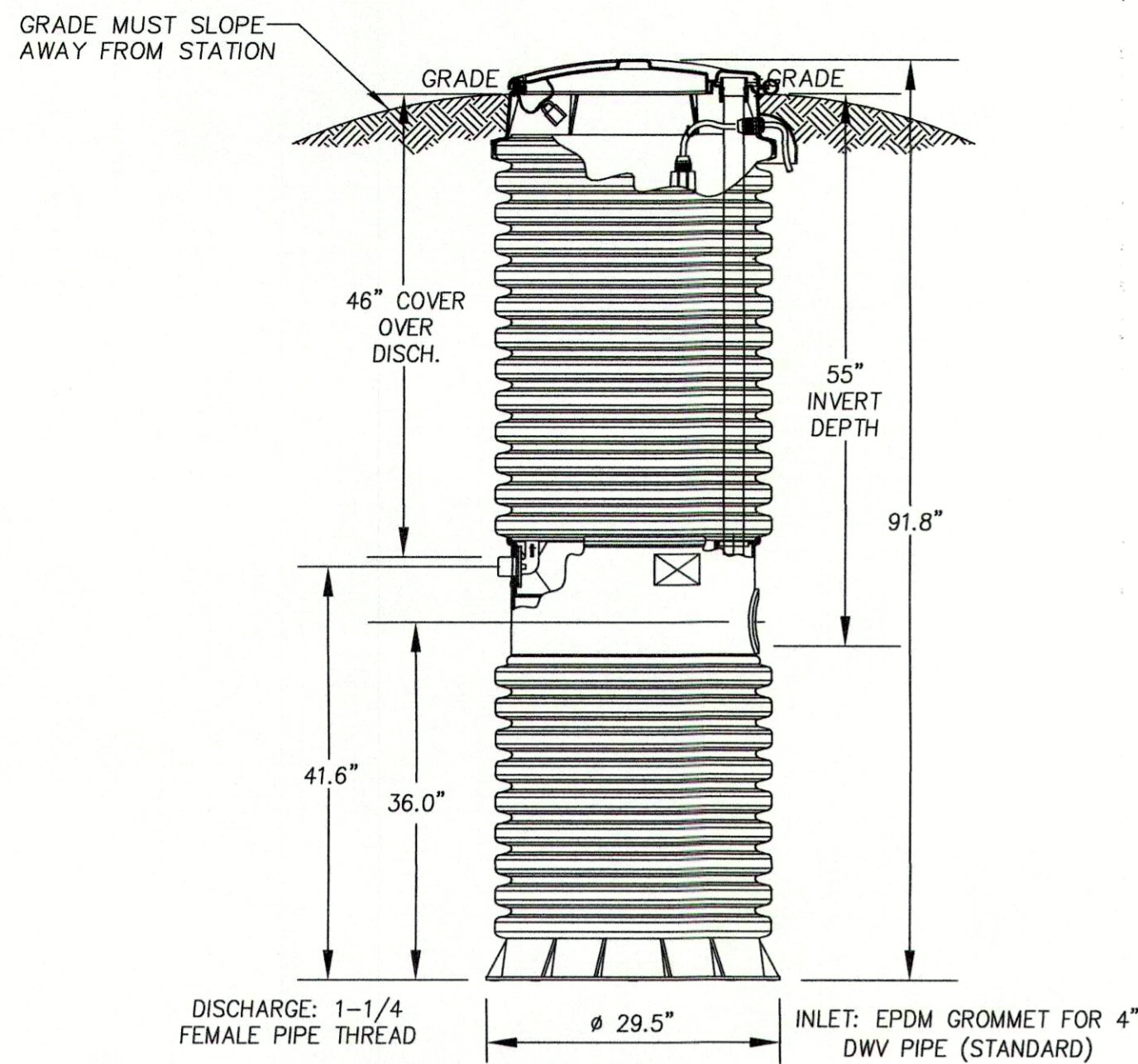
**SITE PLAN**  
IN  
**SALISBURY, MA**

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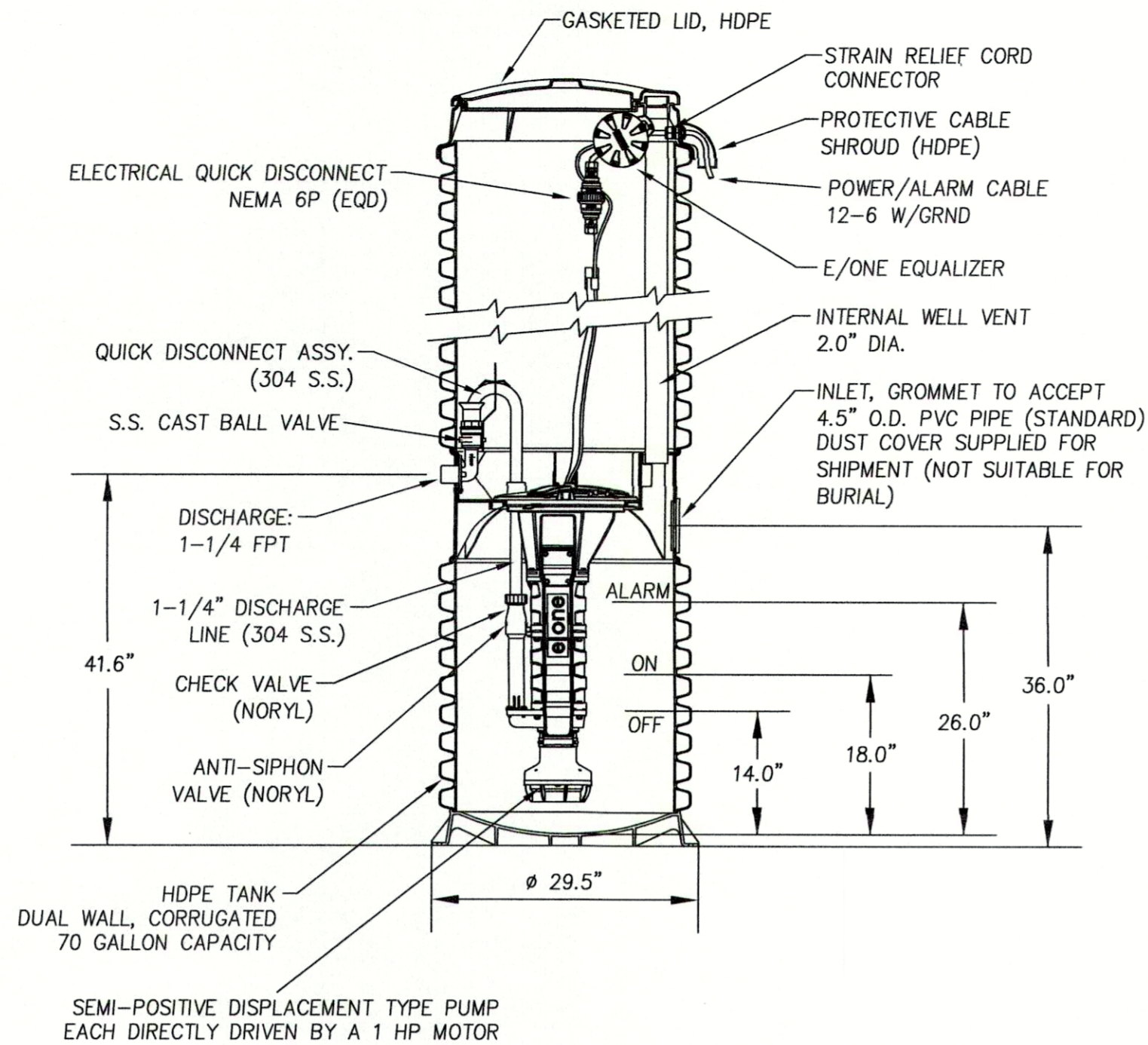
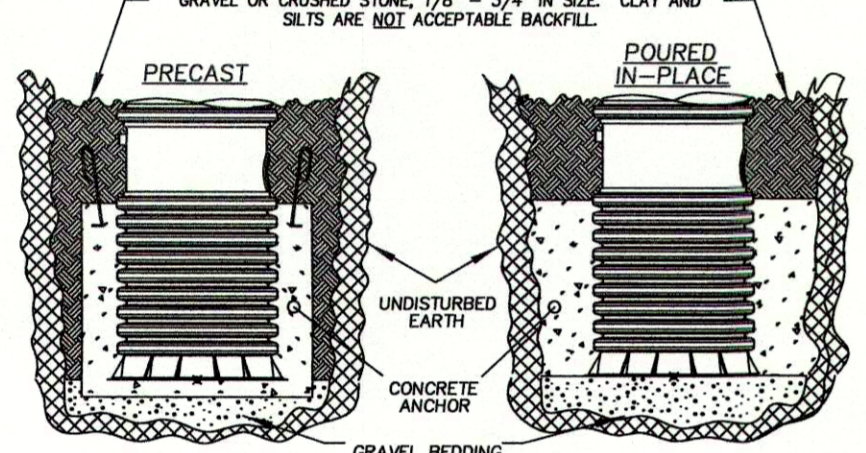
SHOWING  
**64 UNIT TOWNHOUSE COMMUNITY**  
AT  
**6 FOREST ROAD & MEADOWVIEW LANE**

## SITE DETAILS

SHEET: C-11



\*\*SEE INSTALLATION INSTRUCTIONS FOR FURTHER DETAILS.  
NOTE: A CONCRETE ANCHOR OF 2600 LBS (17.3 cu ft) IS REQUIRED ON ALL MODEL 2010 93" STATIONS.  
FILL TO GRADE WITH CLEAN, COMPACTABLE BACKFILL, SUCH AS PEA GRAVEL OR CRUSHED STONE, 1/2" - 3/4" IN SIZE. CLAY AND SILTS ARE NOT ACCEPTABLE BACKFILL.

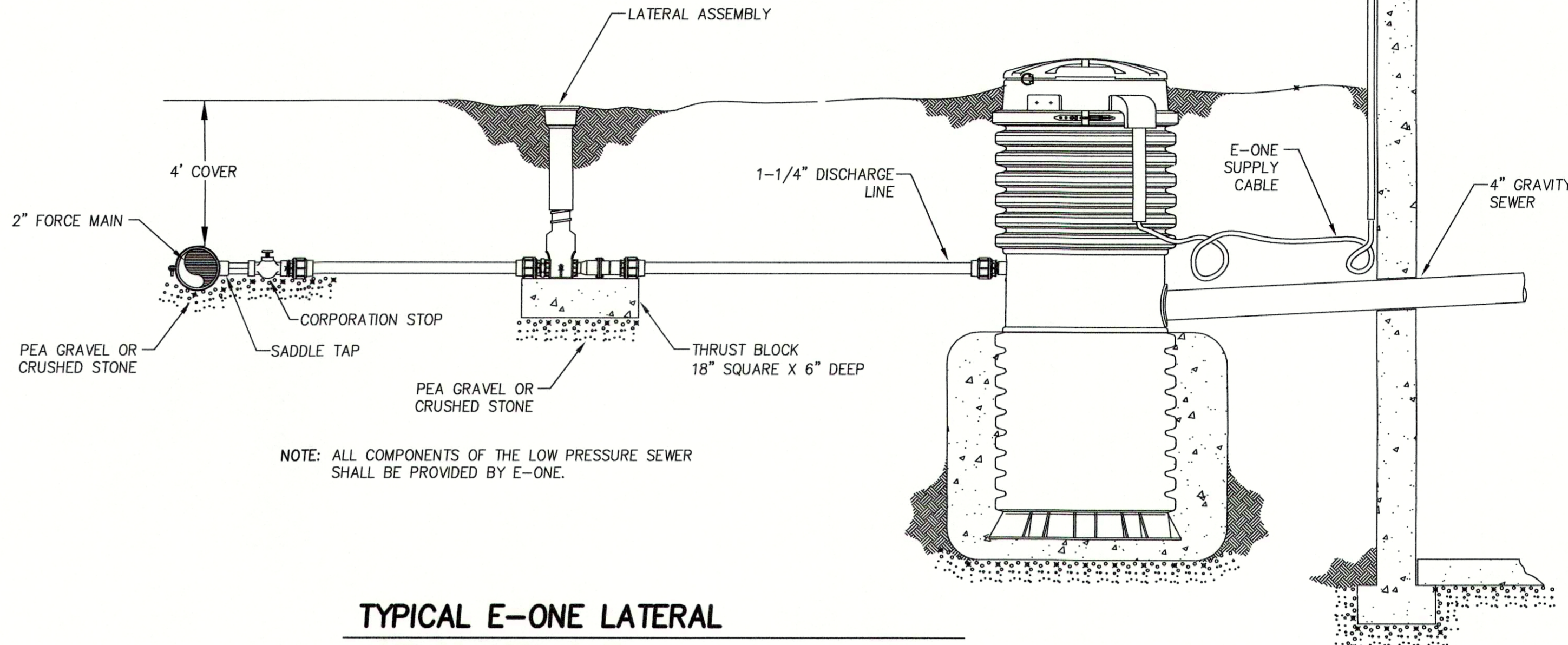


NOTE: ALL COMPONENTS OF THE LOW PRESSURE SEWER SHALL BE PROVIDED BY E-ONE.

environment  
CORPORATION

## EONE SEWER PUMP MODEL DH071-93 DETAIL

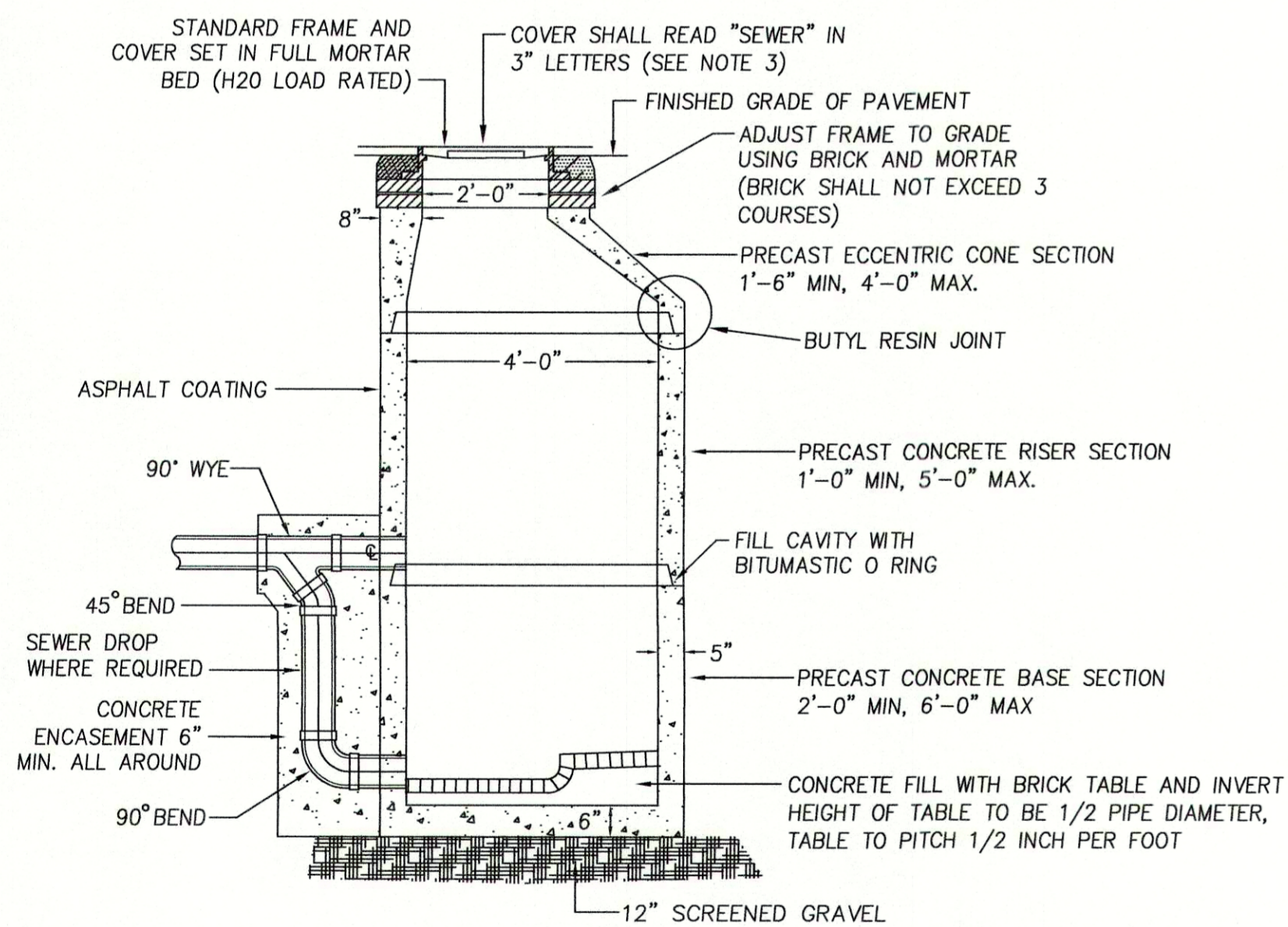
N.T.S.



NOTE: ALL COMPONENTS OF THE LOW PRESSURE SEWER SHALL BE PROVIDED BY E-ONE.

## TYPICAL E-ONE LATERAL INSTALLATION DETAIL

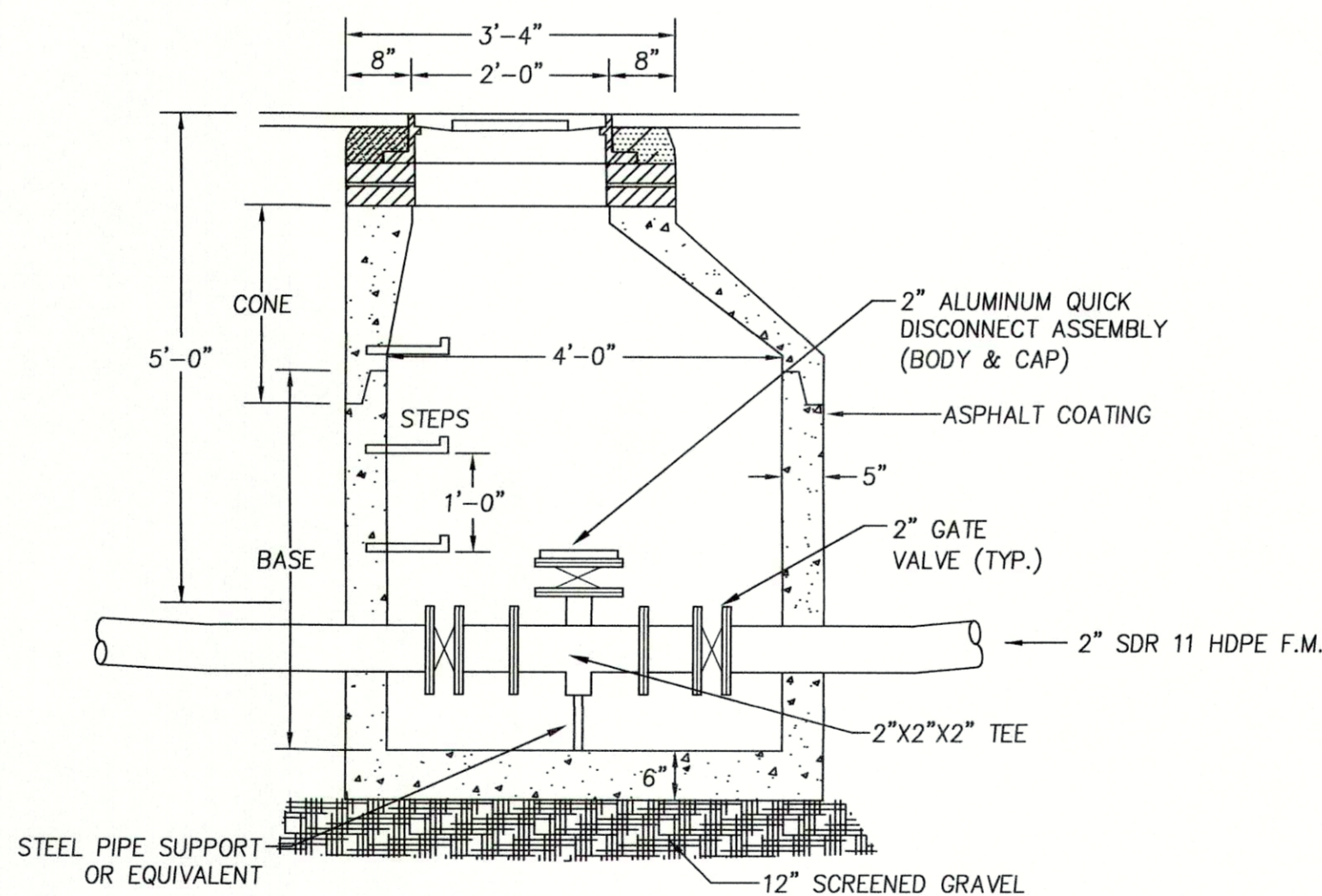
N.T.S.



NOTES: 1) SEWER MANHOLES SHALL CONFORM TO ASTM C478 AND ASTM C185  
2) STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC STEPS SHALL CONFORM TO LATEST ASTM C478 SPEC.  
3) COVER SHALL BE LEBARON FOUNDRY (MODEL NO. L246), MECHANICS IRON FOUNDRY, NEEHAN FOUNDRY, OR EQUAL.

## PRECAST SEWER MANHOLE DETAIL

N.T.S.

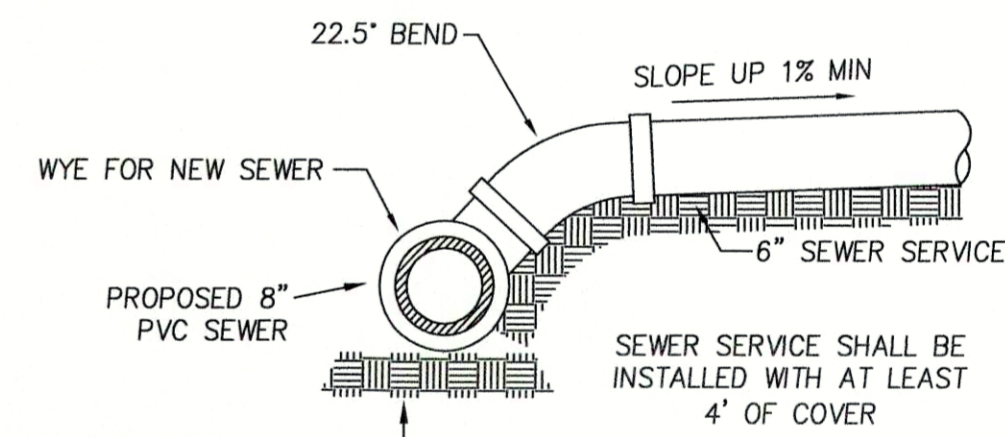


NOTES:

1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
2. REINFORCED STEEL CONFORMS TO LATEST ASTM A185 SPEC. 0.12 SQ. IN./LINEAL FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM.
3. H-20 DESIGN LOADING PER AASHTO HS-20-44; ASTM C478 SPEC FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."
4. BUTYL RESIN JOINT CONFORMS TO LATEST ASTM C443 SPEC.
5. STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC STEPS SHALL CONFORM TO LATEST ASTM C478 SPEC.
6. A SIGN SHALL BE ADDED IN THE MANHOLE STATING "DO NOT CONNECT TO MUNICIPAL WATER SYSTEM TO FLUSH FORCE MAIN".

## FORCE MAIN CLEANOUT DETAIL

N.T.S.



## SEWER SERVICE DETAIL

N.T.S.

## SEWER TESTING SPECIFICATIONS

THE SEWER DEPARTMENT SHALL BE NOTIFIED 48 HOURS BEFORE ALL TESTING TAKES PLACE IN ORDER THAT A REPRESENTATIVE OF THE DEPARTMENT OF PUBLIC SERVICES CAN BE PRESENT.

1. TESTING PROCEDURES FOR SEWER MAINS AND INDIVIDUAL SEWER SERVICES SHALL BE AS SPECIFIED IN ASTM C828-01, C924-02, AND F1417-92 (OR LATEST REVISIONS)-STANDARD TEST METHOD FOR LOW PRESSURE AIR TEST (VCP, CP, PVCP) SEWER LINES, FURTHER AS MODIFIED BY THE ALLOWABLE PRESSURE LOSS SHALL NOT EXCEED 0.5 PSI WITHIN THE TIME REQUIREMENTS. MAINS SHALL BE MANDREL TESTED PRIOR TO ACCEPTANCE BY THE SEWER DEPARTMENT.
2. TESTING PROCEDURES FOR SEWER FORCE MAINS SHALL BE AS SPECIFIED IN ASTM C828-01, C924-02, AND F1417-92 (OR LATEST REVISIONS), FURTHER AS MODIFIED BY THE "STARTING TEST PRESSURE" SHALL BE A MINIMUM OF 10.0 PSI, 50% OF THE MAXIMUM RATED PRESSURE, THE ALLOWABLE PRESSURE LOSS SHALL NOT EXCEED 0.5 PSI WITHIN THE TEST TIME REQUIRED AND THE TEST TIME SHALL BE AN INITIAL 15 MINUTES FOR ALL PIPE DIAMETERS. TEST TIME SHALL BE  $T = (0.05)D \times (L - 500) + 15$  WHERE D=DIAMETER OF PIPE IN INCHES AND L=LENGTH OF PIPE TO BE TESTED IN FEET.
3. TESTING PROCEDURES FOR SEWER MANHOLES AND PUMP STATION SHALL BE AS SPECIFIED IN ASTM C1244-02 (OR LATEST REVISION)-STANDARD TEST METHOD FOR CONCRETE SEWER MANHOLES BY NEGATIVE AIR PRESSURE (VACUUM) TEST, FURTHER AS MODIFIED BY THE ALLOWABLE VACUUM LOSS SHALL NOT EXCEED 1" HG WITH ONE MINUTE FOR ALL MANHOLE SIZES.

## PVC SEWER COLLECTION PIPE NOTES:

- 1.) PVC PIPE, COUPLINGS, AND FITTINGS FOR GRAVITY SEWERS SHALL CONFORM TO ASTM D3034 WITH AN SDR OF 35 UNLESS OTHERWISE SHOWN ON THE PLANS.
- 2.) PVC PIPE, COUPLINGS, AND FITTINGS FOR SEWER FORCE MAINS SHALL CONFORM TO ASTM 2241 WITH AN SDR OF 21 UNLESS OTHERWISE SHOWN ON THE PLANS.
- 3.) JOINTS FOR PVC PIPE SHALL BE PUSH ON JOINTS USING PERMANENTLY BONDED ELASTOMERIC RING JOINTS.
- 4.) FORCE MAINS SHALL BE INSTALLED WITH A CONTINUOUS SLOPE BETWEEN THE HIGH AND LOW POINTS.
- 5.) ALL FORCE MAIN FITTINGS SHALL BE RESTRAINED USING SERIES 7500 RESTRAINT FOR PVC FITTINGS AS MANUFACTURED BY EBBA IRON INC. OR APPROVED EQUAL.
- 6.) CONCRETE USED FOR THRUST BLOCKS SHALL HAVE A MINIMUM STRENGTH OF 3000 PSI. THRUST BLOCKS SHALL BE PLACED AT ALL FORCEMAIN BENDS 11 1/2 DEGREES AND GREATER, AT FITTINGS.



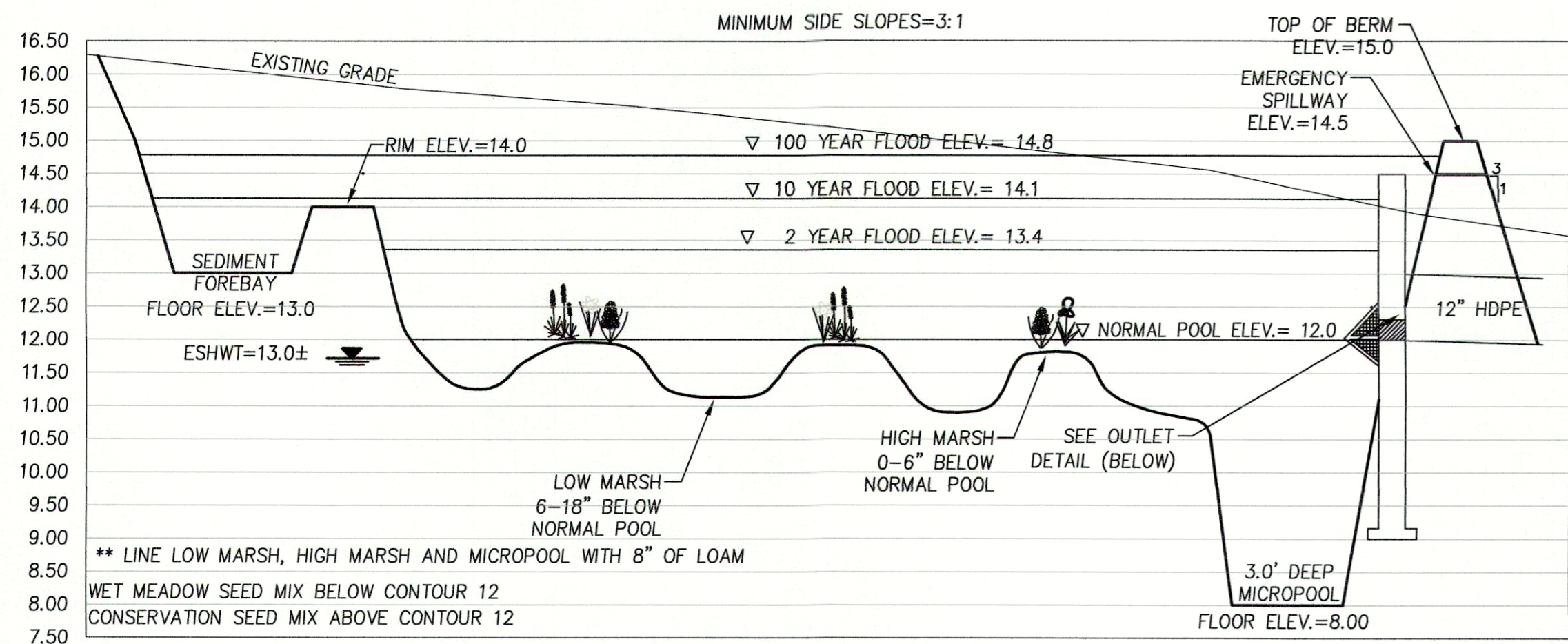
PREPARED FOR  
**6 FOREST ROAD LLC**  
71 COMMERCIAL STREET, #263  
BOSTON, MA 02109

**MILLENNIUM ENGINEERING, INC.**  
ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

**SITE PLAN**  
IN  
**SALISBURY, MA**  
SHOWING  
**64 UNIT TOWNHOUSE COMMUNITY**  
AT  
**6 FOREST ROAD & MEADOWVIEW LANE**

**SEWER  
DETAILS**

SHEET: C-12

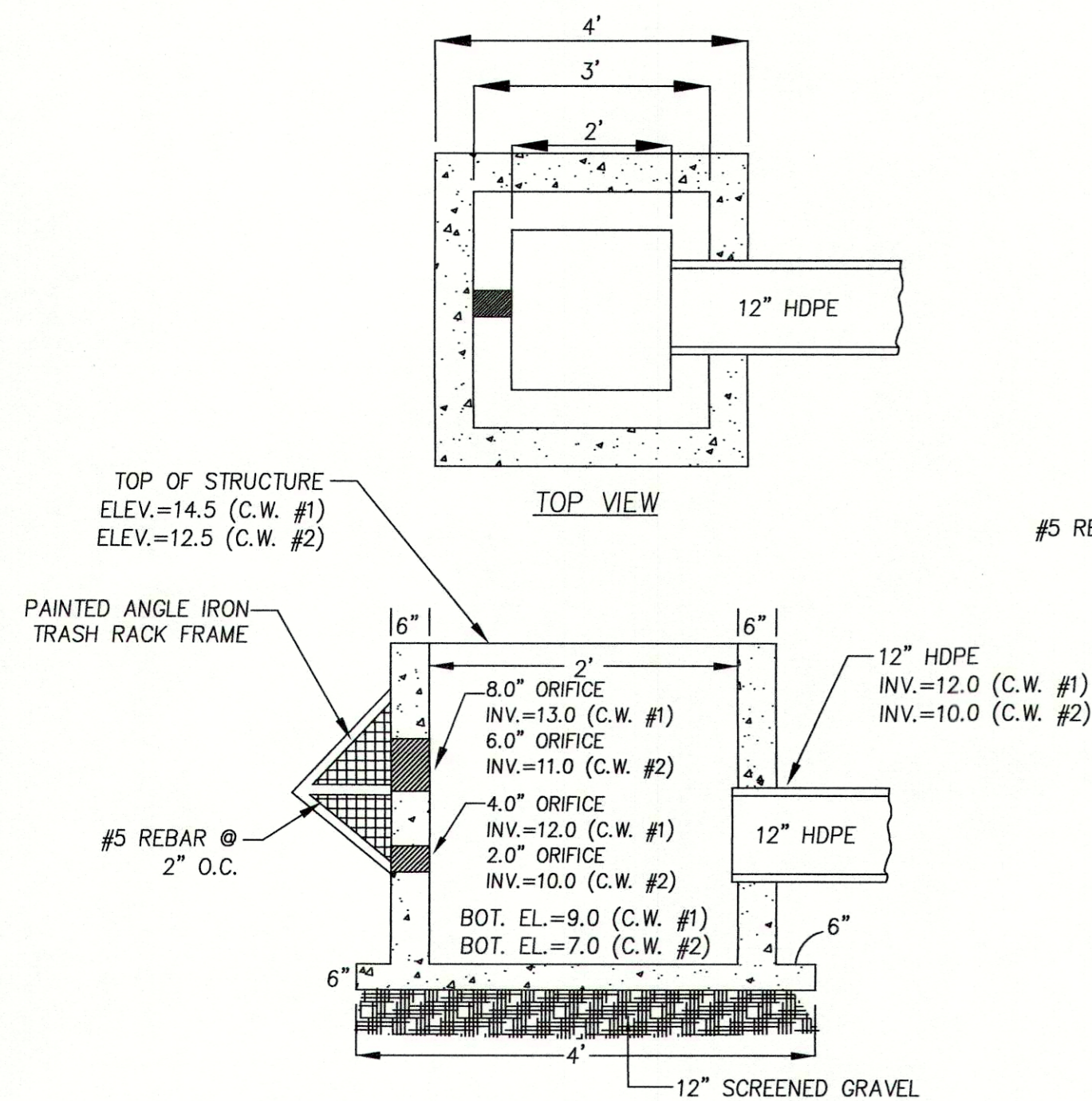


CONSTRUCTED WETLAND #1  
PROFILE VIEW

HORIZ. SCALE: N.T.S.  
VERT. SCALE: 1"=2'

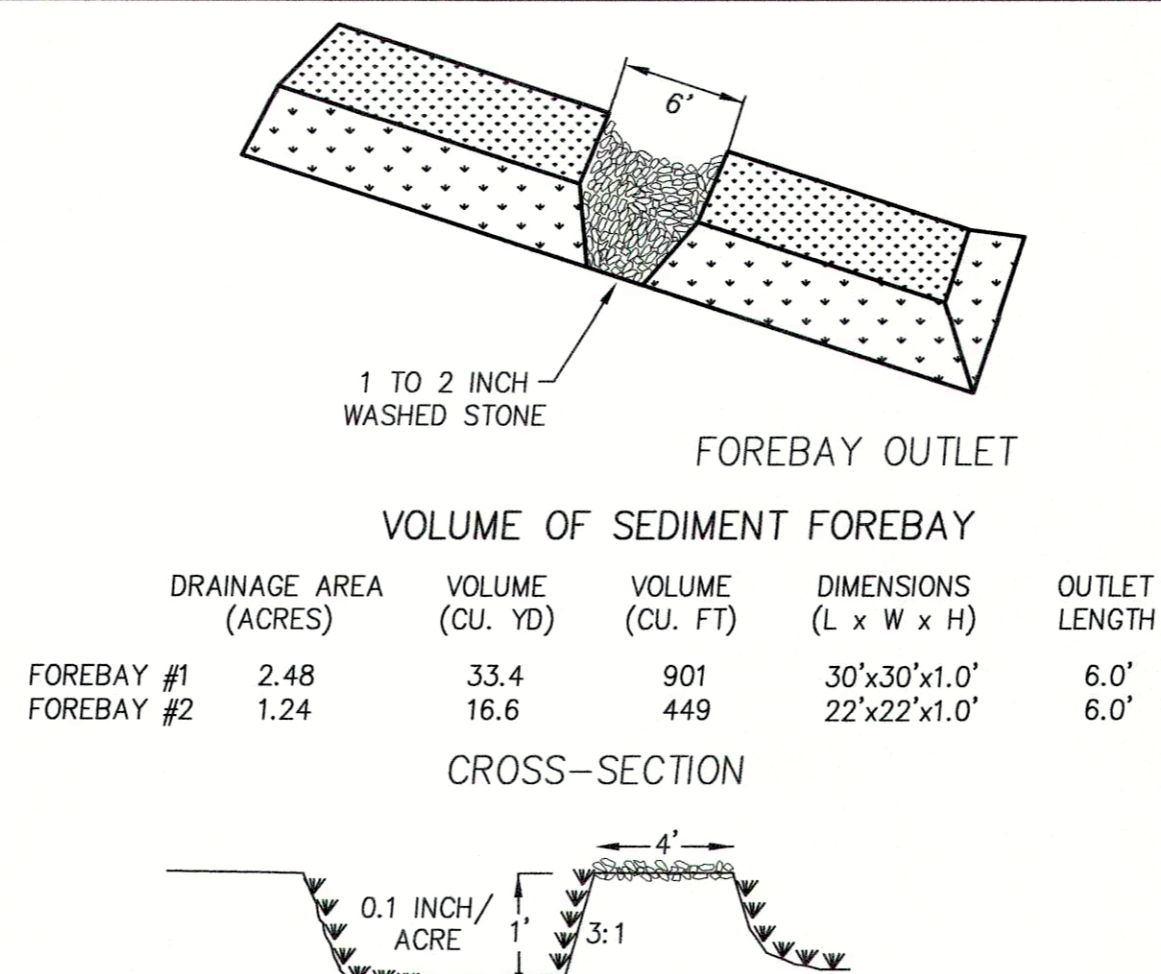
GENERAL NOTES FOR  
CONSTRUCTED WETLANDS:

- WETLAND BERMS SHALL BE CONSTRUCTED OF FILL MATERIAL FREE OF ROOTS, STUMPS, WOOD, RUBBISH, STONES GREATER THAN 6", OR OTHER OBJECTIONABLE MATERIALS. FILL MATERIAL FOR THE CENTER OF THE BERM SHALL CONFORM TO UNIFIED SOIL CLASSIFICATION GC, SC, CH, OR CL AND HAVE AT LEAST 30% PASSING THE #200 SIEVE. MATERIALS USED IN THE OUTER SHELL OF THE BERMS SHALL BE CAPABLE OF SUPPORTING THE VEGETATION SPECIFIED ON THE PLANS.
- FILL MATERIALS SHALL BE PLACED IN MAXIMUM 8-INCH LIFTS AND COMPACTED WITH A MINIMUM REQUIRED DENSITY OF NOT LESS THAN 95% OF MAXIMUM DRY DENSITY.
- PRIOR TO FILL MATERIAL INSTALLATION, ALL TOPSOIL, SUBSOIL, AND UNSUITABLE MATERIAL (i.e. LEDGE) SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
- EROSION CONTROL MATTING SHALL BE INSTALLED ON ALL OUTSIDE SLOPES OF STORMWATER BASINS. MATTING SHALL BE A WOVEN JUTE MESH MANUFACTURED BY MACCAFERRI COMPANY, OR APPROVED EQUAL.
- ALL PIPING WITHIN CONSTRUCTED WETLAND BERMS SHALL INCLUDE ANTI-SEEPAGE COLLARS.



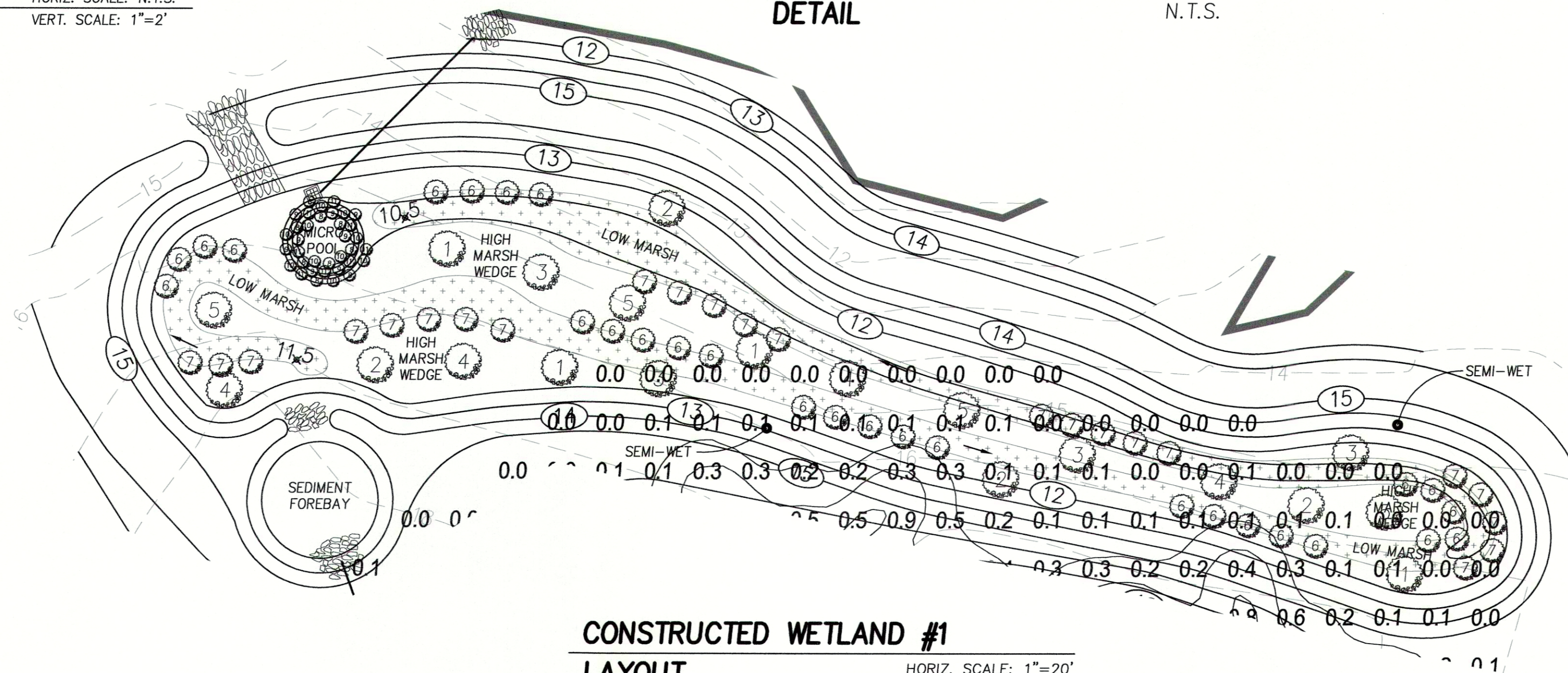
OUTLET STRUCTURE  
DETAIL

N.T.S.



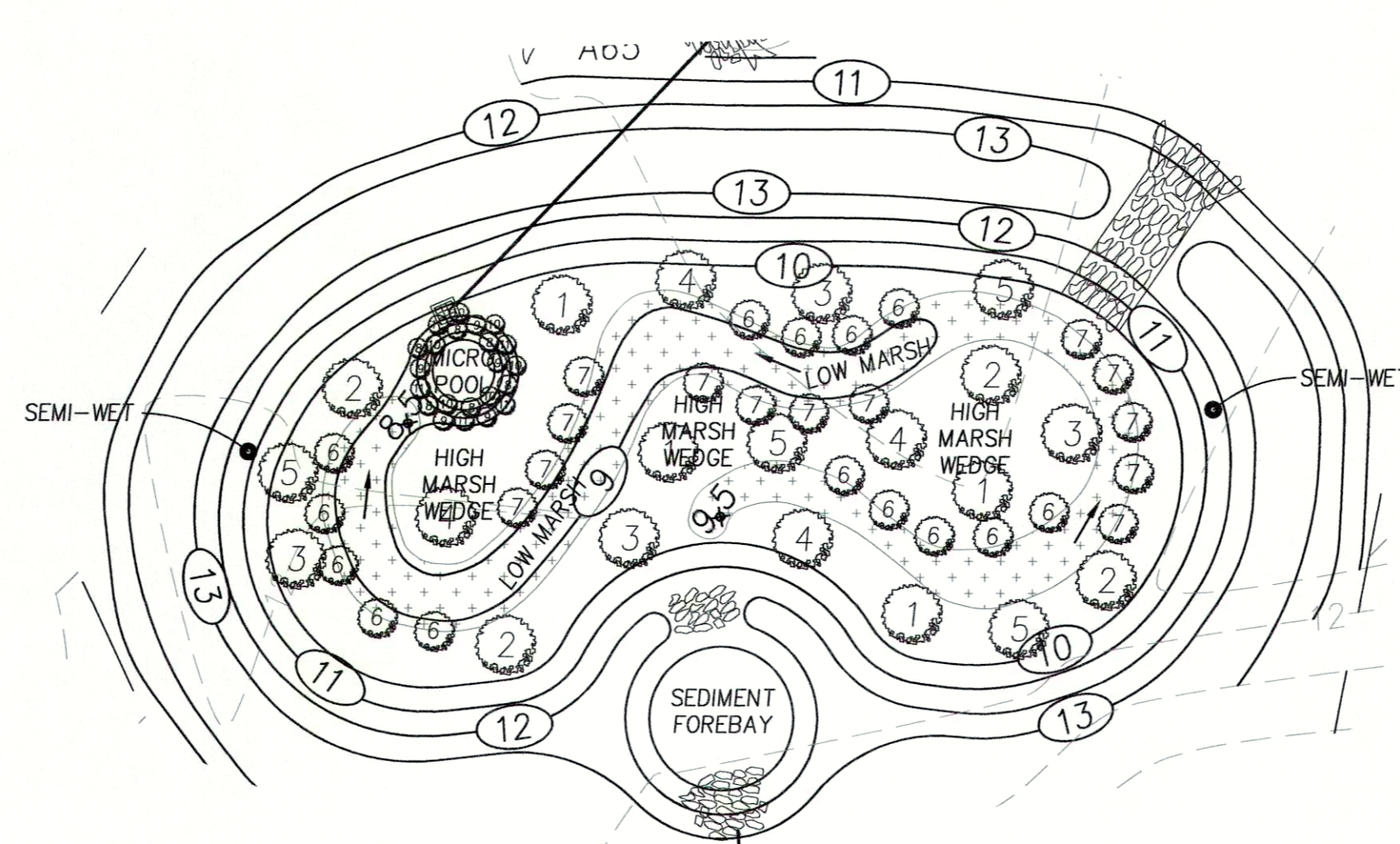
SEDIMENT FOREBAY  
DETAIL

N.T.S.



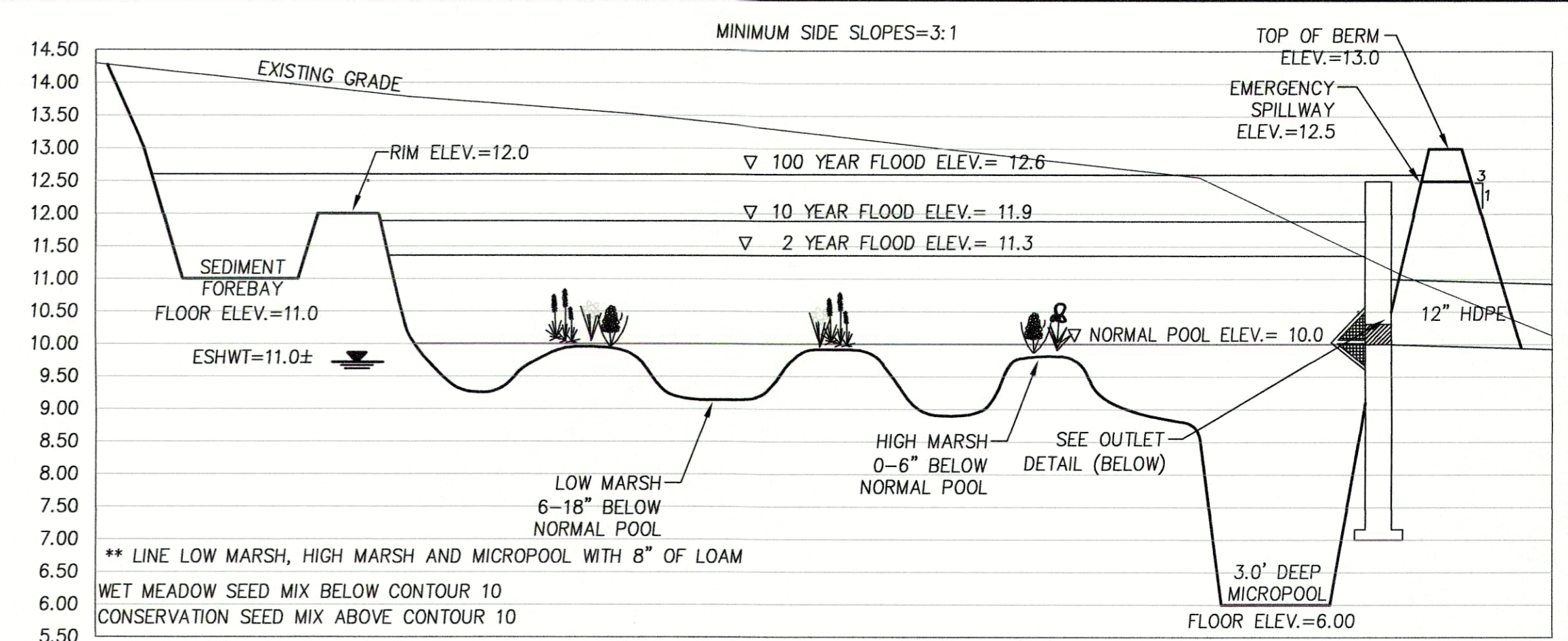
CONSTRUCTED WETLAND #1  
LAYOUT

HORIZ. SCALE: 1"=20'



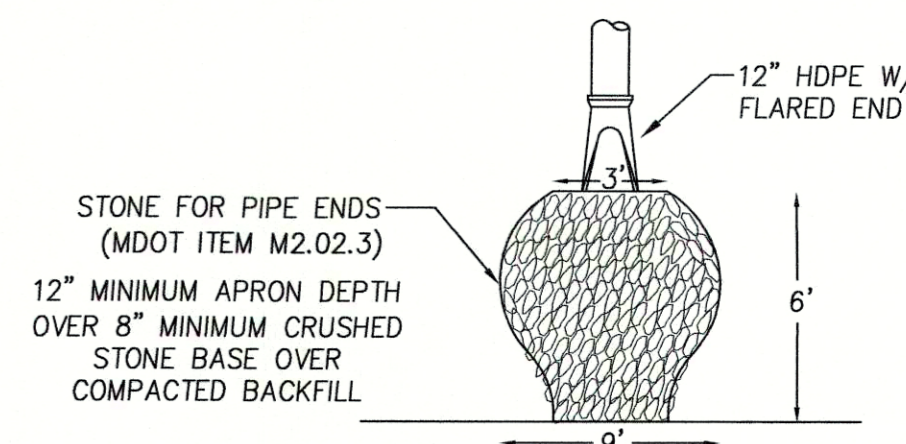
CONSTRUCTED WETLAND #2  
LAYOUT

HORIZ. SCALE: 1"=20'



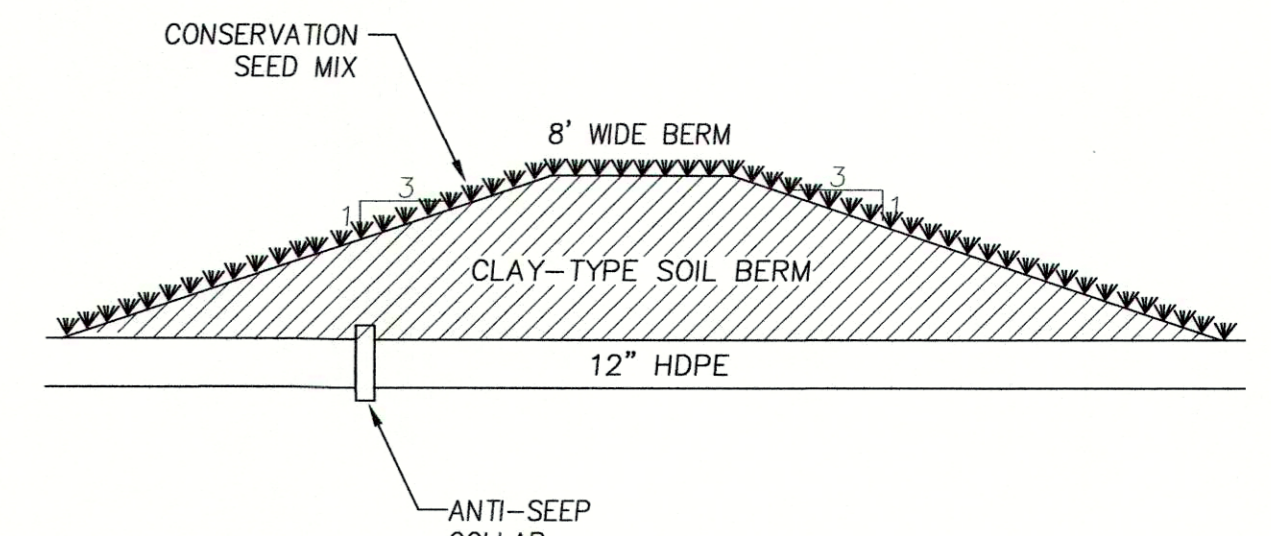
CONSTRUCTED WETLAND #2  
PROFILE VIEW

HORIZ. SCALE: N.T.S.  
VERT. SCALE: 1"=2'



TYPICAL RIP-RAP  
APRON DETAIL

N.T.S.



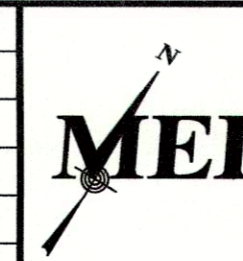
CONSTRUCTED WETLAND  
BERM DETAIL

N.T.S.

CONSTRUCTED WETLAND PLANT LIST					
SYMBOL	COMMON NAME	LATIN NAME	HEIGHT	NUMBER	ZONE
1	SWEET PEPPERBUSH	CLETHRA ALNIFOLIA	3'-4'	4	HIGH MARSH/SLOPE
2	NORTHERN ARROWWOOD	VIBURNUM DENTATUM	3'-4'	4	HIGH MARSH/LOWER SLOPE
3	WINTERBERRY HOLLY	ILEX VERTICILLATA	3'-4'	4	HIGH MARSH
4	HIGHBUSH BLUEBERRY	VACCINIUM CORYMBOSUM	3'-4'	4	HIGH MARSH/LOWER SLOPE
5	RED-OSIER DOGWOOD	CORNUS SERICEA	3'-4'	4	HIGH MARSH/LOWER SLOPE
6	BLUE FLAG IRIS	IRIS VERSICOLOR	2" PLUGS	20	HI MARSH/LO MARSH BORDER
7	CARDINAL FLOWER	LOBELIA CARDINALIS	2" PLUGS	20	EDGE HI MARSH/LO MARSH INTO HIGH MARSH
8	SOFT-STEM BULRUSH	SCHOENOPLECTUS TABERNAEMONTANI	2" PLUGS	15	LO SLOPE/MICROPOOL EDGE
9	GREEN BULRUSH	SCIRPUS ATROVIRENS	2" PLUGS	15	MID/LOWER MICROPOOL SLOPE
10	CHAIRMAKER'S BULRUSH	SCHOENOPLECTUS (SCIRPUS) AMERICANUS	2" PLUGS	15	MID/LOWER MICROPOOL SLOPE
11	SWEETFLAG	ACORUS AMERICANUS	2" PLUGS	15	MID/LOWER MICROPOOL SLOPE



PREPARED FOR  
**6 FOREST ROAD LLC**  
71 COMMERCIAL STREET, #263  
BOSTON, MA 02109



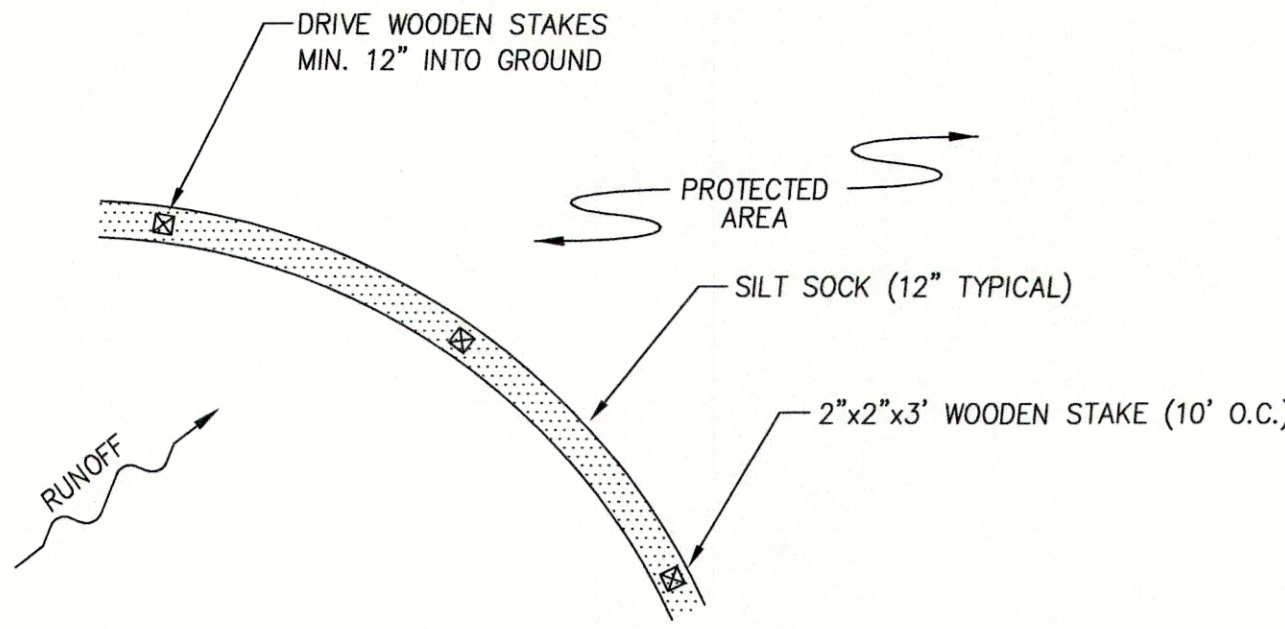
**MILLENNIUM ENGINEERING, INC.**  
ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

**SITE PLAN**  
IN  
**SALISBURY, MA**

SHOWING  
**64 UNIT TOWNHOUSE COMMUNITY**  
AT  
**6 FOREST ROAD & MEADOWVIEW LANE**

**DRAINAGE  
DETAILS**

SHEET: C-13

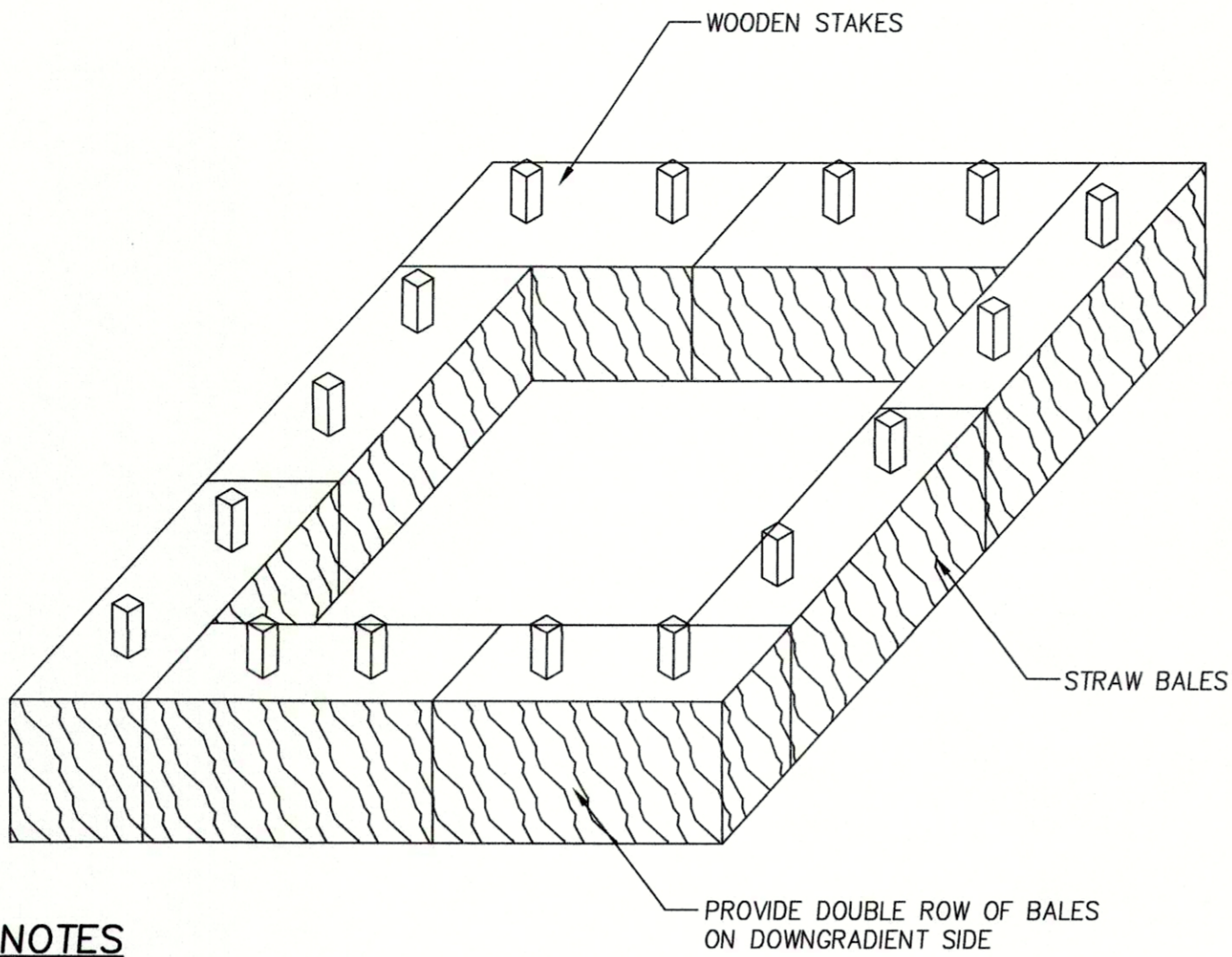


NOTES

- ALL MATERIAL SHALL MEET SPECIFICATIONS BY FILTREXX OR APPROVED EQUAL.
- SILT SOCK SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- THE CONTRACTOR SHALL REMOVE SEDIMENT AT THE BASE OF THE UPSLOPE SIDE OF THE SILT SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE SILT SOCK.
- SILT SOCK SHALL BE MAINTAINED UNTIL DISTURBED AREA ABOVE THE DEVICE HAS BEEN PERMANENTLY STABILIZED AND CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
- SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE SOCK HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

SILT SOCK  
INSTALLATION

N.T.S.

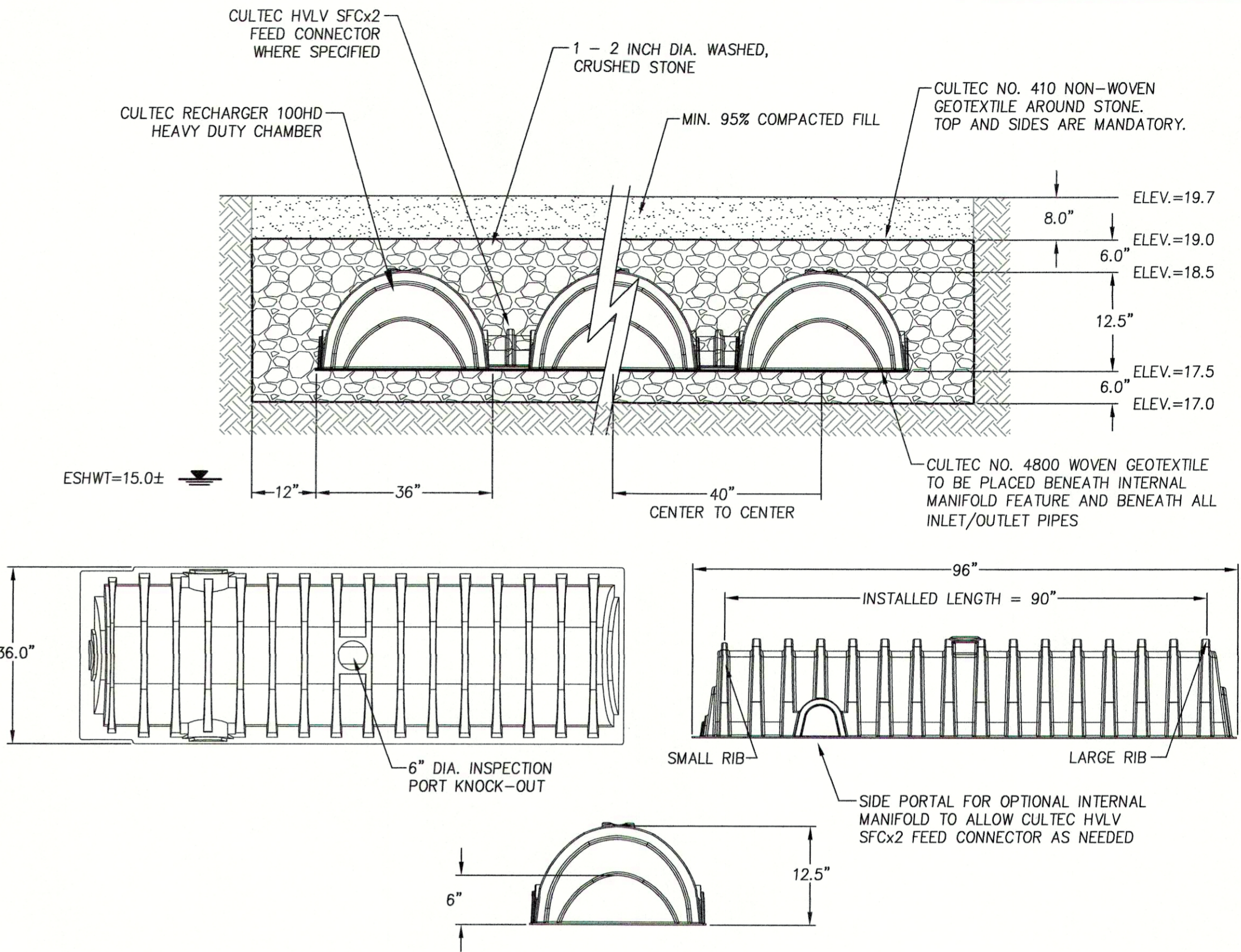


NOTES

- DURING THE ACTIVE DEWATERING PROCESS, THE STRUCTURE SHALL BE INSPECTED FREQUENTLY (E.G. ONCE PER HOUR).
- SEDIMENT BUILDUP SHOULD BE REMOVED PERIODICALLY TO ENSURE THAT THE STRUCTURE'S ABILITY TO EFFECTIVELY FILTER SEDIMENT IS MAINTAINED.

TYPICAL DEWATERING  
DETAIL

N.T.S.

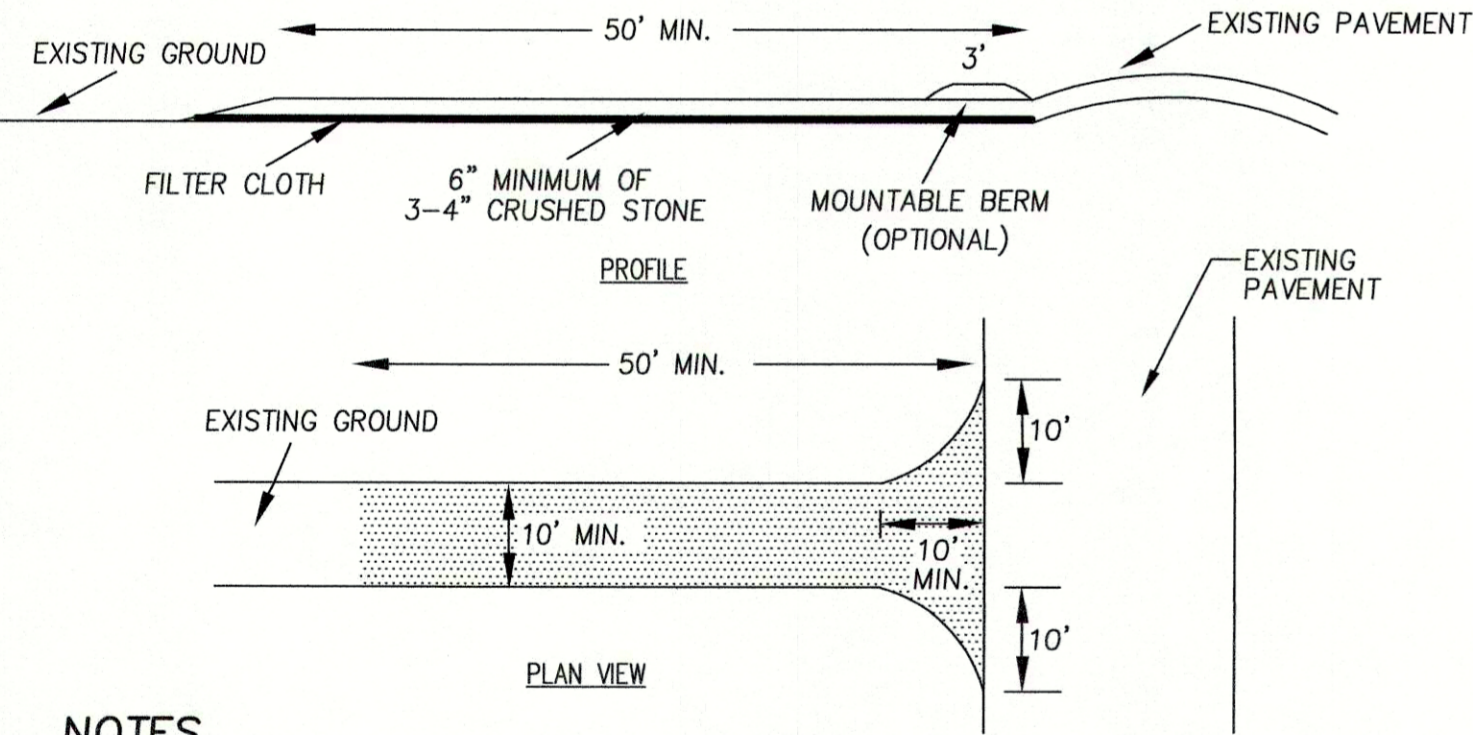


GENERAL NOTES:

- RECHARGER 100HD BY CULTEC, INC. OF BROOKFIELD, CT. ALL RECHARGER 150XLHD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION.

CULTEC RECHARGER  
100HD DETAILS

N.T.S.

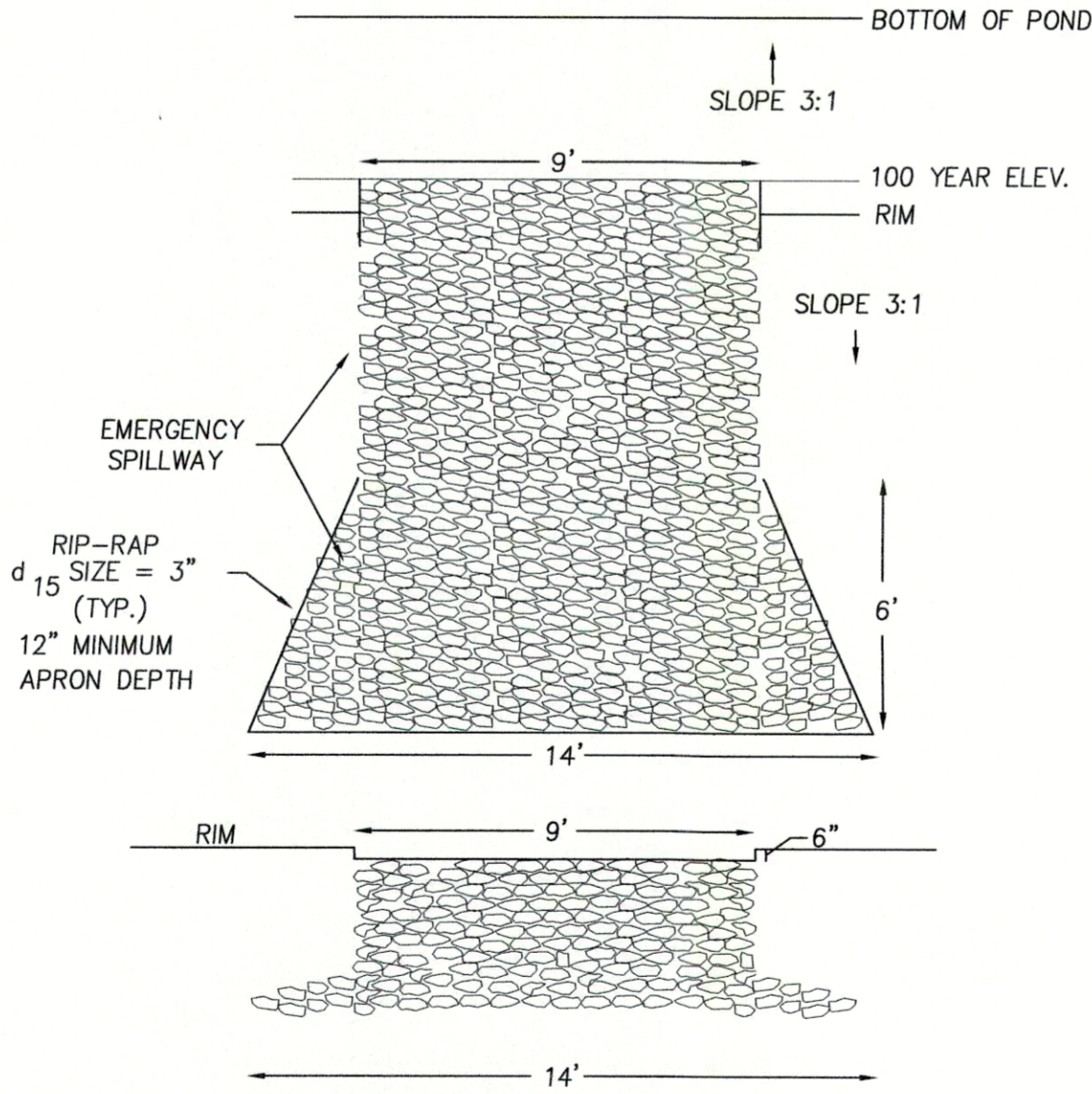


NOTES

- STONE SHALL BE 3-4" STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50'.
- THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6".
- GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP-DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED PROMPTLY.
- WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

STABILIZED CONSTRUCTION  
ENTRANCE

N.T.S.

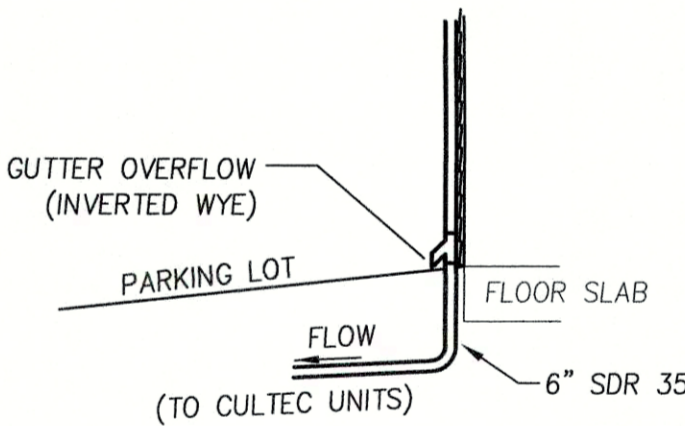


TYPICAL SPILLWAY  
PLAN VIEW

N.T.S.

GENERAL EROSION  
CONTROL NOTES

- ALL EROSION CONTROL SHALL BE INSTALLED BEFORE THE START OF CONSTRUCTION. EROSION CONTROL SHALL BE REMOVED UPON COMPLETION OF THE PROJECT AND STABILIZATION OF ALL SOIL.
- ALL FILL SHALL BE FREE OF STUMPS AND LARGE STONES.
- ANY STANDING BODIES OF WATER CREATED DURING EXCAVATION SHALL BE ELIMINATED.
- EROSION CONTROL BARRIERS SHALL BE INSPECTED WEEKLY AND AFTER EVERY 0.5" OF RAINFALL AND PROMPTLY REPAIRED OR REPLACED AS NECESSARY.
- ACCUMULATED SEDIMENT DEPOSITS UPSTREAM OF BARRIERS SHALL BE PROPERLY DISPOSED OF ON A REGULAR BASIS.
- AREAS OUTSIDE THE LIMITS OF WORK (EROSION CONTROL/SILT FENCE LOCATIONS) DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EROSION AND/OR SEDIMENT CONTROLS DURING CONSTRUCTION. HE/SHE SHALL INSPECT CONTROLS WEEKLY AND AFTER ALL STORM EVENTS. REPAIRS, IF REQUIRED, SHALL BE MADE IMMEDIATELY.
- TEMPORARY GROUND COVER SHALL BE ESTABLISHED IN AREAS OF CONSTRUCTION WHERE REQUIRED BY THE SALISBURY CONSERVATION COMMISSION.
- ANY DISTURBED AREAS OF THE SITE NOT USED FOR ROADWAY OR UTILITY CONSTRUCTION SHALL BE STABILIZED WITH LOAM AND SEED UNTIL FURTHER DISTURBANCE IS REQUIRED FOR BUILDING CONSTRUCTION.
- PROVIDE GRAVEL AND WIRE MESH SEDIMENT FILTER AT ALL CATCH BASINS.
- A MINIMUM OF 6" OF LOAM SHALL BE INSTALLED ON ALL DISTURBED UNPAVED SURFACES.
- PERMANENT SEED MIX SHALL BE MA STATE SLOPE MIXTURE (50% CREEPING RED FESCUE, 30% KENTUCKY 31 TALL FESCUE, 10% ANNUAL RYEGRASS, 5% RED TOP, 5% LADINO CLOVER) AND MA STATE PLOT MIXTURE (50% CREEPING RED FESCUE, 25% 85/80 KENTUCKY BLUEGRASS, 10% ANNUAL RYEGRASS, 10% RED TOP, 5% LADINO CLOVER).
- NO MORE THAN 3 ACRES SHALL BE DISTURBED AT ONE TIME. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- WHERE PLACEMENT OF FILL IS REQUIRED FOR STORM WATER CONTROL, FILL SHALL BE PLACED IN AN UNFROZEN STATE UPON UNFROZEN GROUND. UNDER NO CIRCUMSTANCES SHALL FILL BE PLACED FROM NOVEMBER THROUGH JANUARY.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED: BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED; A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED; A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCT. 15TH, OR WHICH ARE DISTURBED AFTER OCT. 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCT. 15TH, OR WHICH ARE DISTURBED AFTER OCT. 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

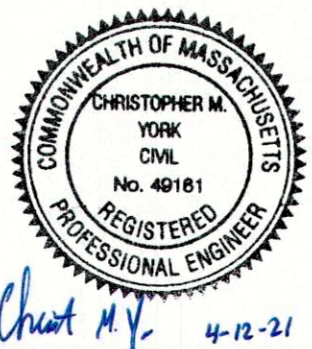


GUTTER DOWN  
SPOUT DETAIL

N.T.S.

CONSTRUCTION  
SEQUENCE

- INSTALL EROSION CONTROL AT LIMIT OF WORK & STAKE OUT STORMWATER AREAS
- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AS DEPICTED
- CLEAR AND GRUB DEBRIS TO PHASE LINE AND DISPOSE OF PROPERLY.
- STRIP, SCREEN AND STOCKPILE TOPSOIL. TOPSOIL CAN BE TEMPORARILY STOCKPILED ON SITE PROVIDING THAT THE PERIMETER OF THE STOCKPILES ARE PROPERLY STAKED WITH SILT FENCE AT THE TOE OF SLOPE.
- ROUGH GRADE CONSTRUCTED WETLANDS.
- GRADE PAVEMENT TO TOP OF SUBGRADE ELEVATIONS. ALL ROADWAYS MUST BE STABILIZED IMMEDIATELY AFTER GRADING.
- BEGIN BUILDING CONSTRUCTION.
- INSTALL UTILITIES/DRAINAGE STRUCTURES.
- PLACE RIPRAP WHERE SHOWN ON PLANS. LOAM AND HYDROSEED SIDESLOPES AND ALL DISTURBED AREAS WITHIN 72 HOURS.
- ADD PLANTINGS TO CONSTRUCTED WETLANDS.
- SPREAD, SHAPE, AND COMPACT PAVEMENT SUBBASE AS PER TYPICAL PAVEMENT SECTION TO ATTAIN FINAL DESIGN ELEVATIONS.
- PERFORM BINDER COURSE PAVING.
- LOAM AND HYDROSEED ANY DISTURBED SURFACES ALONG EDGES OF PAVEMENT AS REQUIRED.
- PERFORM FINAL PAVING (TOP COURSE).
- REMOVE EROSION CONTROL.



PREPARED FOR  
  
6 FOREST ROAD LLC  
71 COMMERCIAL STREET, #263  
BOSTON, MA 02109



MILLENNIUM ENGINEERING, INC.  
ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SITE PLAN  
IN  
SALISBURY, MA

SHOWING  
64 UNIT TOWNHOUSE COMMUNITY  
AT  
6 FOREST ROAD & MEADOWVIEW LANE

DRAINAGE/  
EROSION  
CONTROL  
DETAILS

SHEET: C-14

BVW restoration area\*\*

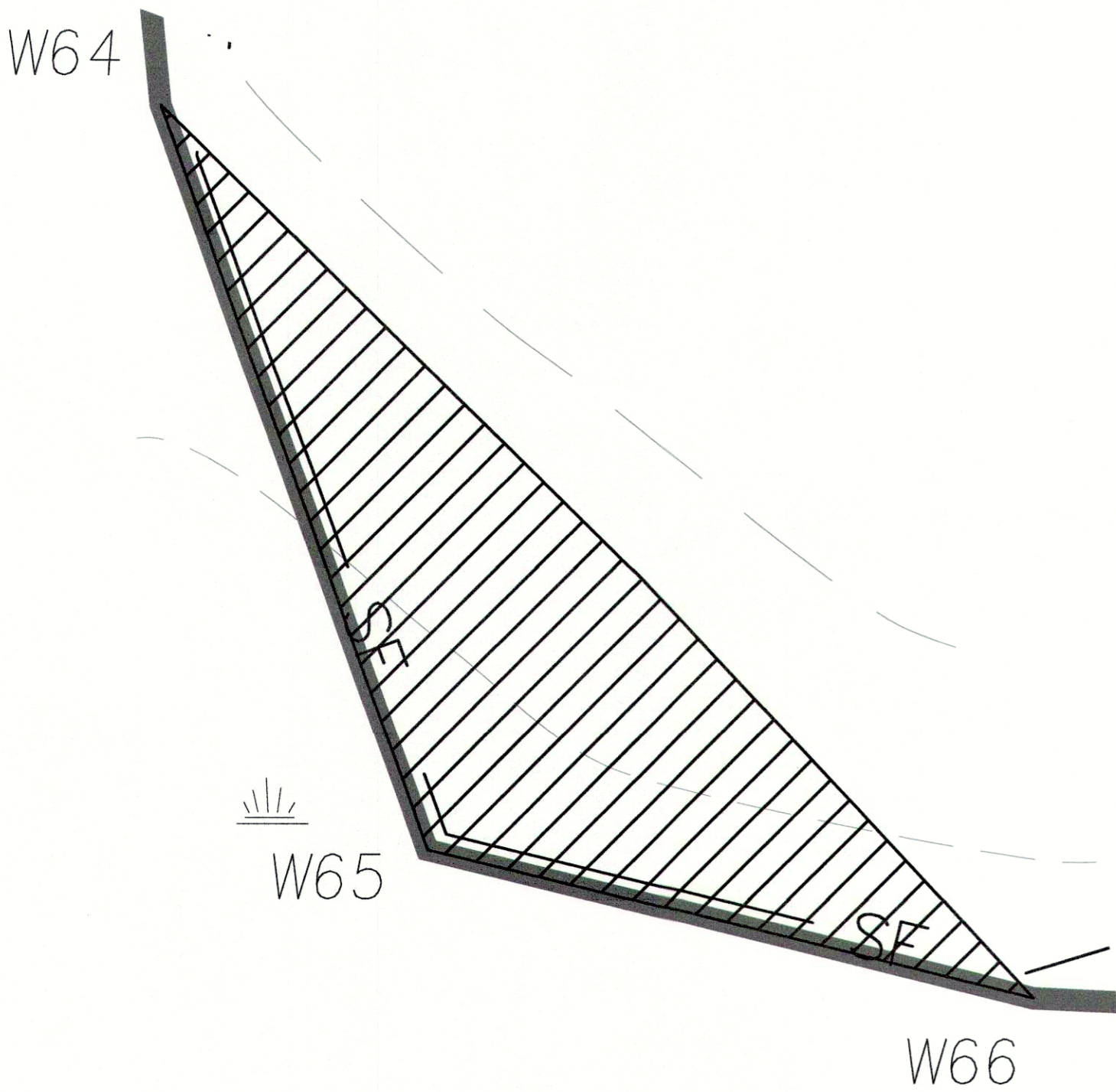
Common Name	Latin Name	comments	Quantity	Plant Size	Wetland Status
plant size based on availability – sizes based on New England Wetland Plants – typical.					
Winterberry	Ilex	Group in 6 or more, 5 to 7 feet on center	12	2-3'	FACW+
Holly	verticillata				
Silky Dogwood	Cornus amomum	Plant 8 to 10 feet on center with tubelings planted 3 feet on center to fill in area around and between plants	11	3-4'	FACW
Red-osier Dogwood	Cornus sericea	Plant 8 to 10 feet on center with tubelings planted 3 feet on center to fill in area around and between plants	11	3-4'	FACW+
Silky Dogwood	Cornus amomum	Plant 3 feet on center around larger of same species to create dense clusters	30*	tubelings	FACW
Red-osier Dogwood	Cornus sericea	Plant 3 feet on center around larger of same species to create dense clusters	30*	tubelings	FACW+
Wild Raisin	Viburnum cassinoides	Plant 4 to 6 feet on center	9*	3-4'	FACW
Highbush Blueberry	Vaccinium corymbosum	Plant 4 to 6 feet on center	12*	3-4'	FACW
Red Maple	Acer Rubrum	Plant 8 feet on center	8	4-6'	FAC

\*Actual quantities to plant and purchase are higher, – available in trays of 38, round up for ordering purposes

\*\*Species and sizes may be adjusted based on plant availability

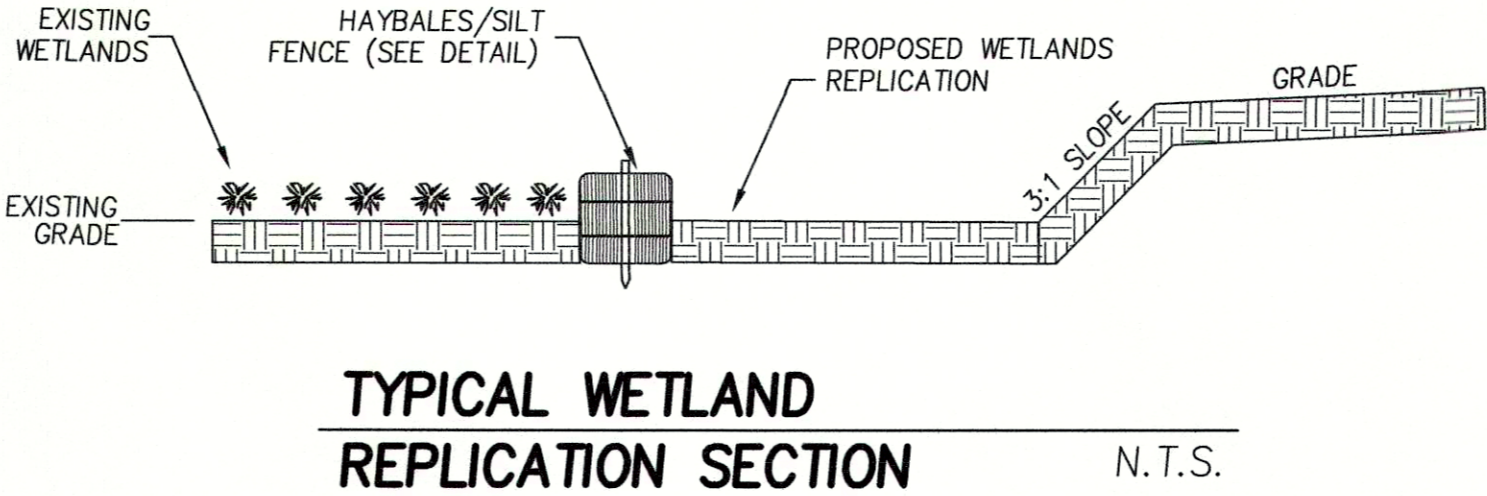
WETLAND REPLICATION  
PLANTING LIST

N.T.S.



WETLAND REPLICATION  
AREA #2

HORIZ. SCALE: 1"=10'

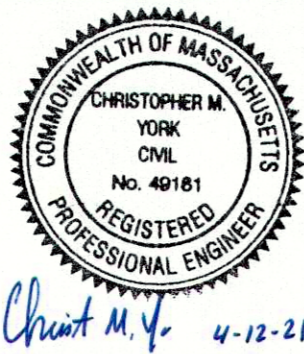
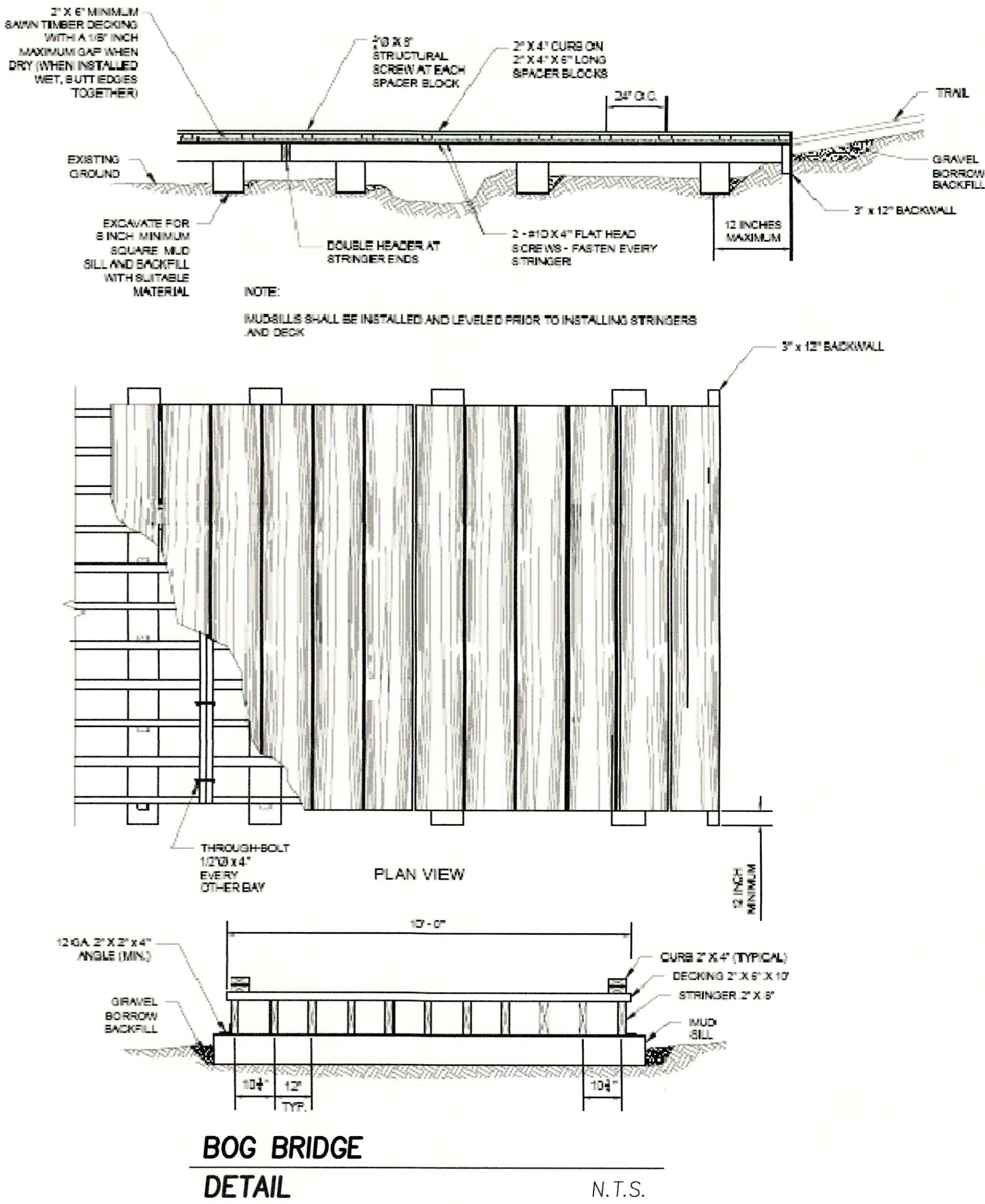


NOTES:

- THE REPLACEMENT AREA SHALL MEET STRICT PERFORMANCE STANDARDS AS LISTED UNDER 310 CMR 10.55(4)(B). CONSTRUCTION OF THE WETLAND REPLACEMENT AREA SHALL BE PERFORMED IN CONFORMANCE WITH THE ORDER OF CONDITIONS ISSUED BY THE CONSERVATION COMMISSION.
- WETLAND REPLACEMENT WORK SHALL BE SUPERVISED BY A WETLAND SCIENTIST APPROVED BY THE SALISBURY CONSERVATION COMMISSION OR ITS AGENT.
- THESE STANDARDS HAVE BEEN SET IN ORDER TO PROTECT THE FUNCTIONS WHICH BORDERING VEGETATED WETLANDS AND BORDERING VEGETATED WETLANDS PROVIDE. THESE STANDARDS SHALL BE MET BY ADHERING TO THE FOLLOWING CONSTRUCTION SPECIFICATIONS.
- A MEETING SHALL BE SCHEDULED WITH THE CONTRACTOR AND THE WETLAND SCIENTIST PRIOR TO SITE CONSTRUCTION TO REVIEW THE CONSTRUCTION METHODOLOGY. THIS WILL INCLUDE AREAS WITHIN THE APPROVED LIMIT OF WORK FOR HARVESTING SUITABLE SOIL MATERIAL AND DESIGNATED STORAGE AREAS FOR THAT SOIL MATERIAL.
- AS REQUIRED IN THE ORDER OF CONDITIONS, ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND INSPECTED PRIOR TO THE START OF WORK AND THE LIMITS OF THE WETLAND REPLACEMENT AREA SHALL BE CLEARLY MARKED WITH WOODEN STAKES. EROSION CONTROL FENCING SPECIFIC TO THE REPLICATION AREA SHALL REMAIN IN PLACE UNTIL EXPOSED SOILS ARE VEGETATED AND STABLE. HAY BALES USED IN CONJUNCTION WITH THE PERIMETER CONTROL OR USED AS TEMPORARY STABILIZATION IN THE AREA OF THE REPLICATION AREA MUST BE FREE OF WEED SPECIES.
- "O" AND "A" LAYER SOILS FROM THE WETLAND FILL AREAS, AS WELL AS AREAS OF THE UPLAND AREA IN THE MEADOW AND AS DIRECTED BY THE WETLAND SCIENTIST WILL BE STRIPPED AND STOCKPILED FOR USE IN THE REPLICATION AREA.
- THE WETLAND REPLACEMENT AREA INDICATED ON THE PLAN SHALL BE EXCAVATED TO THE INDICATED SUBGRADE (SEE WETLAND REPLICATION PROFILE) BEFORE THE REPLACEMENT AREA SOILS ARE PLACED. THE WETLAND SCIENTIST SHALL BE ON-SITE TO INSPECT THE WETLAND REPLACEMENT AREA DURING THE CONSTRUCTION PROCESS AND MAY ADJUST THE FINAL GRADES IN THE WETLAND REPLACEMENT AREA BASED ON OBSERVED HYDROLOGY. WETLAND SOILS SHALL NOT BE PLACED IN THE REPLICATION AREA UNTIL THE WETLAND SCIENTIST HAS AGREED THAT THE ROUGH GRADE HAS ESTABLISHED APPROPRIATE HYDROLOGY.
- THE TRANSITION ZONE BETWEEN THE WETLAND REPLACEMENT AREA AND THE SURROUNDING UPLAND PLANT COMMUNITY ADJACENT TO THE WETLAND REPLACEMENT AREA SHALL BE GRADED TO CREATE A SMOOTH TRANSITIONAL SLOPE BETWEEN THE WETLAND REPLACEMENT AREA AND THE UPLAND PLANT COMMUNITY.
- SITE GRADES AND SLOPES SHALL BE CONSTRUCTED IN AGREEMENT WITH THE GRADING DETAILS SHOWN ON THE APPROVED SITE PLAN, WITH MINOR ADJUSTMENTS APPROVED IN THE FIELD BY THE WETLAND SCIENTIST.
- STOCKPILED WETLAND OR SELECTED "O" AND "A" SOILS FROM THE MEADOW AREA SHALL BE PLACED IN THE ROUGH GRADED REPLACEMENT AREA TO ESTABLISH WETLAND SOILS BETWEEN 8 AND 12 INCHES IN DEPTH. ONSITE UPLAND SOILS MAY REQUIRE SUPPLEMENTARY DECOMPOSED LEAF LITTER OR OTHER APPROVED ORGANIC MATTER, TO PROVIDE A MINIMUM 25 % ORGANIC MATTER BY VOLUME. ANY EXISTING/IMPORTED WETLAND SOIL AND SOIL AMENDMENT MATERIAL SHALL BE INSPECTED BY THE WETLAND SCIENTIST FOR ANY OBVIOUS PRESENCE OF INVASIVE/EXOTIC SPECIES PRIOR TO TRANSLOCATION TO THE SITE. IN THE EVENT OFFSITE SOIL IS USED FOR THE WETLAND SOILS, IT SHALL CONTAIN 12-18 % ORGANIC CARBON BY DRY WEIGHT.
- COARSE, WOODY DEBRIS SHALL BE ADDED THROUGHOUT THE REPLACEMENT WETLAND SURFACE AREA TO ACHIEVE COVERAGE OF AT LEAST 5%.
- OPTIMAL PLANTING CONDITIONS OCCUR FROM APRIL 1 – MAY 15 IN THE SPRING AND SEPTEMBER 1 – OCTOBER 15. SEEDING AND PLANTING WILL OCCUR ONLY DURING THESE TIME PERIODS UNLESS APPROVED BY THE WETLAND SCIENTIST. WETLAND VEGETATION PLANTED IN THE WETLAND REPLACEMENT AREA MAY INCLUDE PLANTS SALVAGED FROM THE BORDERING VEGETATED WETLAND PROPOSED TO BE FILLED AND TRANSFERRED TO THE WETLAND REPLACEMENT AREA IF DEEMED SUITABLE BY THE WETLAND SCIENTIST. ADDITIONAL NATIVE SHRUBS WILL BE ADDED TO THE PLANTING AREA TO SUPPLEMENT THE SALVAGED MATERIAL AS IDENTIFIED IN THE PLANTING TABLE.
- PROPOSED VEGETATION FOR WETLAND REPLICATION AREA. PLANTS SHALL BE PLANTED IN APPROXIMATED DENSITIES/SPACING AS IDENTIFIED IN THE TABLE, ALTHOUGH SHRUB SPECIES MAY BE CLUSTERED IN GROUPS OF 2/3 TO CREATED MORE NATURAL CONDITIONS.
- PLANTS SHALL BE SOURCED FROM NEW ENGLAND WETLAND PLANTS, INC. OR EQUIVALENT.
- A WETLAND SEED MIX SUCH AS NEW ENGLAND WETMIX BY NEW ENGLAND WETLAND PLANTS, INC., OR APPROVED EQUIVALENT, SHALL BE BROADCAST THROUGHOUT THE AREA AT AN APPLICATION RATE OF 1 LB PER 2,500 S.F. OR AS SPECIFIED BY THE MANUFACTURER, AND IT SHALL BE MULCHED WITH 1-2" THICK LAYER OF STRAW OR OTHER SUITABLE ORGANIC EQUIVALENT AND MAINTAINED UNTIL VEGETATION HAS BEEN ESTABLISHED.
- UPLAND BUFFER ZONES DISTURBED AS A RESULT OF CONSTRUCTION OF THE WETLAND REPLICATION AREA SHALL BE PLANTED WITH NATIVE SHRUBS AND SAPLINGS APPROVED BY THE WETLAND SCIENTIST AND SEEDED WITH A NATIVE NEW ENGLAND CONSERVATION SEED MIX BY NEW ENGLAND WETLAND PLANTS, INC., OR APPROVED EQUIVALENT, AT AN APPLICATION RATE OF 1 LB PER 1,750 SF OR AS SPECIFIED BY THE MANUFACTURER, AND IT SHALL BE MULCHED WITH 1-2" THICK LAYER OF STRAW OR OTHER SUITABLE ORGANIC EQUIVALENT AND MAINTAINED UNTIL VEGETATION HAS BEEN ESTABLISHED.
- THE WETLAND REPLICATION AREA SHALL BE INSPECTED MONTHLY BY THE WETLAND SCIENTIST UNTIL THE AREA IS 75% UNIFORMLY VEGETATED AND STABLE, AND UNTIL THE WETLAND SCIENTIST DETERMINES THAT THE RESTORATION AREA EROSION CONTROLS CAN BE REMOVED. INSPECTIONS CAN BE SUSPENDED DURING FROZEN CONDITIONS. UPON REACHING STABILITY, TWO ANNUAL INSPECTIONS SHALL BE MADE OF THE COMPLETED REPLACEMENT AREA BY THE WETLAND SCIENTIST IN COMPLIANCE WITH MASSACHUSETTS INLAND WETLAND REPLICATION GUIDELINES, MARCH, 2002 IN ORDER TO ASSESS THE SUCCESS OF THE WETLAND REPLICATION AREA.
- DURING THE TWO ANNUAL INSPECTIONS OF THE REPLACEMENT WETLAND AREA, THE CONTRACTOR SHALL REMOVE BY HAND ALL INVASIVE PLANT SPECIES AS IDENTIFIED BY THE WETLAND SCIENTIST.

WETLAND REPLICATION  
AREA #1

HORIZ. SCALE: 1"=10'



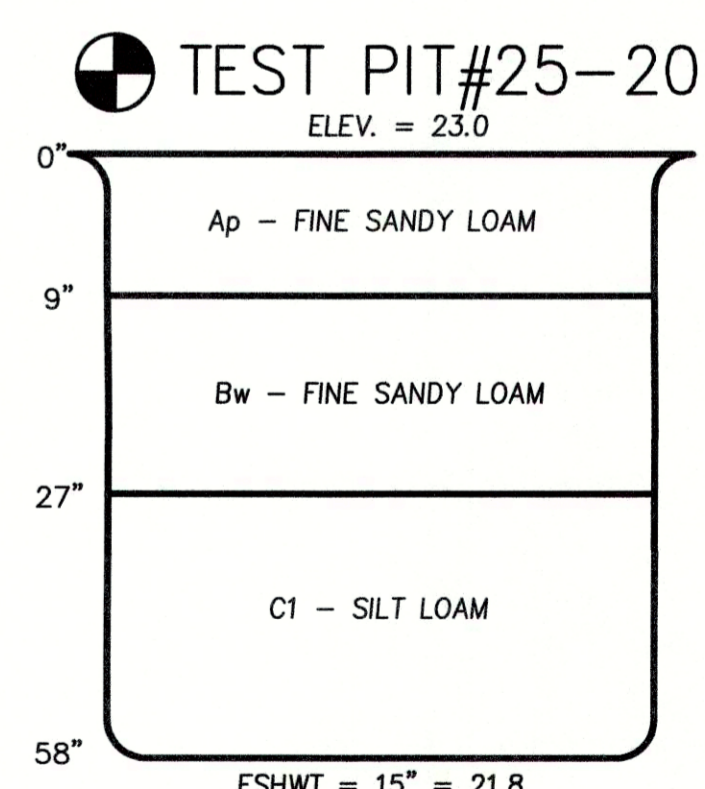
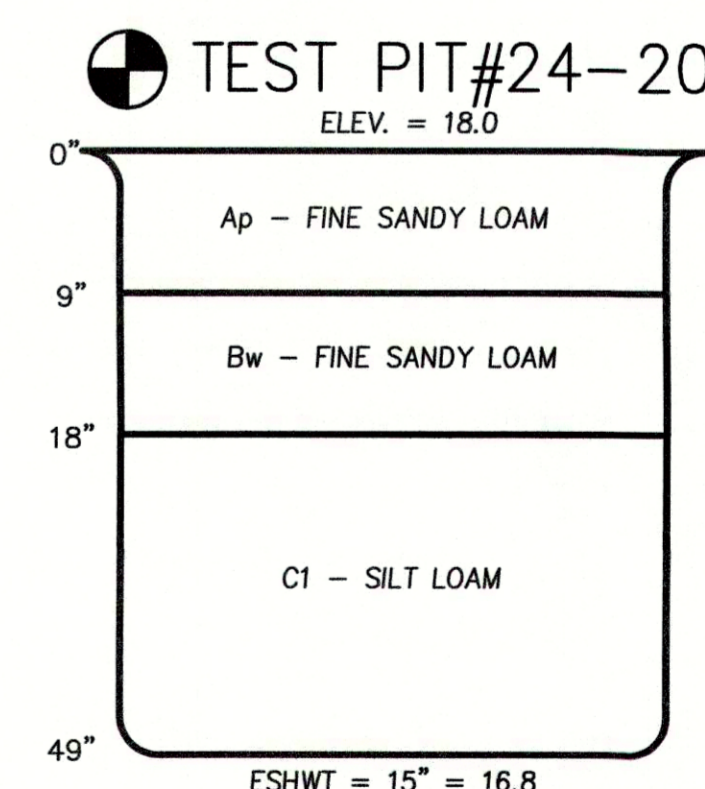
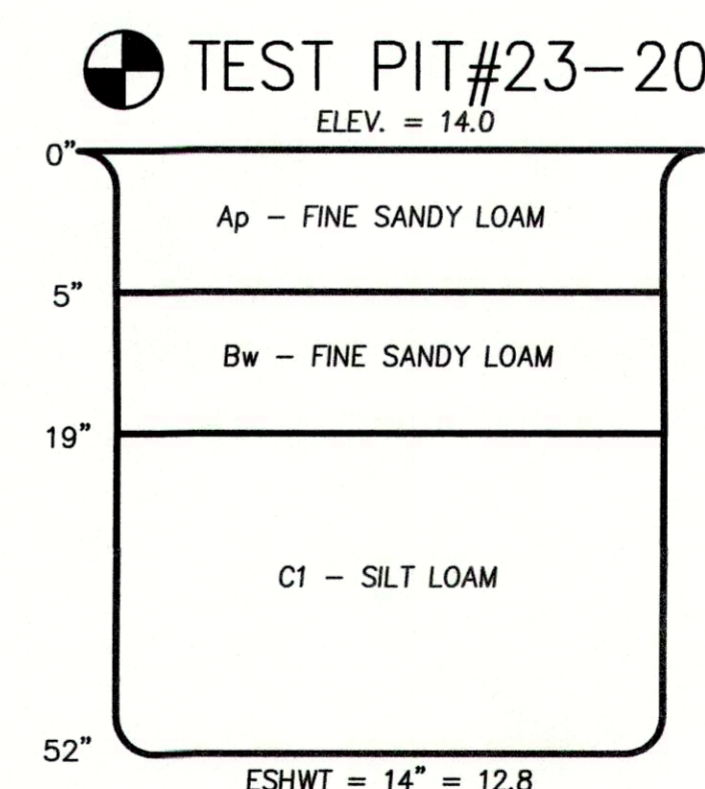
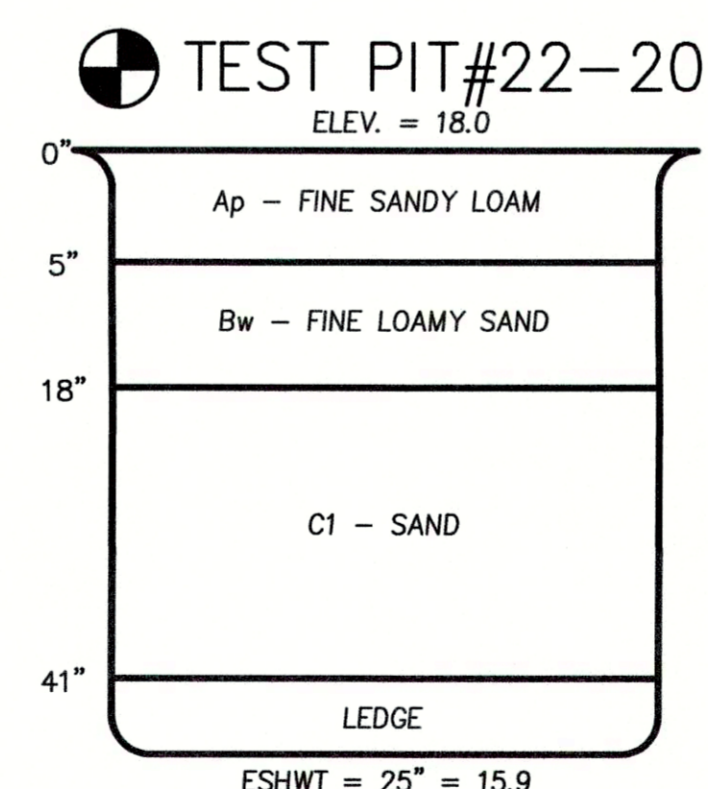
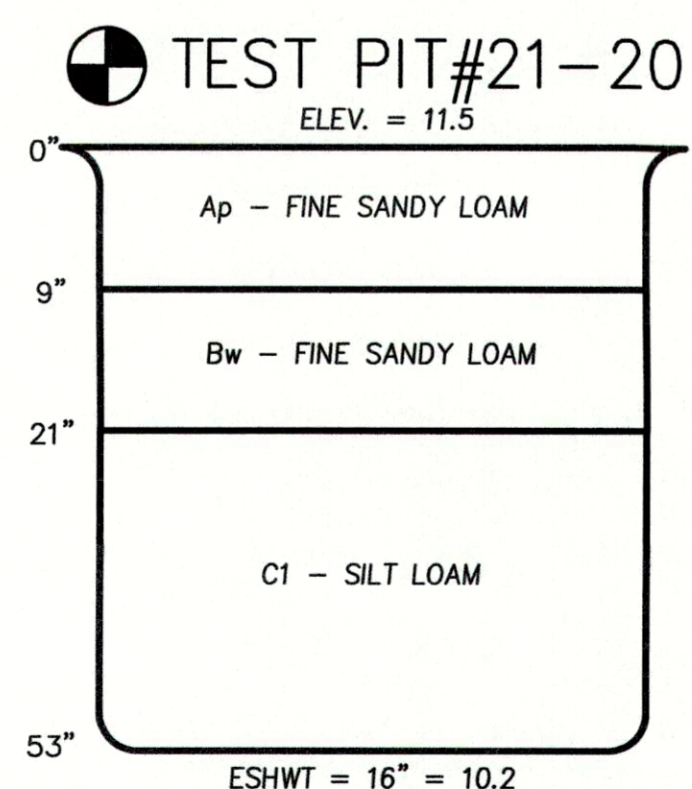
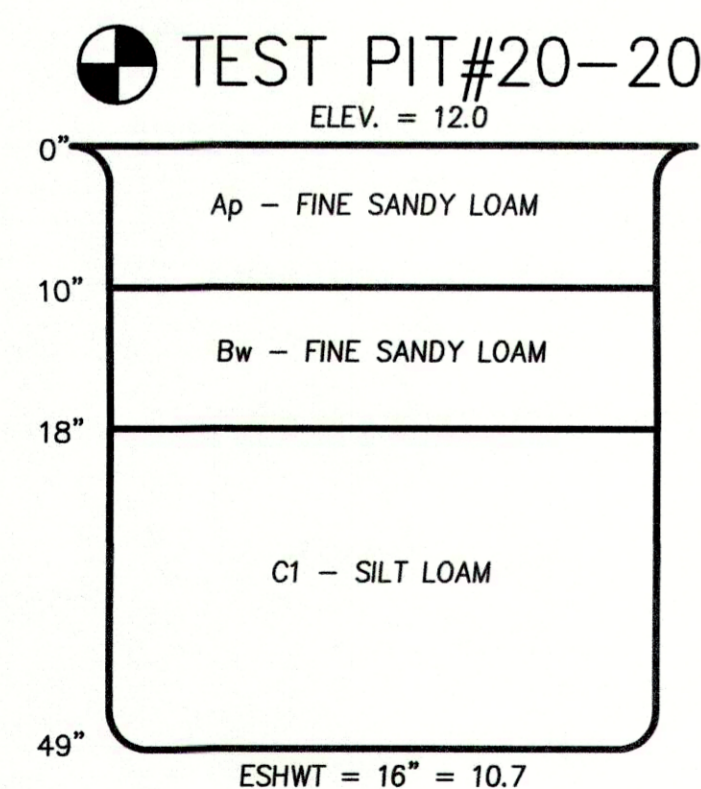
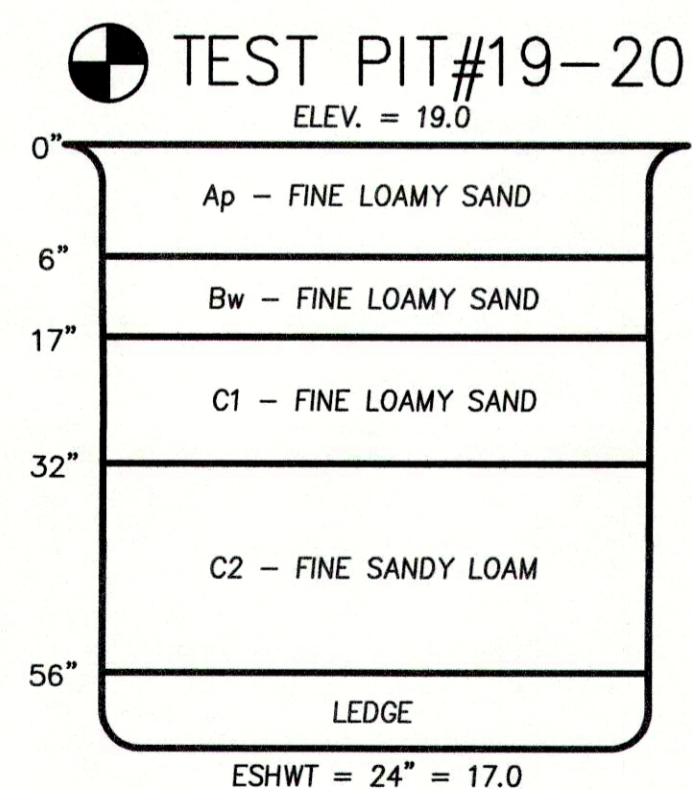
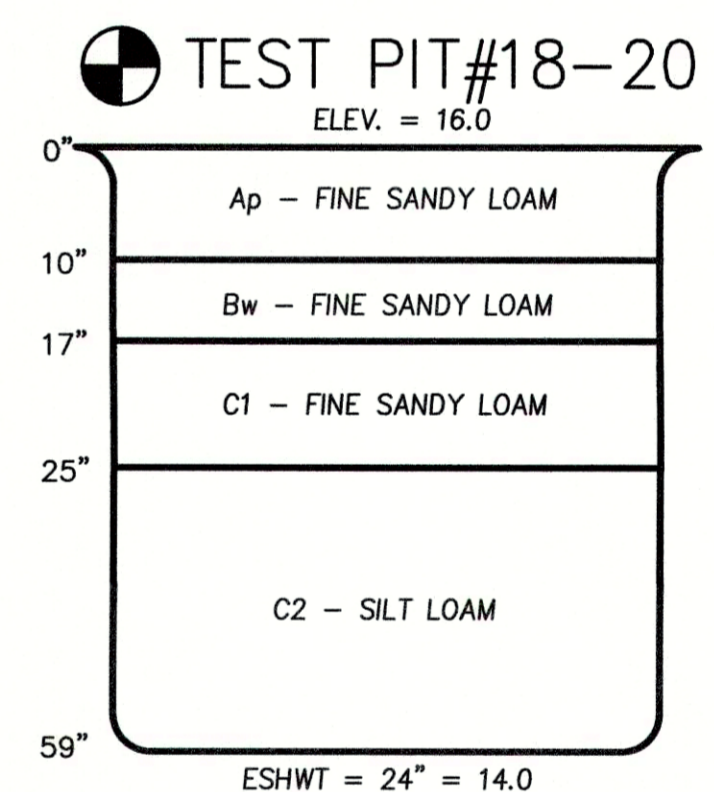
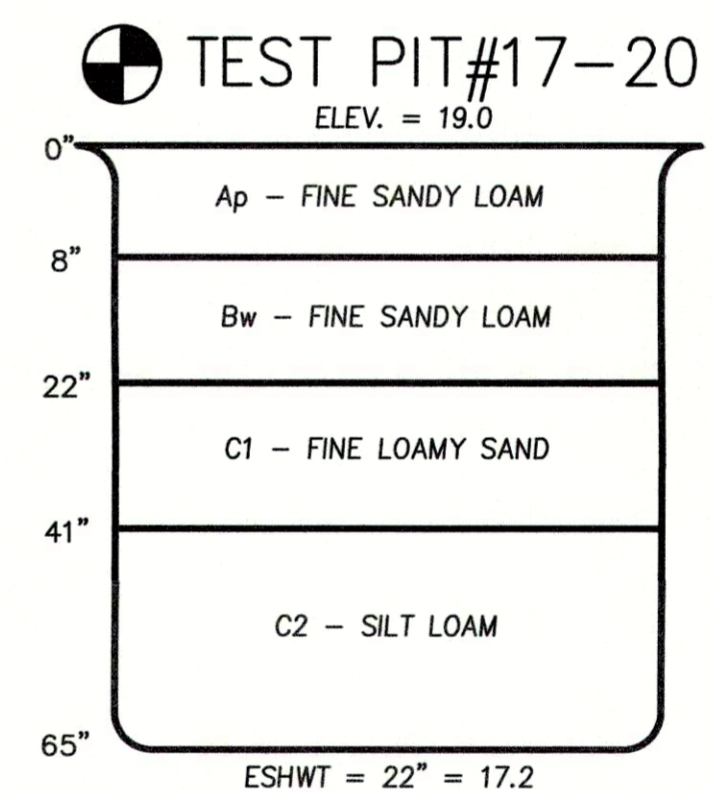
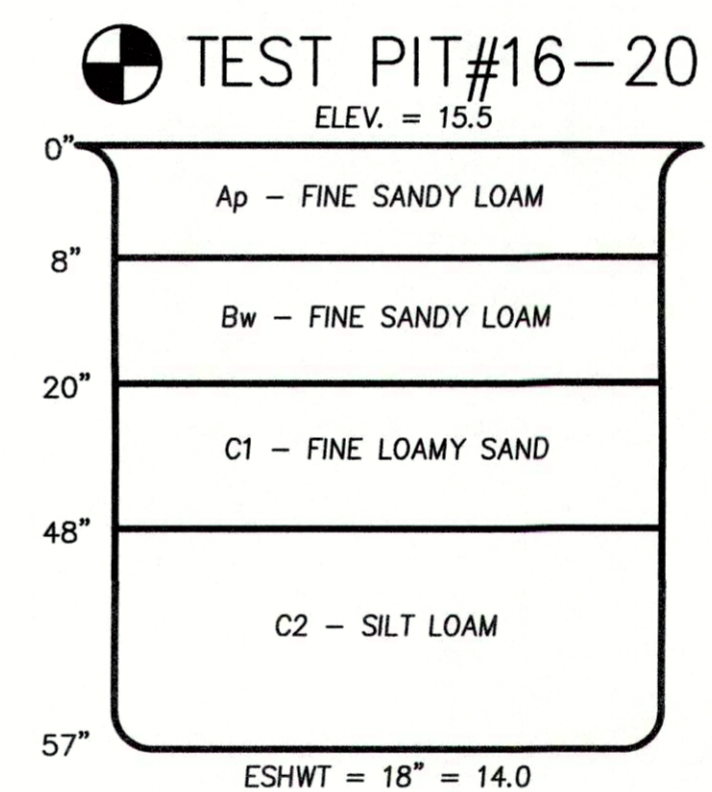
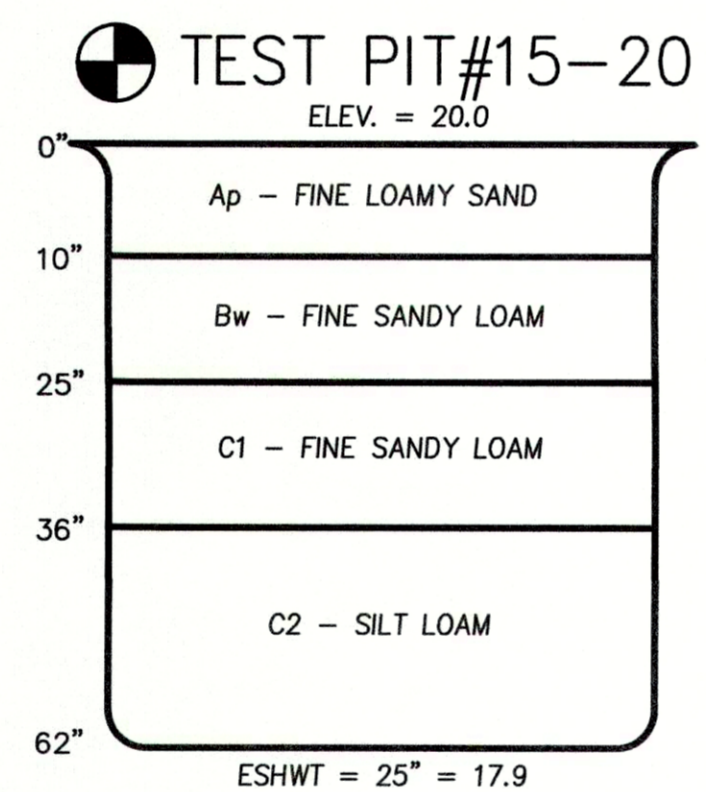
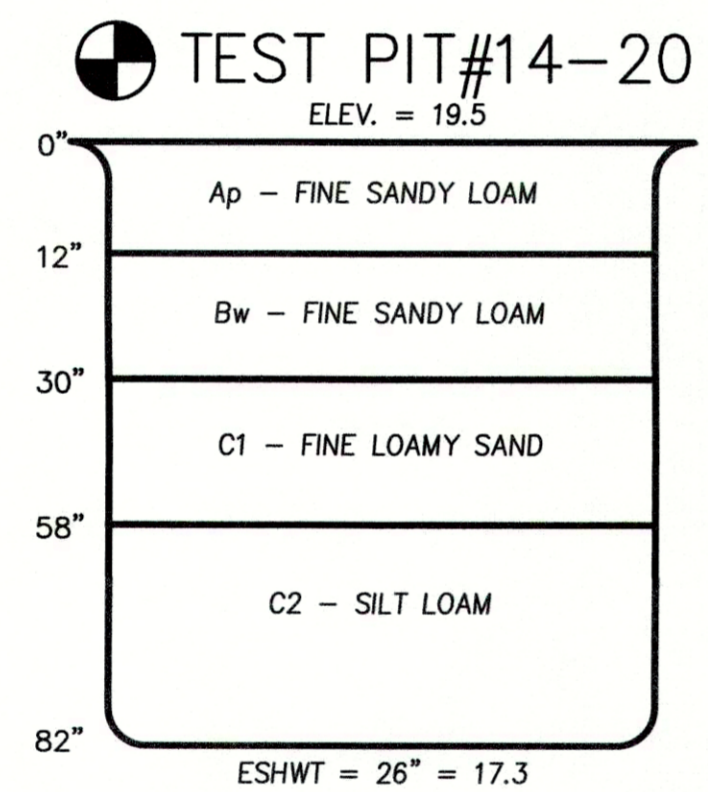
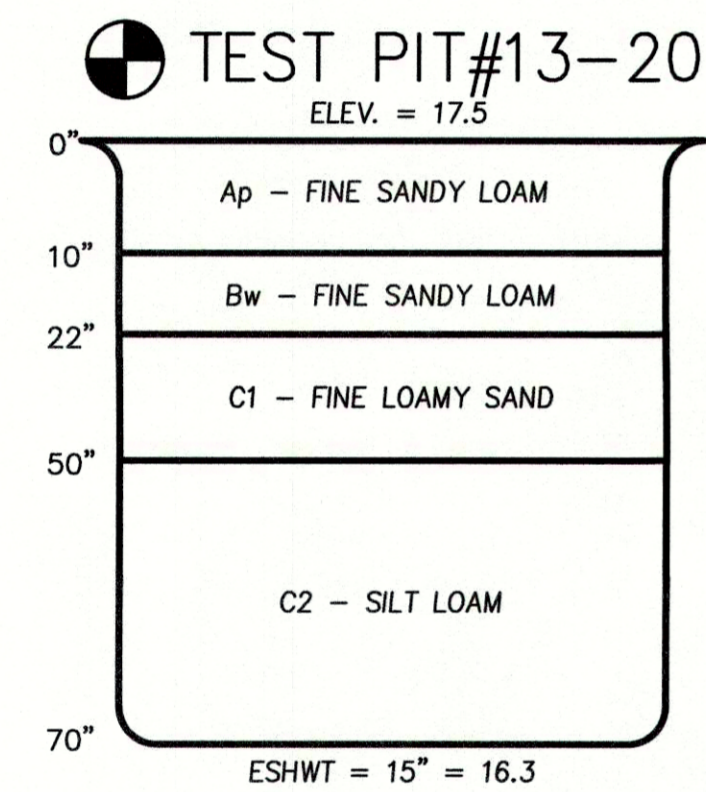
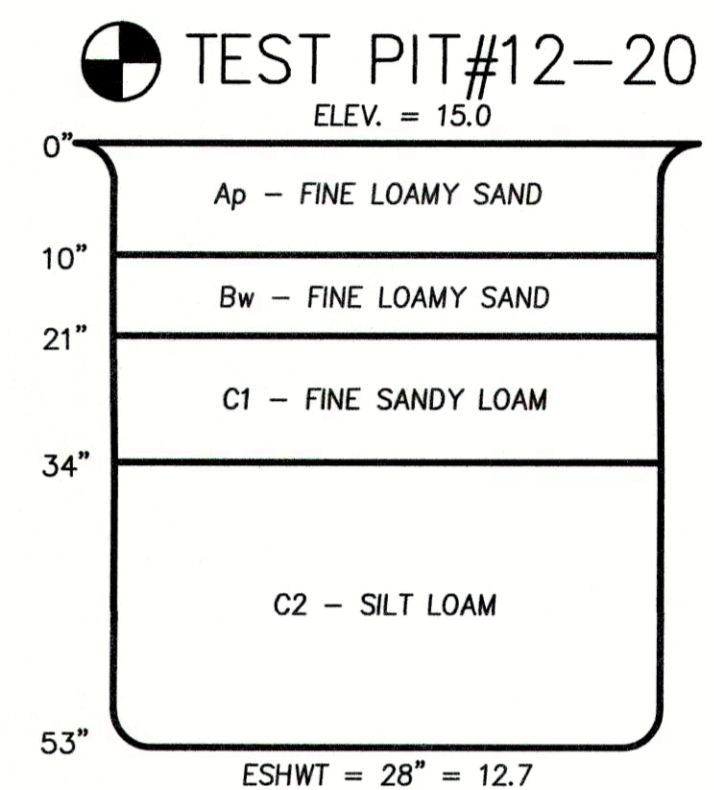
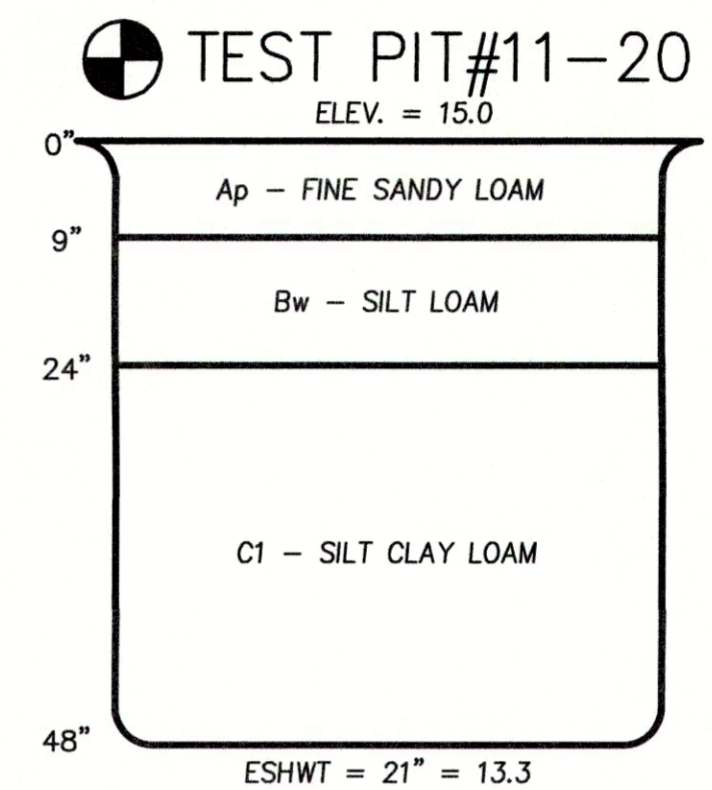
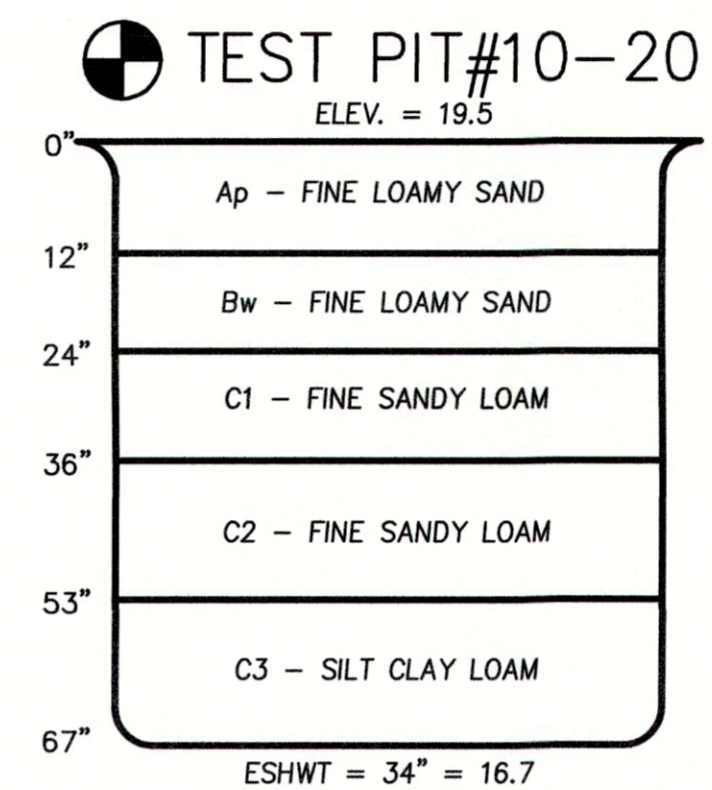
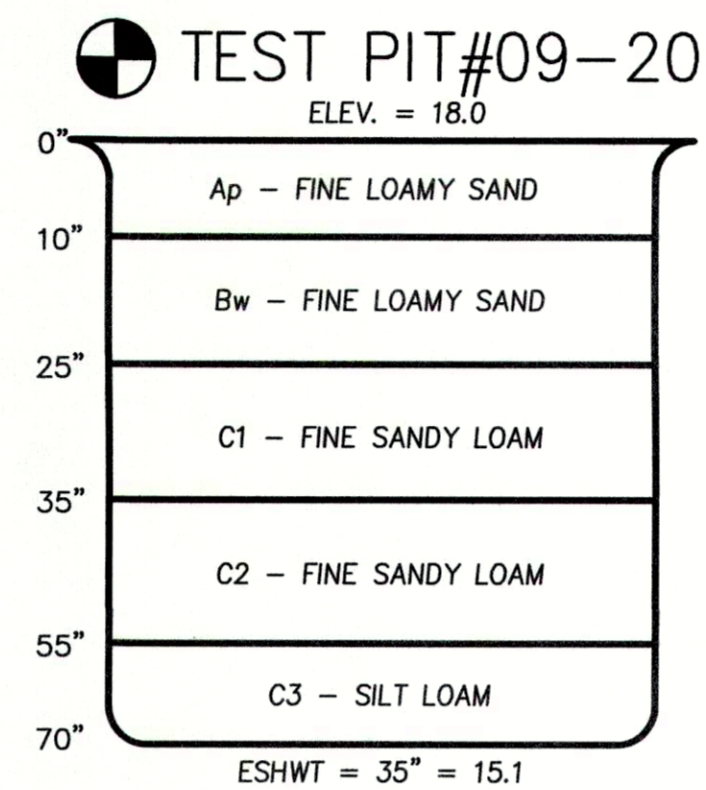
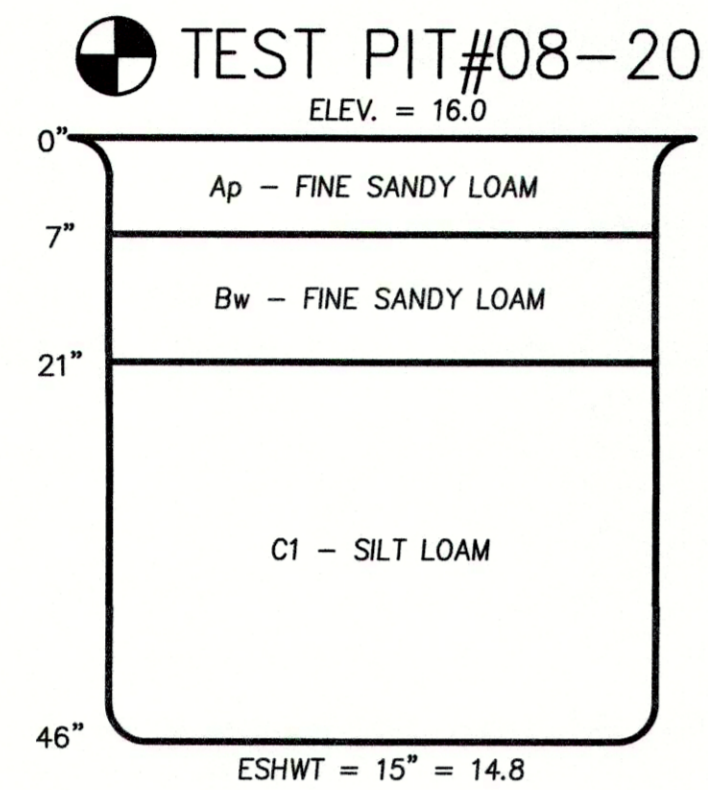
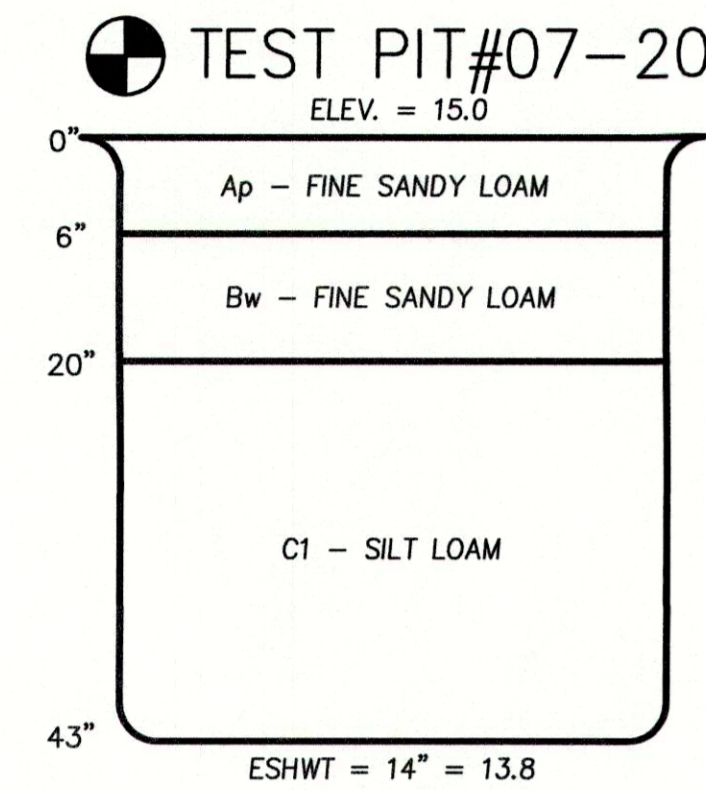
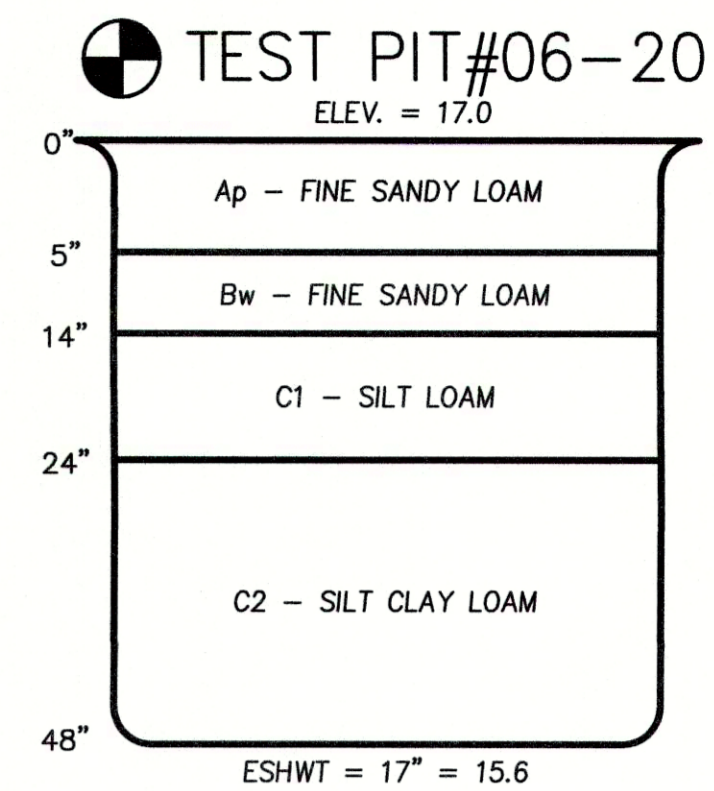
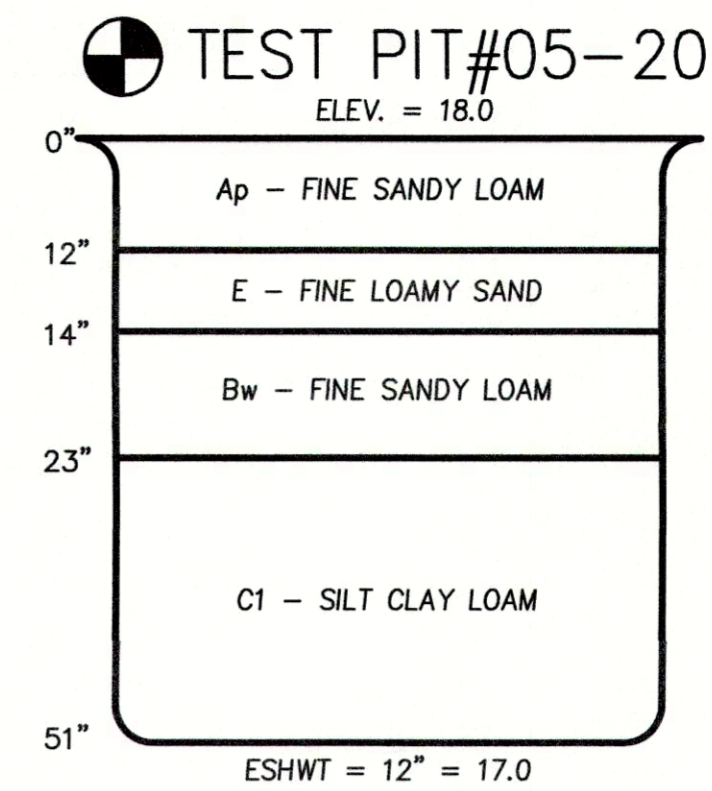
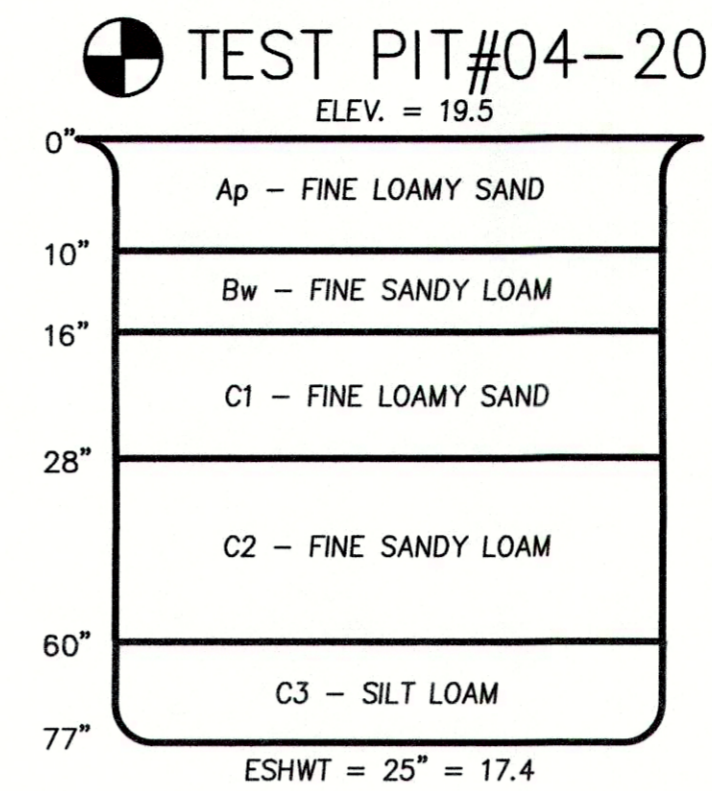
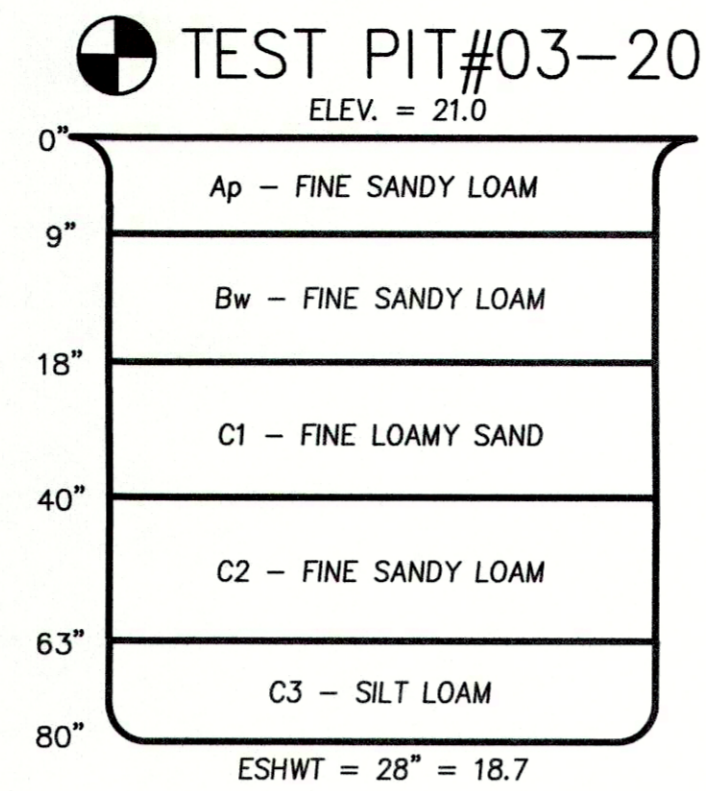
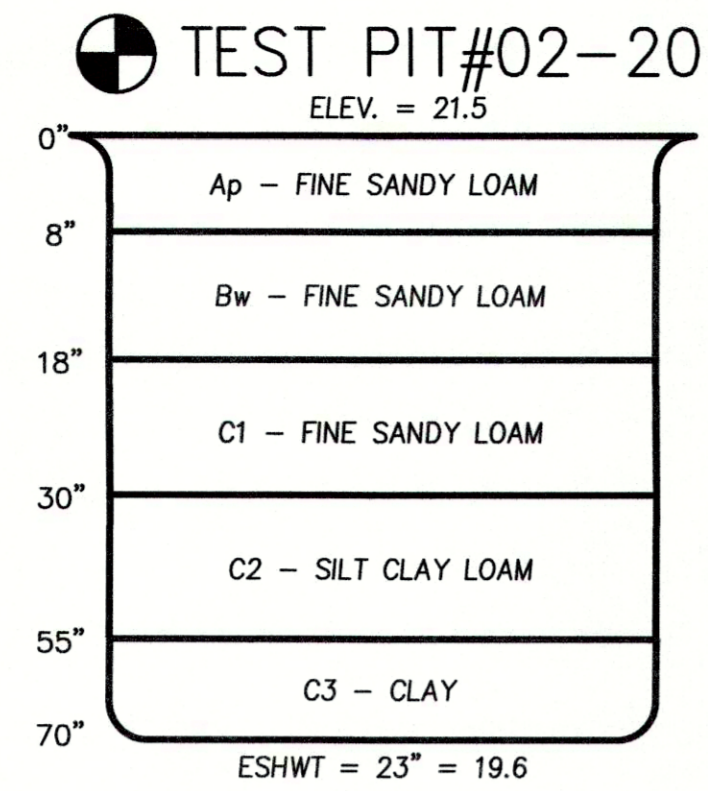
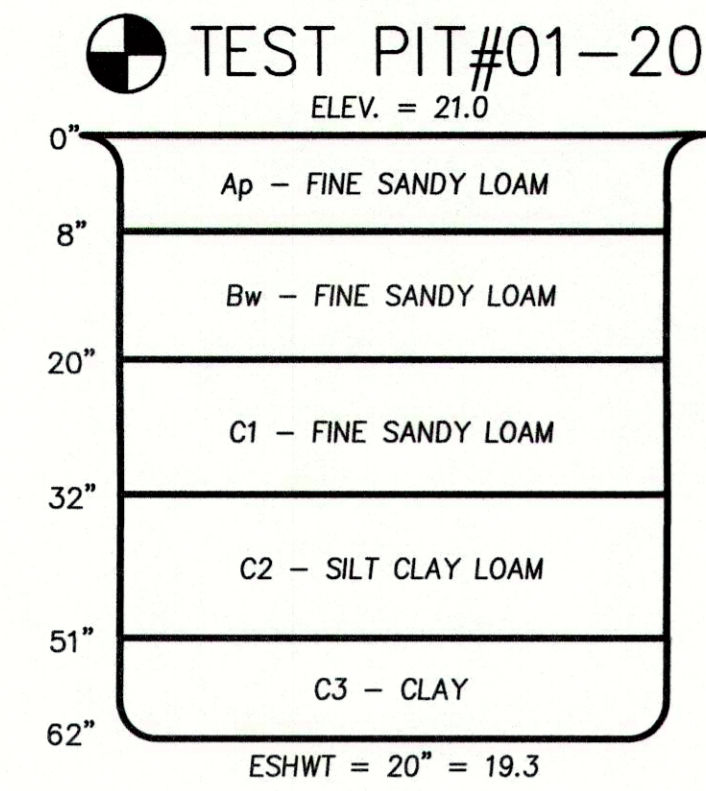
PREPARED FOR  
  
6 FOREST ROAD LLC  
71 COMMERCIAL STREET, #263  
BOSTON, MA 02109

1	4/12/21	ADDRESS REVIEWER'S COMMENTS	C.M.Y.		
NO.	DATE	DESCRIPTION	BY		




<b>MEI</b> MILLENNIUM ENGINEERING, INC. ENGINEERING AND LAND SURVEYING 62 ELM. ST. SALISBURY, MA 01952 (978) 463-8980 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528			SCALE: AS NOTED	DESIG. BY: C.M.Y.	PROJECT: M193659
			DATE: OCT. 26, 2020	CHKD. BY: E.W.B.	

<b>SITE PLAN</b> IN <b>SALISBURY, MA</b>	
SHOWING <b>64 UNIT TOWNHOUSE COMMUNITY</b> AT <b>6 FOREST ROAD &amp; MEADOWVIEW LANE</b>	

<b>WETLAND REPLICATION DETAILS</b>
SHEET: C-15





Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A3	18	Sternberg Lighting	1970LED-4ARC30T3-MDL03-FG	1970 Gallery Fixture; mounted at 14ft	LED	1	1970LED-4ARC45T3-MDL03-FG.IES	6548	0.9	64.1
	A4	6	Sternberg Lighting	1970LED-4ARC30T4-MDL03-FG	1970 Gallery Fixture; mounted at 14ft	LED	1	1970LED-4ARC45T4-MDL03-FG.IES	6705	0.9	64.5
	A5	2	Sternberg Lighting	1970LED-4ARC30T5-MDL03-FG	1970 Gallery Fixture; mounted at 14ft	LED	1	1970LED-4ARC45T5-MDL03-FG.IES	6730	0.9	64.4



## 1970LED GALLERY SERIES

LED

EPA  
93 (ft)  
WEIGHT  
38 LBS

7 YEAR  
WARRANTY

LUMEN  
RANGE  
5,075 to  
16,420

LIFE SPAN  
L70  
MINIMUM  
100,000  
HOURS

UL  
LISTED

CLICK  
FOR FAQ'S

DLC  
QUALITY

RATED  
IP65

JOB NAME

FIXTURE TYPE

MEMO

### BUILD A PART NUMBER

ORDERING EXAMPLE: 2A-1970LED-5-GR-4ARC45T5-MDL03-SV1-R7-PE-HSHN/CA6/5218P5/UBKT

Mounting Config.	Fixture	Shade Edge	Top Feature	LED	CCT	Type	Driver	Lens	Optional Control Receptacle	Optional Control	Option Fuse	Option Hang- straight	Option House Side Shield	Arm See Arm Spec Sheets	Pole See Pole Spec Sheets	Finish

### Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Outside of Parking Lot	+	0.3 fc	4.4 fc	0.0 fc	N/A	N/A
Roadway	+	1.3 fc	4.2 fc	0.1 fc	42.0:1	13.0:1

PLAN BOOK 218 PLAN 91



## Site Lighting Layout At MEADOWVIEW LANE

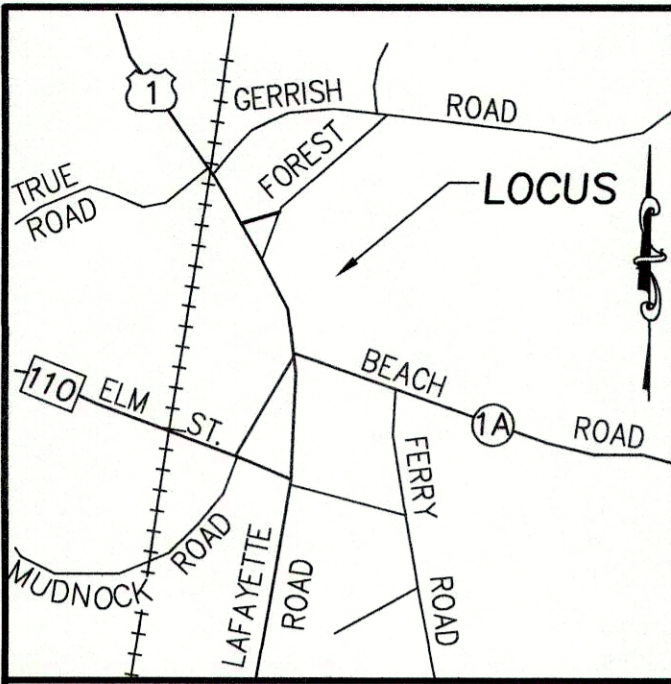
Designer  
Heidi G. Connors  
Visible Light, Inc.  
24 Stickney Terrace  
Suite 6  
Hampton, NH 03842  
Date  
4/12/2021  
Scale  
1"=30'  
Drawing No.

Summary



Site Lighting Layout  
At  
MEADOWVIEW LANE

Designer  
Heidi G. Connors  
Visible Light, Inc.  
24 Stickney Terrace  
Suite 6  
Hampton, NH 03842  
Date  
4/12/2021  
Scale  
1"=30'  
Drawing No.  
Summary



LOCUS MAP  
N.T.S.

PLAN BOOK 218 PLAN 91

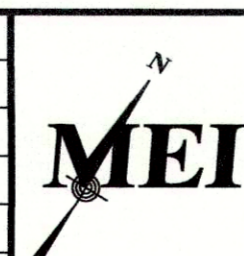


GRAPHIC SCALE  
30 0 15 30 60 120  
( IN FEET )  
1 inch = 30'



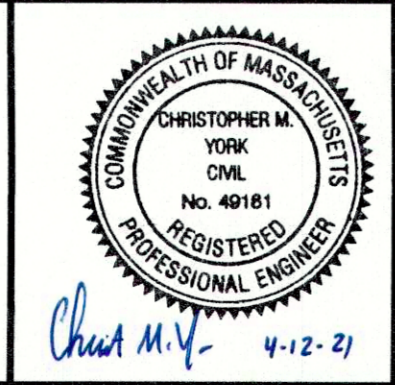
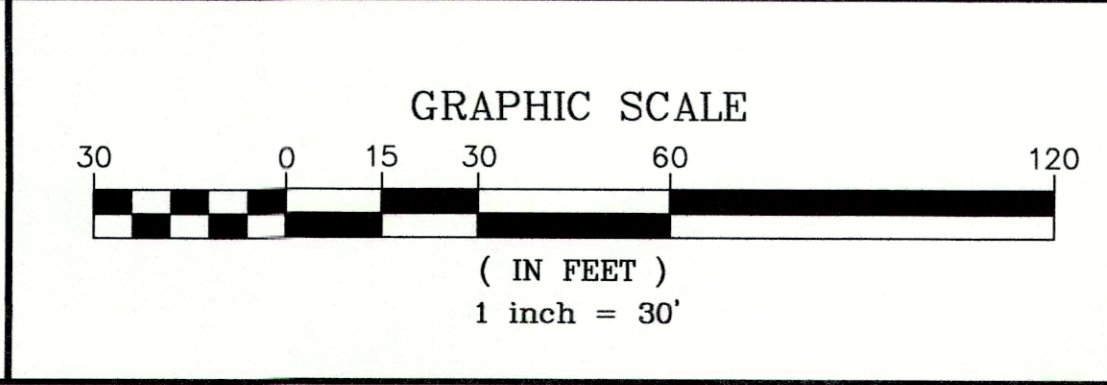
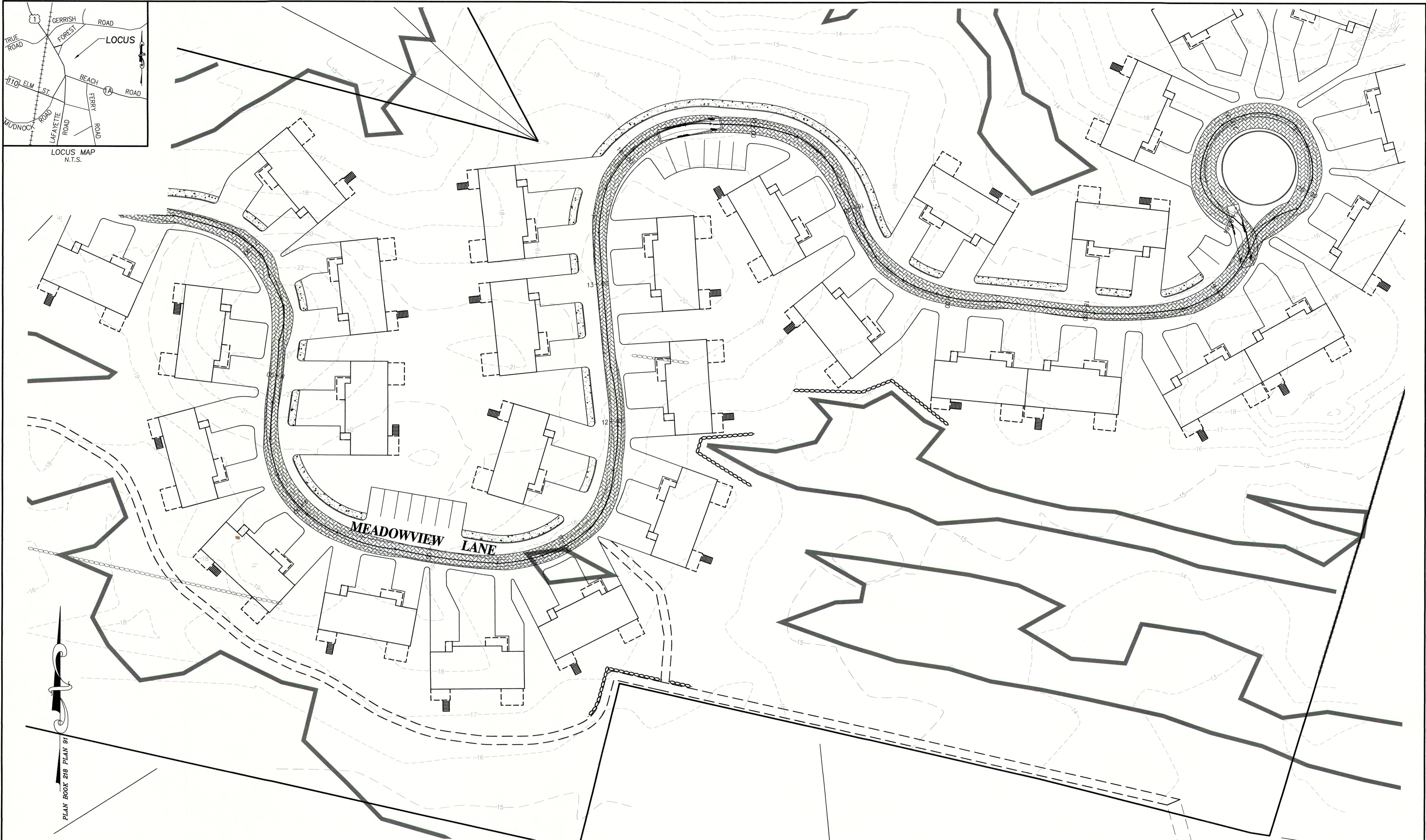
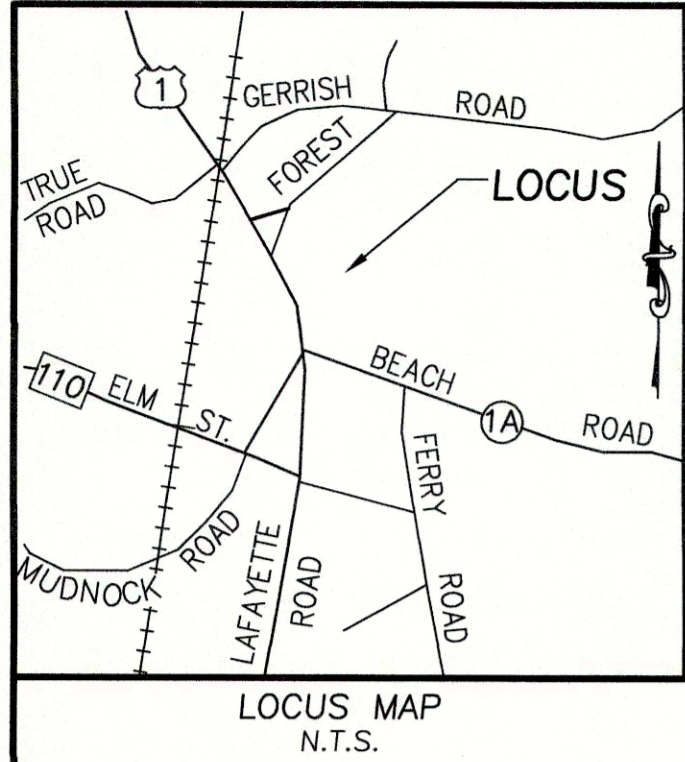
PREPARED FOR  
**6 FOREST ROAD LLC**  
71 COMMERCIAL STREET, #263  
BOSTON, MA 02109

NO.	DATE	DESCRIPTION	BY
1	4/12/21	ADDRESS REVIEWER'S COMMENTS	C.M.Y.

 <b>MILLENNIUM ENGINEERING, INC.</b> ENGINEERING AND LAND SURVEYING 62 ELM. ST. SALISBURY, MA 01952 (978) 463-8980 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528		SCALE: 1"=30'	DESG. BY: C.M.Y.	PROJECT: M193659
		DATE: OCT. 26, 2020	CHKD. BY: E.W.B.	

PLAN OF LAND IN SALISBURY, MA
SHOWING 58 UNIT TOWNHOUSE COMMUNITY AT 6 FOREST ROAD & MEADOWVIEW LANE

FIRE TRUCK TEMPLATE
SHEET: F-1




PREPARED FOR

**6 FOREST ROAD LLC**

71 COMMERCIAL STREET, #263  
BOSTON, MA 02109

NO.	DATE	DESCRIPTION	BY
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ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=30'	DESIG. BY: C.M.Y.	PROJECT: M193659
DATE: OCT. 26, 2020	CHKD. BY: E.W.B.	

**PLAN OF LAND**  
IN  
**SALISBURY, MA**  
SHOWING  
**58 UNIT TOWNHOUSE COMMUNITY**  
AT  
**6 FOREST ROAD & MEADOWVIEW LANE**

**FIRE TRUCK TEMPLATE**

SHEET: F-2



EVERGREEN TREES: QTY 7

ABIES CONCOLOR	WHITE FIR	7-8' HT.
PICEA ABIES	NORWAY SPRUCE	7-8' HT.
THUJA 'GREEN GIANT'	ARBORVITAE	7-8' HT.

STREET TREES: QTY 66

ACER RUBRUM 'OCT. GLORY'	RED MAPLE	2-2.5' CAL.
LIQUIDAMBAR STYRACIFLUA	SWEETGUM	2-2.5' CAL.
QUERCUS PALUSTRIS	PIN OAK	2-2.5' CAL.
ULMUS AMER. 'PRINCETON'	ELM	2-2.5' CAL.

FLOWERING TREES: QTY 9

AMELANCHIER CANADENSIS	SERVICEBERRY	2-2.5' CAL.
BETULA NIGRA	RIVER BIRCH	2-2.5' CAL.
CORNUS FLORIDA	FLOWERING DOGWOOD	2-2.5' CAL.
PRUNUS SERR. 'KWANZAN'	KWANZAN CHERRY	2-2.5' CAL.

SHRUBS: QTY 47

ARONIA ARBUT. 'BRILLIANT'	CHOKEBERRY	5 GAL.
CLETHRA ALNIFOLIA	SUMMERSWEET	5 GAL.
CORNUS SERICEA 'ISANTI'	RED-TWIG DOGWOOD	5 GAL.
HYDRANGEA PAN. 'QUICKFIRE'	PANICLE HYDRANGEA	5 GAL.
ILEX GLABRA 'SHAMROCK'	INKBERRY	5 GAL.
ILEX VERTICILLATA	WINTERBERRY	5 GAL.
TAXUS X MEDIA 'DENSIFORA'	SPREADING YEW	5 GAL.
VIBURNUM DENTATUM	ARROWWOOD	5 GAL.
VIBURNUM TRILOBUM	AM CRANBERRYBUSH	5 GAL.

KT Turner Design  
landscape architecture

27 High St.  
Newburyport, MA 01950  
ph) 781.632.6004

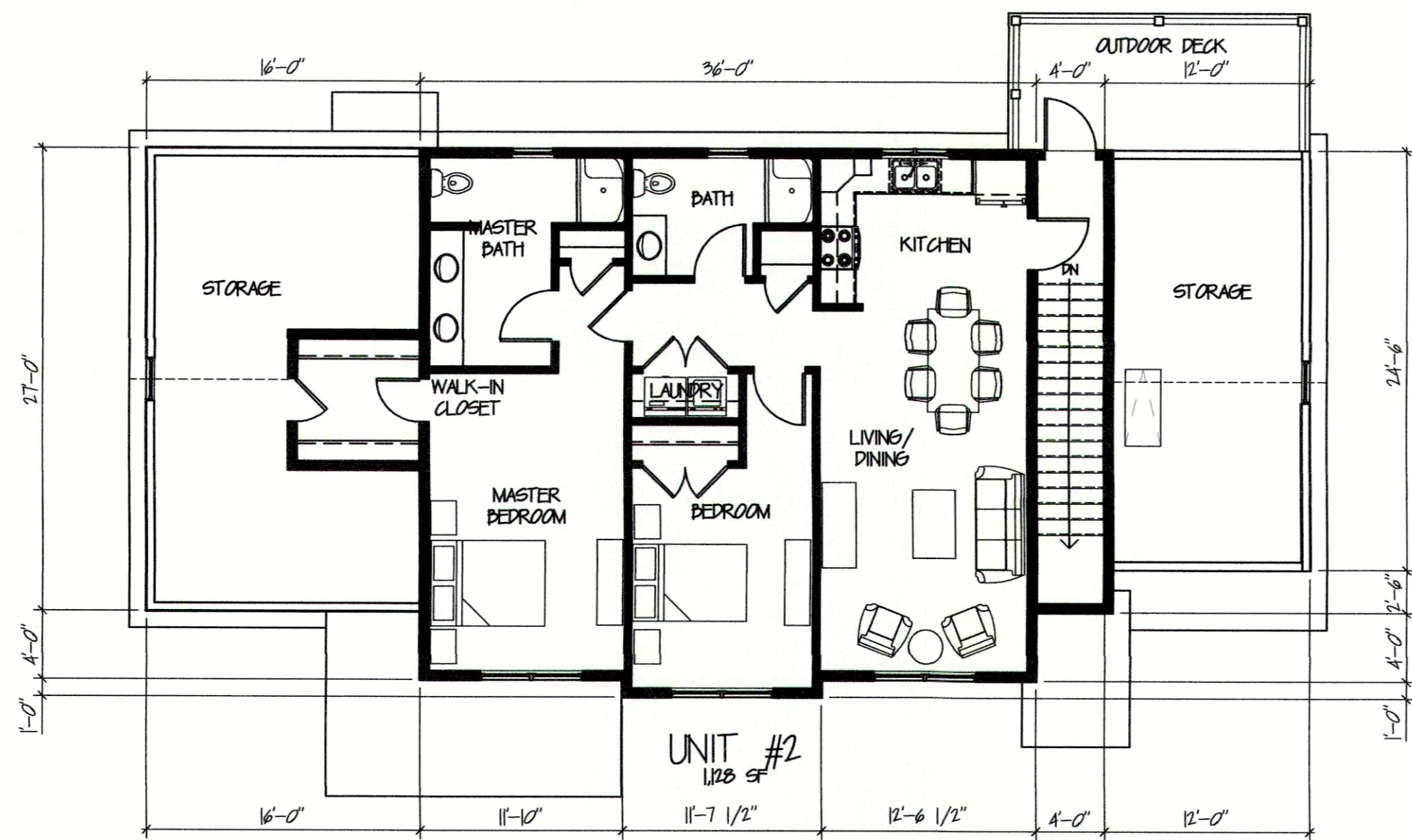
6 Forest Rd.  
Salisbury, MA

LANDSCAPE PLAN

Issued:

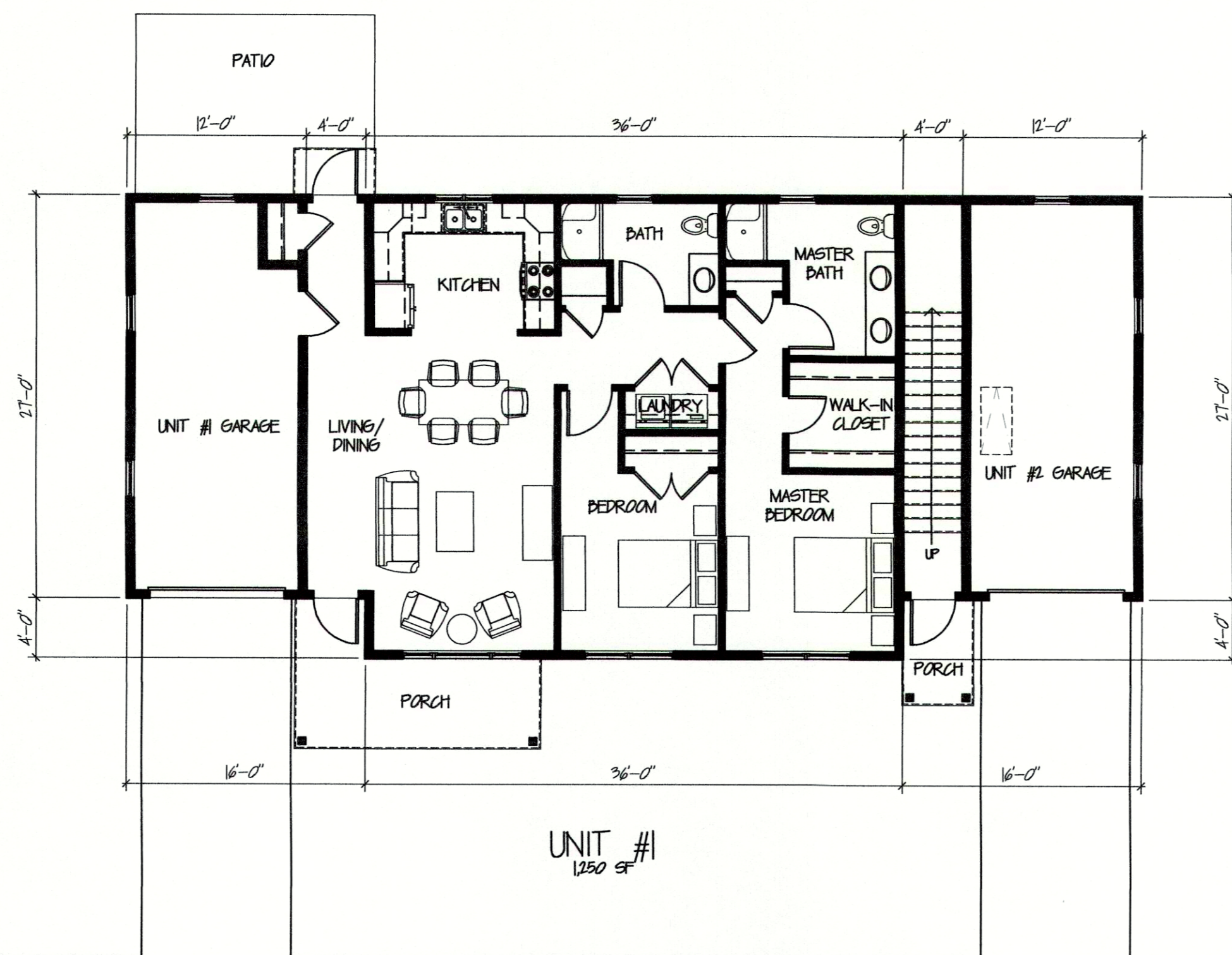
1 9-5-20	For review
2 9-5-20	For review
3 9-28-20	For review
4 9-30-20	For review
5 3-29-21	For review
6	
7	

Scale: 1"=50'-0"



SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"



FIRST FLOOR PLAN

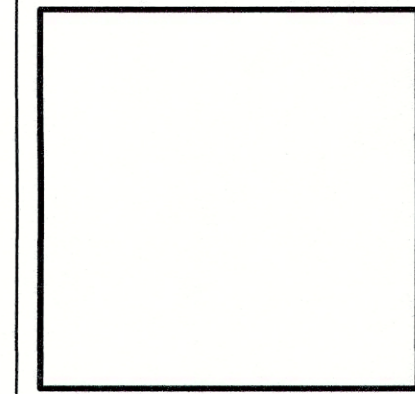
SCALE: 1/8"=1'-0"

REV. NO.	REVISIONS	DATE

PROJECT:	DUPEX
SUBJECT:	SCHEMATIC FLOOR PLANS
DATE:	02/02/21
SCALE:	1/8"=1'-0"

**UDELSMAN ASSOCIATES**  
ARCHITECTURE • PLANNING • DESIGN

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PROJECT NO.: 1938

SHEET NO.: A1

DUDELMAN ASSOCIATES, 2019