

LOCUS MAP  
N.T.S.

# SITE PLAN FOR 82 LAFAYETTE ROAD IN SALISBURY, MA

MAY 2024

SALISBURY PLANNING BOARD

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DATE

**PLAN INDEX**

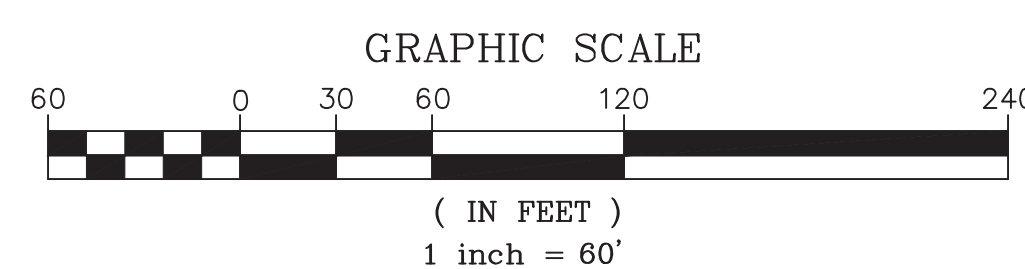
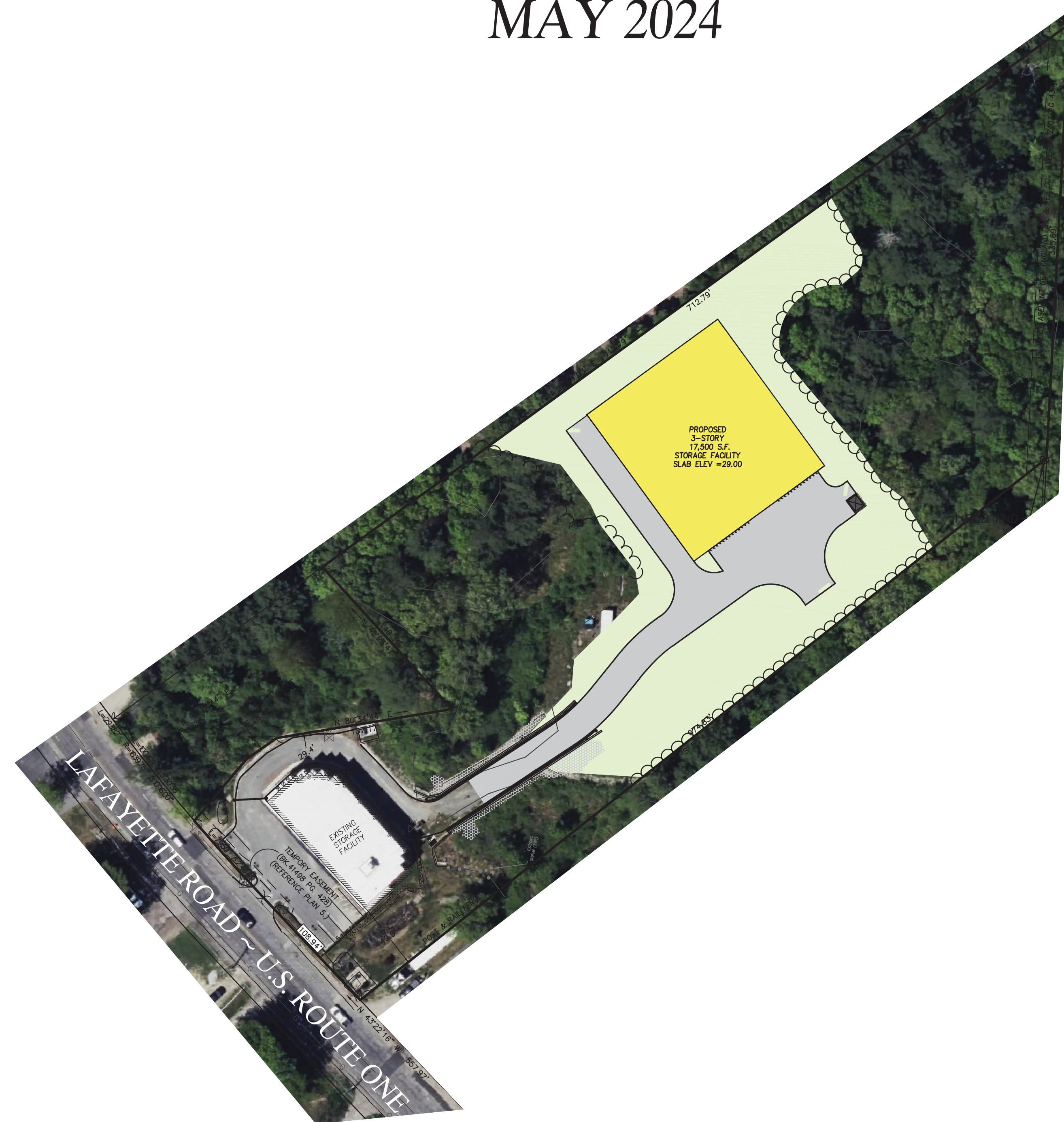
SHEET NO.	TITLE
C1	COVER SHEET
C2	GENERAL NOTES & LEGEND
C3	BOUNDARY PLAN
C4	EXISTING CONDITIONS
C5	SITE PLAN
C6	GRADING AND DRAINAGE PLAN
C7	UTILITIES PLAN
C8	EROSION AND SEDIMENTATION PLAN
C9-C12	CONSTRUCTION DETAILS
C13	TEST PITS
E1	LIGHTING PLAN
L1	LANDSCAPING PLAN

**RECORD OWNER/APPLICANT:**

82 LAFAYETTE RD DEVELOPMENT LLC  
12 56TH STREET  
NEWBURYPORT, MA 01950

**CIVIL ENGINEER:**

MILLENNIUM ENGINEERING, INC.  
62 ELM STREET  
SALISBURY, MA 01952



PREPARED FOR  
**82 LAFAYETTE ROAD DEVELOPMENT, LLC**  
12 56TH STREET  
NEWBURYPORT, MA

NO.	DATE	DESCRIPTION	BY

**MEI** MILLENNIUM ENGINEERING, INC.  
ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=60'	CALC. BY: S.R.C.	PROJECT: M234259
DATE: MAY 2, 2024	CHKD. BY: J.T.M.	

SITE PLAN  
IN  
SALISBURY, MA  
AT  
82 LAFAYETTE ROAD

COVER

SHEET: C-1



**LEGEND**

EXISTING	PROPOSED	
		CATCH BASIN (OR GUTTER INLET, OR LEACHING BASIN)
		CATCH BASIN (OR GUTTER INLET) WITH CURB INLET
		CURB (OR BERM) - TYPE NOTED
		EDGE OF ROAD
		CONTOUR
		SEWER MANHOLE
		DRAINAGE MANHOLE
		GAS GATE
		WATER GATE
		SEPTIC TANK
		HYDRANT
		FIRE ALARM BOX
		POST MOUNTED PEDESTRIAN LIGHT
		UTILITY POLE
		DRAIN PIPE
		SEWER MAIN
		SEWER FORCE MAIN
		UNDERGROUND ELECTRIC
		WATER MAIN
		MAIL BOX
		HIGHWAY GUARD (TYPE NOTED)
		FENCE (SIZE AND TYPE NOTED)
		EASEMENT LINE
		PROPERTY LINE
		100 FT BUFFER ZONE
		BASE OR SURVEY LINE
		CONSTRUCTION BASELINE
		WHEELCHAIR RAMP (WCR)
		CONCRETE SIDEWALK
		HAND CORE
		SILT SOCK
		WETLAND

**SURVEY**

	WETLAND DELINEATION FLAG
	CONCRETE BOUND
	STONE BOUND
	DRILL HOLE
	MASONRY NAIL
	IRON PIPE
	IRON ROD
	FOUND
	NOT FOUND
	ASSESSORS MAP AND PARCEL

**GENERAL NOTES**

- THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS. ANY PROPOSED REVISIONS TO THE WORK SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND REGULATING CITY AND/OR STATE AGENCIES.
- THE CONTRACTOR SHALL INSTALL ALL SYSTEM COMPONENTS IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND ALL APPLICABLE ELECTRICAL, PLUMBING, AND SANITARY CODES.
- ALL WORK SHALL CONFORM TO: THE SALISBURY PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, THE WETLANDS PROTECTION ACT (310 CMR 10.00), THE ORDER OF CONDITIONS ISSUED BY THE SALISBURY CONSERVATION COMMISSION, TOWN OF SALISBURY ZONING CODE, CHAPTER 300. ZONING; ARTICLE III. USE REGULATIONS; ARTICLE IV. DIMENSIONAL REGULATIONS; TABLE C-4 OFF STREET PARKING STANDARDS; ARTICLE XVII. SITE PLAN REVIEW; CHAPTER 465. PLANNING BOARD, §465 10-13; AND PLANNING BOARD RULES AND REGULATIONS, III. SITE PLAN REVIEW.
- THE LOCATION OF ALL UTILITIES, AS SHOWN ON THESE PLANS, ARE BASED UPON PLANS AND RECORD INFORMATION PROVIDED BY MUNICIPAL AND PRIVATE UTILITY COMPANIES AND ARE CONSIDERED APPROXIMATE BOTH AS TO SIZE AND LOCATION. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UTILITIES ARE SHOWN. THE CONTRACTOR SHALL NOT RELY ON THESE PLANS FOR SUCH INFORMATION AND WILL MAKE EXAMINATIONS IN THE FIELD BY VARIOUS AVAILABLE RECORDS, UTILITY COMPANIES AND INDIVIDUALS, AS TO THE LOCATION OF ALL SUBSURFACE STRUCTURES.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES BY CONTACTING "DIG-SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION. DIG-SAFE TELEPHONE NUMBER: 1-888-344-7233.
- THE CONTRACTOR SHALL FIELD CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE NEW WORK. HE/SHE SHALL EXCAVATE TO VERIFY PERTINENT DRAINAGE INVERTS AND POTENTIAL UTILITY CONFLICTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
- ALL EXISTING STRUCTURES AND SURFACES, UNLESS OTHERWISE SHOWN, SHALL BE COMPLETELY REMOVED FROM THE AREAS OF WORK. ALL TREES SCHEDULED FOR REMOVAL SHALL BE FIELD MARKED AND APPROVED FOR REMOVAL BY THE OWNER. TOWN APPROVAL IS REQUIRED PRIOR TO TREE REMOVAL OR CUTTING OPERATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF THE PUBLIC, EMPLOYEES, AND ALL OTHER PERSONS ASSOCIATED WITH THE PROJECT. HE/SHE SHALL COORDINATE AND BE RESPONSIBLE FOR ALL SAFETY SIGNING, BARRIERS AND TEMPORARY PAVEMENT MARKINGS NECESSARY TO PROVIDE A SMOOTH AND PROPER TRANSITION FOR TRAFFIC FLOW.
- IF REQUIRED BY THE CONTRACTOR, OVERHEAD LINES SHALL BE RELOCATED BY THE UTILITY COMPANY AT THE CONTRACTORS EXPENSE.
- ALL SEWER MAINS AND SERVICES SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY OR 18 INCHES VERTICALLY FROM PROPOSED WATER MAINS AND SERVICES AND SHALL MAINTAIN 5 FEET OF COVER OVER THE TOP OF THE PIPING, UNLESS OTHERWISE SHOWN OR APPROVED. PIPES SHALL BE ENCASED IN CONCRETE WHERE THIS SEPARATION CANNOT BE OBTAINED.
- ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 5 FEET OF COVER OVER THE TOP OF THE PIPE, UNLESS OTHERWISE SHOWN OR APPROVED.
- WHENEVER SEWER MAINS MUST CROSS WATER MAINS, THE SEWER SHALL BE CONSTRUCTED AS FOLLOWS; A) JOINTS SHALL BE MECHANICAL TYPE WATER PRESSURE RATED WITH ZERO LEAKAGE WHEN TESTED AT 25 PSI FOR GRAVITY SEWERS AND 1.5 TIMES WORKING PRESSURE FOR FORCE MAINS AND JOINTS NOT TO BE LOCATED WITHIN 9 FEET OF THE CROSSING; B) SEWER SERVICES SHOULD BE INSTALLED A MINIMUM OF 18 INCHES BELOW WATER MAINS. IF SEPARATION IS LESS THAN 18 INCHES, SEWER SERVICE SHALL BE CONCRETE ENCASED OR CONSTRUCTED WITH PRESSURE CLASS PVC FOR A DISTANCE OF 10 FEET EACH SIDE OF THE WATER MAIN. 10-FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE SHALL BE MAINTAINED.
- INDIVIDUAL BUILDING OWNERS ARE RESPONSIBLE FOR MAINTENANCE OF THEIR SEWER SERVICE FROM THE BUILDING TO THE CONNECTION TO THE SEWER MAIN.
- ALL SIGNS AND PAVEMENT MARKINGS TO BE INSTALLED WITHIN THE PROJECT SITE SHALL CONFORM TO THE APPLICABLE SPECIFICATIONS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- 14 DAYS PRIOR TO COMMENCING CONSTRUCTION, THE OWNER/DEVELOPER SHALL PRESENT A CONSTRUCTION SCHEDULE TO THE PLANNING DEPARTMENT.
- THE OWNER/DEVELOPER SHALL SUBMIT TWO HARD COPIES OF AS-BUILT DRAWINGS TO THE PLANNING BOARD PRIOR TO FINAL OCCUPANCY. AS BUILTS SHALL INCLUDE ALL LANDBASE AND UTILITIES INFORMATION.
- ONSITE BURIAL OF STUMPS OR ANY OTHER DEBRIS IS PROHIBITED.
- ALL ELEVATIONS ARE BASED ON N.A.V.D. 1988.

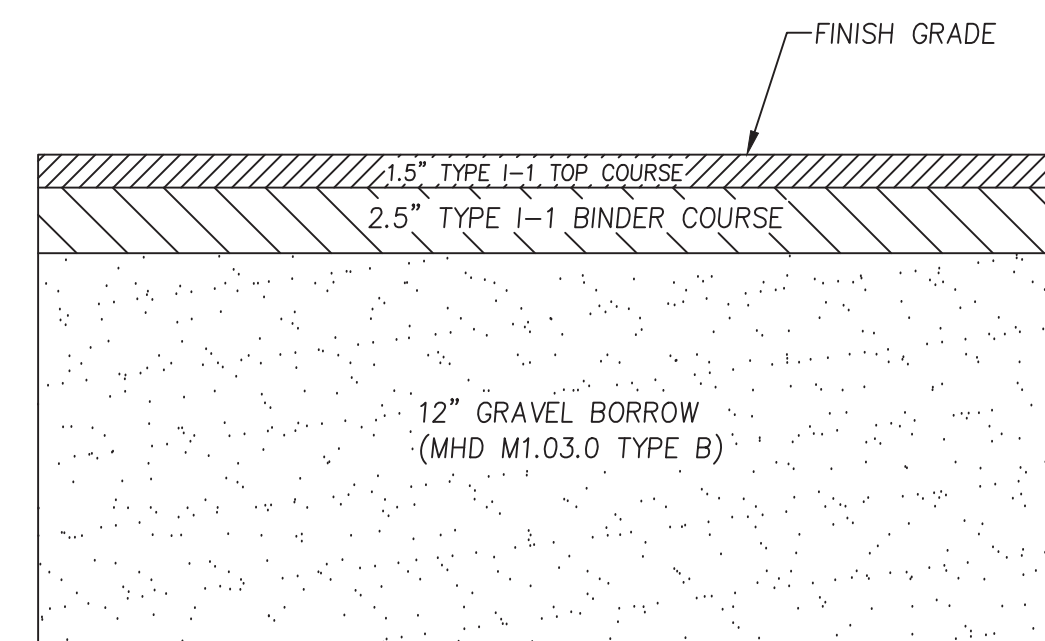
**PAVEMENT NOTES**

- ALL STUMPS, ROCKS AND LEDGE WITHIN THE LIMITS OF THE PROPOSED PAVED WAY SHALL BE REMOVED. ALL LEDGE SHALL BE REMOVED TO A MINIMUM DEPTH OF 2' BELOW FINISHED PAVEMENT GRADE.
- PAVEMENT SHALL NOT BE CONSTRUCTED DURING FREEZING WEATHER OR ON WET OR FROZEN SUBGRADE.
- GRADING AND ROLLING SHALL BE REQUIRED TO PROVIDE A SMOOTH, EVEN, AND UNIFORM COMPACTED BASE WHICH IS COMPACTED TO A MINIMUM DRY DENSITY OF 95 PERCENT.
- ALL UNSUITABLE MATERIAL SHALL BE EXCAVATED AND REPLACED WITH SATISFACTORY MATERIAL AND BROUGHT UP TO GRADE WITH GRAVEL BORROW CONTAINING NO STONES GREATER THAN 6" DIAMETER.
- AT ALL TIMES DURING CONSTRUCTION, THE SUB-GRADE AND ALL DITCHES SHALL BE CONSTRUCTED AND MAINTAINED SO THAT THE TRACK WILL EFFECTIVELY BE DRAINED.
- THE CONTRACTOR SHALL REFER TO THE SALISBURY PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, SECTIONS I - VII.

**MATERIAL NOTES**

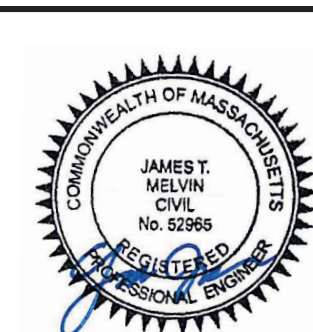
ALL MATERIALS OF THE ELEMENTS IN THE SITE PLAN MUST CONFORM TO THE FOLLOWING STANDARDS:

- COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES (LATEST EDITION)
- 521 CMR RULES AND REGULATIONS OF THE ARCHITECTURAL ACCESS BOARD (AAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA)
- SPECIFICATIONS BY THE TOWN OF SALISBURY AS SET FORTH BY SECTION 7 DESIGN STANDARDS IN THE PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, DATED NOVEMBER 1, 2013
- UTILITIES INSTALLED PER TOWN OF SALISBURY WATER DIVISION CONSTRUCTION DETAILS



**PAVEMENT  
DETAIL**

N.T.S.



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**SITE PLAN  
IN  
SALISBURY, MA**  
AT  
**82 LAFAYETTE ROAD**

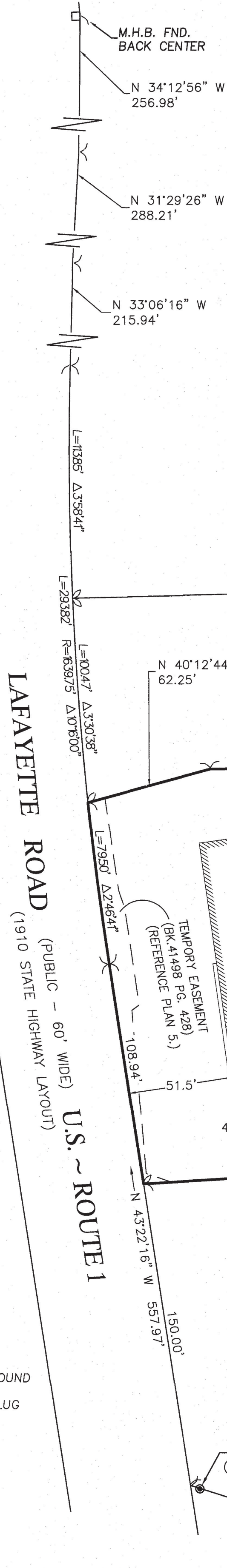
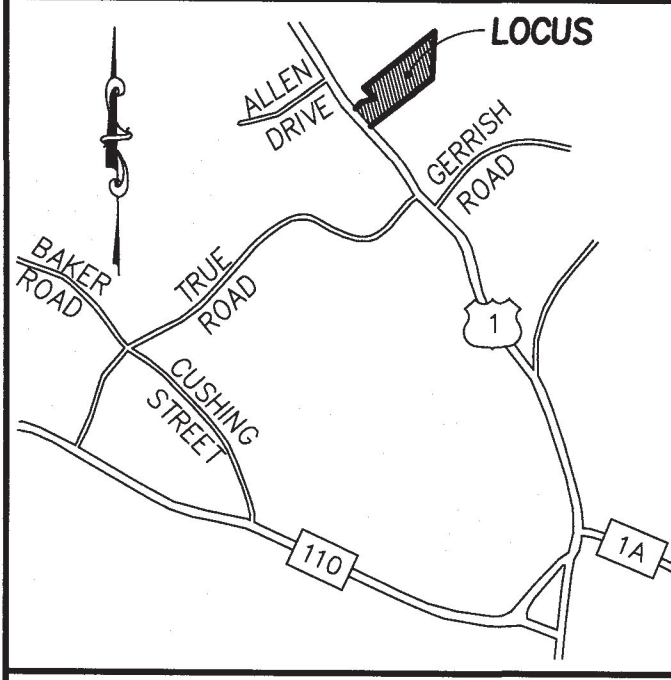
**GENERAL  
NOTES  
&  
LEGEND**

SHEET: C-2

NO.	DATE	DESCRIPTION	BY

SCALE: AS NOTED	CALC. BY: S.R.C.	PROJECT: M234259
DATE: MAY 2, 2024	CHKD. BY: J.T.M.	





- ### KEY REFERENCE DEEDS
- BOOK 34033 PAGE 33 FLORAMO TO 82 LAFAYETTE ROAD DEVELOPMENT, LLC DATED 5/5/15 RECORDED SOUTH ESSEX REGISTRY OF DEEDS.
  - BOOK 2403 PAGE 434 TRUE ET AL TO NEW ENGLAND TEL & TEL. CO. DATED 12/11/18 RECORDED SOUTH ESSEX REGISTRY OF DEEDS.
  - BOOK 5686 PAGE 640 DOW TO MACKINNON DATED 5/20/70 RECORDED SOUTH ESSEX REGISTRY OF DEEDS.
  - BOOK 5807 PAGE 453 MACKINNON TO SGRO DATED 10/1/71 RECORDED SOUTH ESSEX REGISTRY OF DEEDS.
  - BOOK 6964 PAGE 449 MACKINNON TO FOURNIER DATED 8/6/82 RECORDED SOUTH ESSEX REGISTRY OF DEEDS.
  - BOOK 12970 PAGE 272 MACKINNON TO MACKINNON DATED 3/31/95 RECORDED SOUTH ESSEX REGISTRY OF DEEDS.

- ### KEY REFERENCE PLANS
- PLAN OF LAND SURVEYED FOR C.O. MACKINNON JR. PREPARED BY CARROL H KNOWLES & PHILLIP A. BEVELAQUA DATED SEPT. 1970 RECORDED SOUTH ESSEX REGISTRY OF DEEDS PLAN 516 OF 1971.
  - PLAN OF LAND OWNER ELIZABETH M. JANVRIN PREPARED BY PORT ENGINEERING ASSOC. INC. DATED 10/22/79 REVISED 10/14/80 RECORDED SOUTH ESSEX REGISTRY OF DEEDS PLAN BOOK 161 PLAN 63.
  - PLAN OF LAND SURVEYED FOR C.O. MACKINNON JR. PREPARED BY SALISBURY LAND SURVEYORS AND CIVIL ENGINEERS INC. DATED MAY 1982 RECORDED SOUTH ESSEX REGISTRY OF DEEDS PLAN 118 OF 1982.
  - PLAN OF LAND SURVEYED FOR CHARLES MACKINNON PREPARED BY SALISBURY LAND SURVEYORS AND CIVIL ENGINEERS, INC. DATED NOVEMBER 12, 1993 RECORDED SOUTH ESSEX REGISTRY OF DEEDS PLAN BOOK 297 PLAN 92.
  - SALISBURY - 2023 ALTERATION - SHEET 8 OF 30 SHEETS PROJECT FILE NO. 602202, LAYOUT NO. 8926 DATED JAN. 1, 2023 RECORDED SOUTH ESSEX REGISTRY OF DEEDS BK 41498 PG.505.
  - 1910 STATE HIGHWAY LAYOUT.
  - MASSACHUSETTS DEPARTMENT OF TRANSPORTATION PLAN OF TOPOGRAPHIC SURVEY OF BORDER TO BOSTON TRAIL PREPARED BY GREENMAN INTERNATIONAL AFFILIATES, INC. DATED DECEMBER 14, 2017, NOT RECORDED.

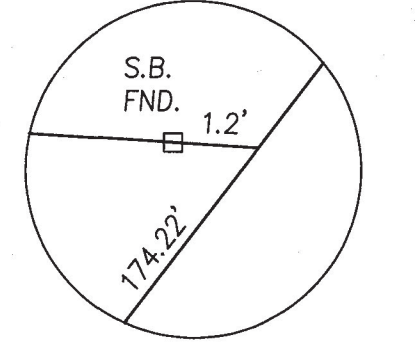
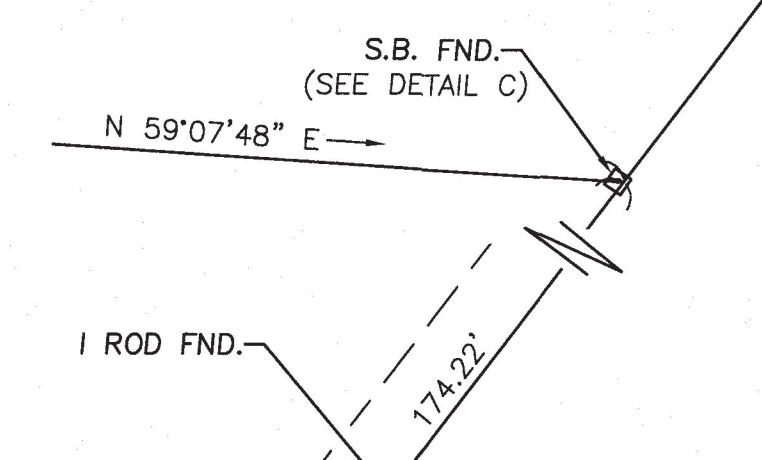
- ### NOTES
- ORIENTATION IS TO MASS MAINLAND SPC NAD 1983 BASED ON MULTIPLE GSSN RTK OBSERVATIONS.
  - STATUS OF RIGHT OF WAYS SHOWN AS PUBLIC OR PRIVATE ARE BASED ON REFERENCED DEEDS AND PLANS. NO WARRANTY IS EXPRESSED OR IMPLIED.
  - THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO ESTABLISH THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES WHETHER EXPRESSED, IMPLIED OR PRESCRIPTIVE.

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

PRESTON BROWN DATE

22  
64  
N/F  
BOURBEAU WAYNE F  
88 LAFAYETTE ROAD  
SALISBURY, MA. 01952  
(REFERENCE PLAN 2.)

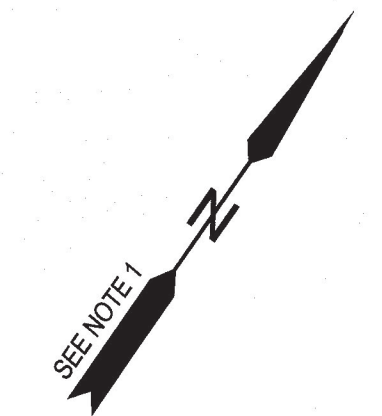
MAP 22 LOT 15  
AREA=195,684 S.F.  
4.4923 ACRES



DETAIL C  
NOT TO SCALE

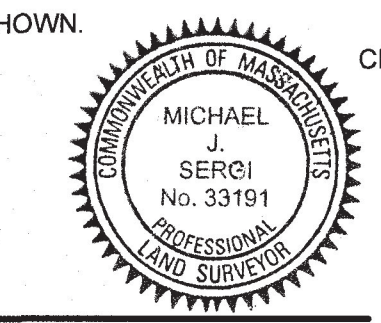
22  
124  
N/F  
WALDOT REALTY, LLC  
86 LAFAYETTE ROAD  
SALISBURY, MA. 01952  
(REFERENCE PLAN 3.)

23  
91  
N/F  
COMMONWEALTH OF MASSACHUSETTS  
(OFF) LAFAYETTE ROAD  
SALISBURY, MA. 01952  
(REFERENCE PLAN 7.)



I CERTIFY THAT THE PROPERTY LINES SHOWN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIPS OR FOR NEW WAYS ARE SHOWN.

CHAPTER 41 SECTION 81X



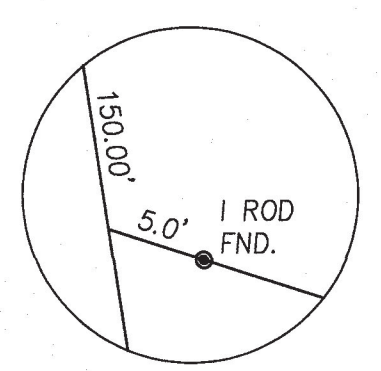
MICHAEL J. SERGI P.L.S.

5/2/24  
DATE

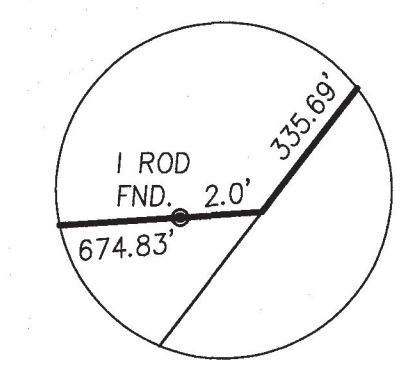
THE CERTIFICATION SHOWN ABOVE IS INTENDED TO MEET REGISTRATION REQUIREMENTS AND IS NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERSHIP OF ADJOINING PROPERTIES ARE ACCORDING TO ASSESSOR'S RECORDS.

### LEGEND

- S.H.L.O. STATE HIGHWAY LAYOUT
- M.H.B. MASSACHUSETTS HIGHWAY BOUND
- S.B. STONE BOUND
- E.P.L.P. ESCUTCHEON PIN IN LEAD PLUG
- D.H. DRILL HOLE
- MASONRY NAIL
- PK IRON PIPE
- I.P. IRON ROD
- I ROD IRON ROD
- FND. FOUND
- N/F NOW OR FORMERLY
- ASSESSORS MAP#
- PARCEL#



DETAIL A  
NOT TO SCALE

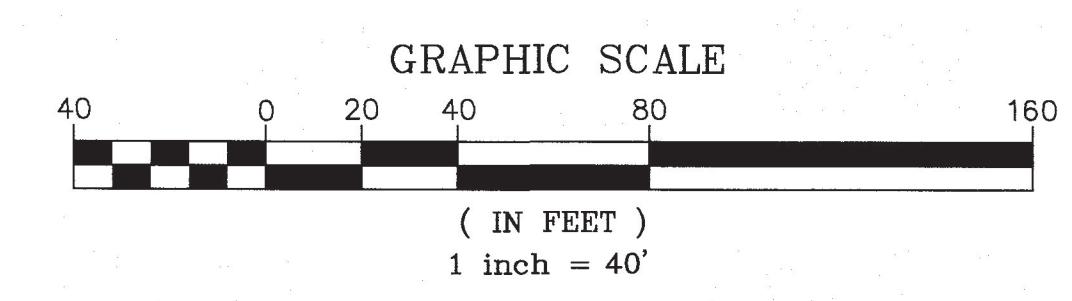


DETAIL B  
NOT TO SCALE

22  
131  
N/F  
ROBINSON, LISA  
78 LAFAYETTE ROAD  
SALISBURY, MA. 01952  
(REFERENCE PLAN 4.)

### ASSESSOR REFERENCE

SALISBURY ASSESSOR'S MAP 22 LOT 15.



PREPARED FOR  
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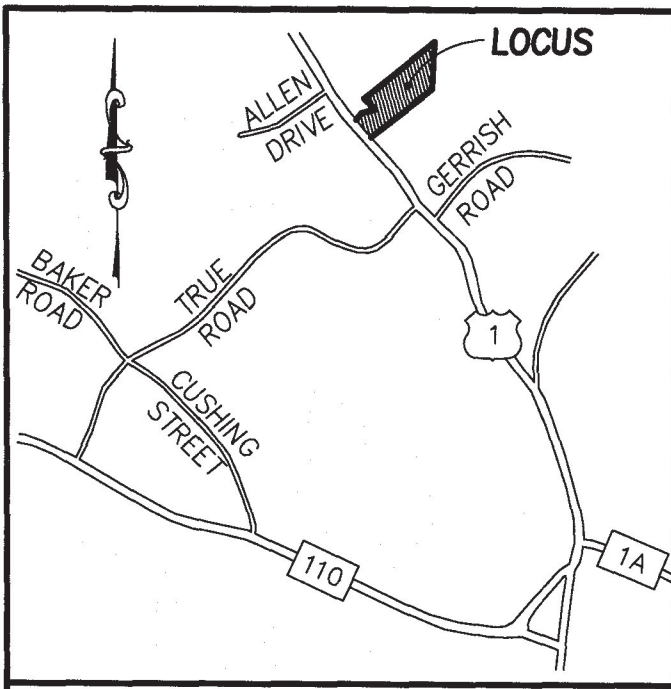
**BOUNDARY**

SHEET: C-3

NO.	DATE	DESCRIPTION	BY

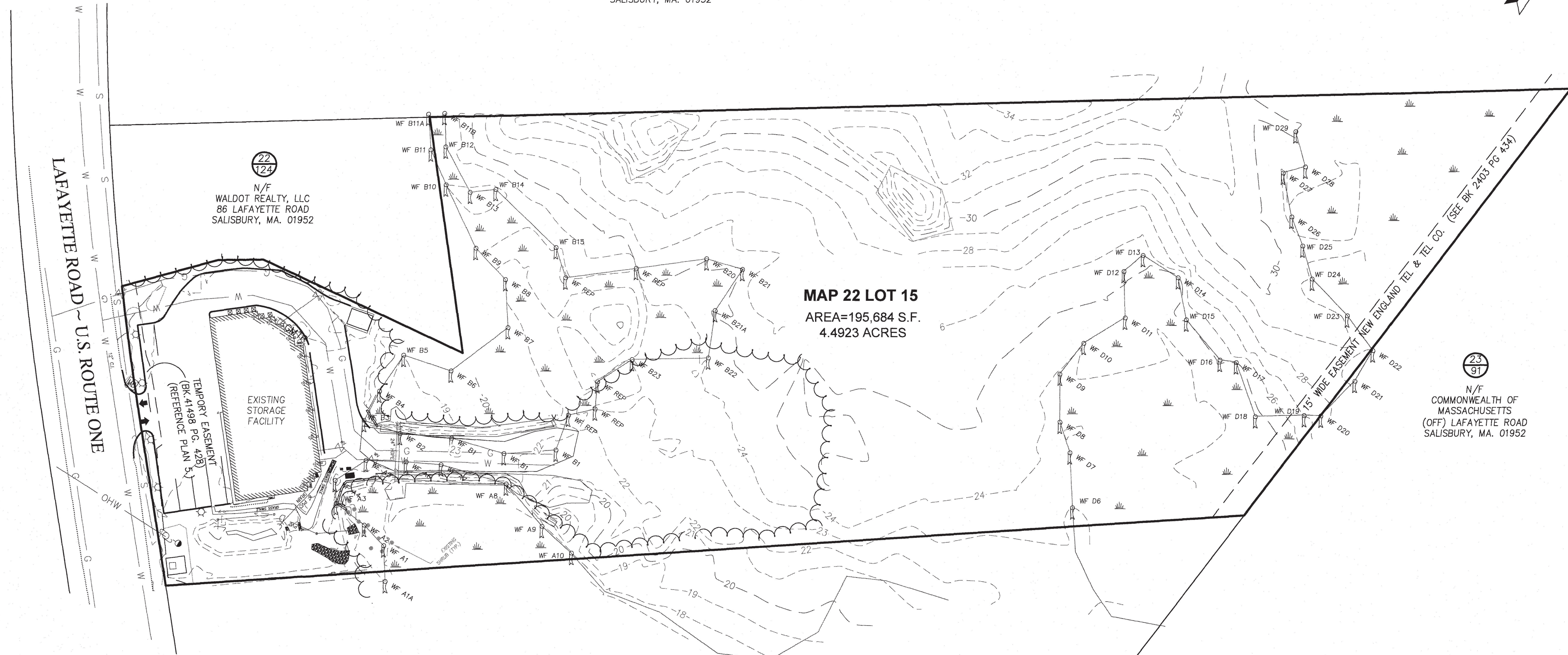
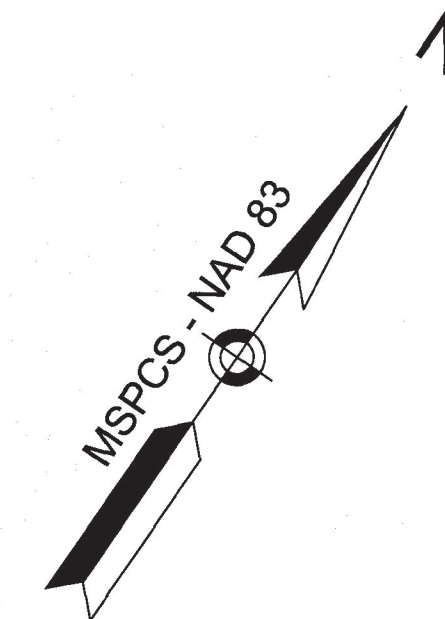
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22  
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N/F  
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WALDOT REALTY, LLC  
86 LAFAYETTE ROAD  
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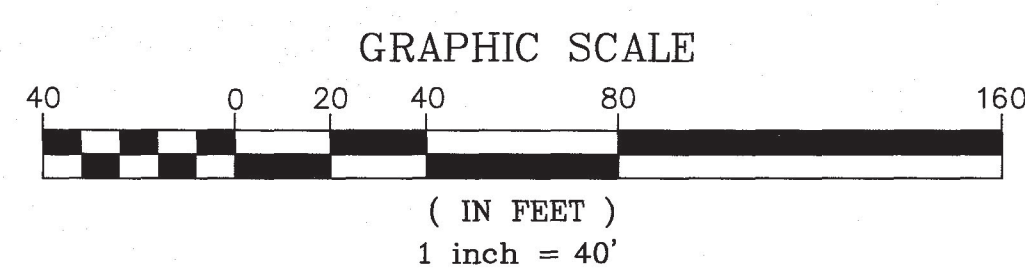
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**LEGEND**

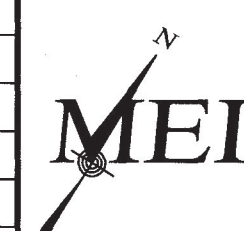
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- N/F NOW OR FORMERLY
- T.B. TELEPHONE BOX
- E.B. ELECTRIC BOX
- H.H. ELECTRIC HANDHOLE
- LP. LIGHTPOLE
- ☆ UPOLE UTILITY POLE
- D — DRAINAGE
- W — WATER
- S — SEWER
- G — GAS
- OHW — OVERHEAD WIRE
- UGT — UNDERGROUND TELEPHONE
- UGE — UNDERGROUND ELECTRIC
- SF — SILT FENCE
- 15X5 SPOT GRADE
- CB CATCH BASIN
- ⊙ DMH DRAIN MANHOLE
- ⊙ SMH SEWER MANHOLE
- ⊙ TMH TELEPHONE MANHOLE
- ⊙ EMH ELECTRIC MANHOLE
- ⊙ W WELL
- ⊙ H HYDRANT
- ⊙ G GAS VALVE
- ⊙ GS GAS SHUT OFF
- ⊙ WS WATER SHUT OFF
- ⊙ WV WATER VALVE
- ⊙ WETLAND WETLAND
- WF1-10 WETLAND FLAG AND DESIGNATION
- ○ ASSESSORS MAP#  
PARCEL#

**UNDERGROUND UTILITY NOTE**

THE ACTUAL HORIZONTAL AND VERTICAL LOCATION OF UNDERGROUND UTILITY LINES BETWEEN STRUCTURES CANNOT BE CERTIFIED TO.  
THE LOCATION OF UNDERGROUND UTILITIES SHOWN ARE BASED ON SURFACE FEATURES, OBSERVATION OF EXISTING LINES INSIDE OF MANHOLES AND CLIENT RECORDS.  
AVAILABLE RECORD INFORMATION FOR UTILITIES HAS BEEN USED TO VERIFY THE FIELD LOCATIONS AND CONNECTIONS SHOWN.  
THE ACTUAL LOCATION AND CONNECTIONS MAY VARY FROM THAT SHOWN HEREON.



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**SITE PLAN**  
IN  
**SALISBURY, MA**  
AT  
**82 LAFAYETTE ROAD**

**EXISTING CONDITIONS**

SHEET: C-4

NO.	DATE	DESCRIPTION	BY

SCALE: 1"=40'  
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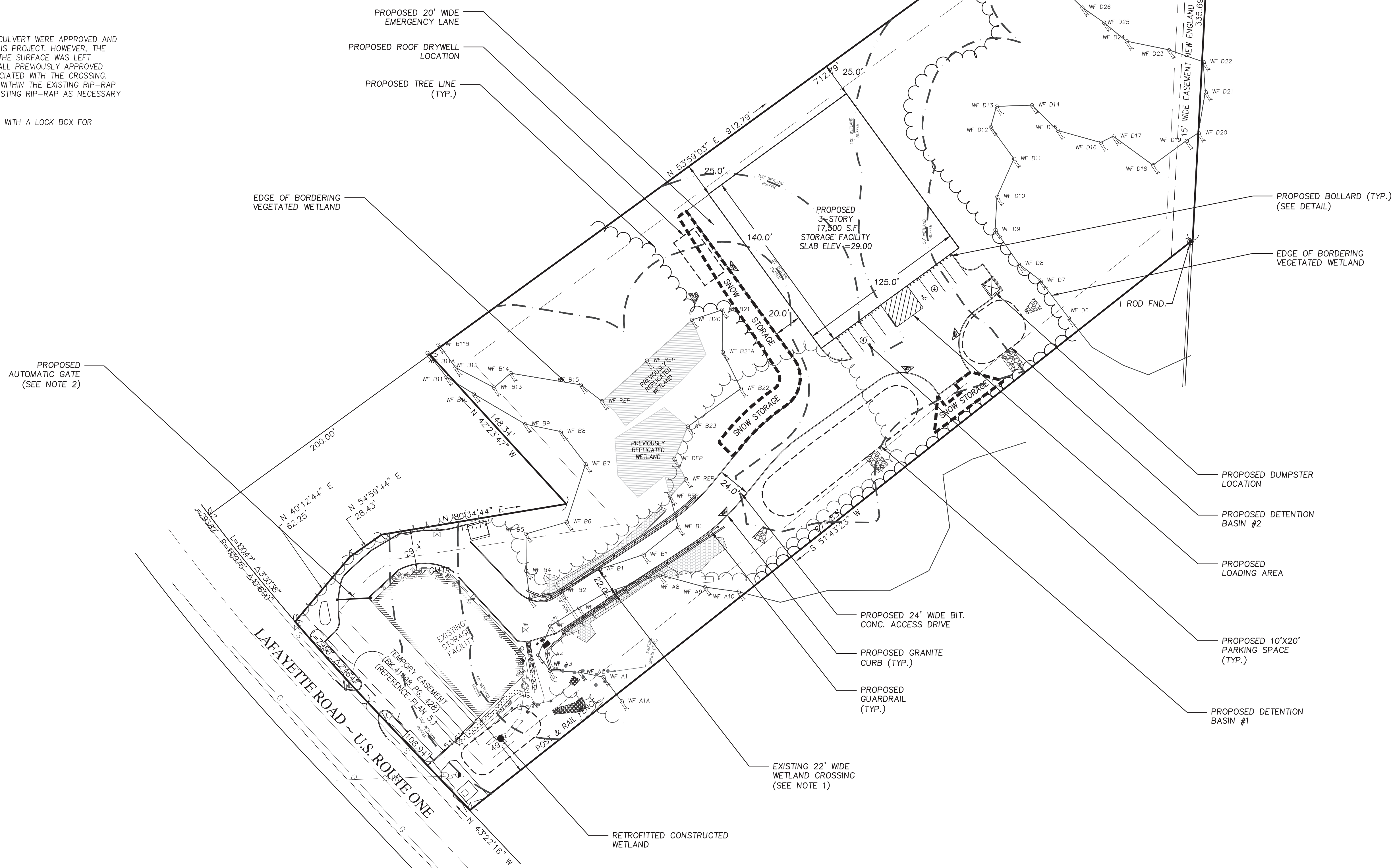
ZONING TABLE

82 LAFAYETTE ROAD - ASSESSORS MAP 22 LOT 15 ZONING DISTRICT - LAFAYETTE MAIN (LM)			
	REQUIRED	EXISTING	PROPOSED
LOT AREA:	1/2 ACRE	196,093 S.F.	196,093 S.F.
LOT FRONTAGE:	100'	188'	188'
MIN FRONT SETBACK:	30'	50'	50'
MAX FRONT SETBACK:	50'	50'	50'
SIDE SETBACK:	20'	47'	25'
REAR SETBACK:	20'	577'	171'
BLDG HEIGHT:	< 35'	< 35'	<35'

NOTES:

1.) THE 22' WIDE WETLAND CROSSING AND CULVERT WERE APPROVED AND CONSTRUCTED IN A PREVIOUS PHASE OF THIS PROJECT. HOWEVER, THE CROSSING WAS NOT FULLY COMPLETED AS THE SURFACE WAS LEFT GRAVEL. THE CONTRACTOR SHALL INSTALL ALL PREVIOUSLY APPROVED CURBING, GUARDRAIL, AND PAVEMENT ASSOCIATED WITH THE CROSSING. PROPOSED RETAINING WALLS ARE LOCATED WITHIN THE EXISTING RIP-RAP AREA. THE CONTRACTOR SHALL REMOVE EXISTING RIP-RAP AS NECESSARY TO INSTALL THE WALL.

2.) THE AUTOMATIC GATE WILL BE EQUIPPED WITH A LOCK BOX FOR EMERGENCY SERVICES TO ACCESS THE SITE.



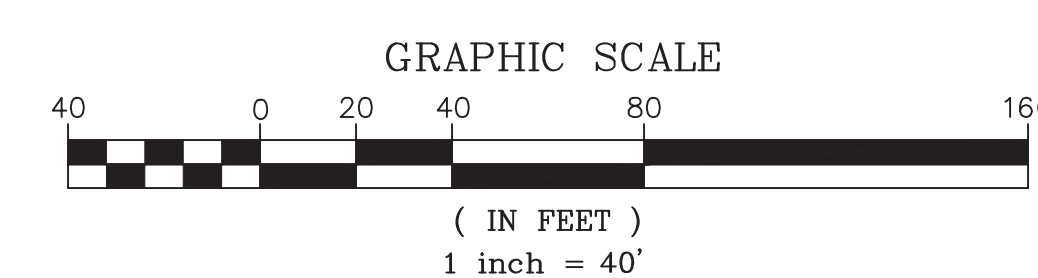
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DATE



PREPARED FOR  
**82 LAFAYETTE ROAD DEVELOPMENT, LLC**  
 12 56TH STREET  
 NEWBURYPORT, MA

**MEI** MILLENNIUM ENGINEERING, INC.  
 ENGINEERING AND LAND SURVEYING  
 62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

**SITE PLAN**  
 IN  
 SALISBURY, MA  
 AT  
**82 LAFAYETTE ROAD**

**SITE PLAN**

SHEET: C-5

NO.	DATE	DESCRIPTION	BY

SCALE: 1"=40'  
 DATE: MAY 2, 2024  
 CALC. BY: S.R.C.  
 CHKD. BY: J.T.M.  
 PROJECT: M234259



**SCHEDULE OF INVERTS**

<b>PROPOSED CB1</b> RIM=28.50 INV. =24.95	<b>PROPOSED DMH1</b> RIM=28.75 INV. IN=24.88 INV. OUT=24.78
<b>PROPOSED CB2</b> RIM=28.00 INV. =24.23	<b>PROPOSED DMH2</b> RIM=29.00 INV. IN 8" (ROOF DRAIN)=26.70 INV. OUT=26.60
<b>PROPOSED CB3</b> (CURB INLET) RIM=28.20 INV. =25.62	<b>PROPOSED CDS1</b> RIM=26.37 INV. IN =23.34 INV. IN=23.34 INV. OUT=23.24
<b>PROPOSED CB4</b> (CURB INLET) RIM=28.25 INV. =25.62	<b>PROPOSED CDS2</b> RIM=28.63 INV. IN=24.01 INV. OUT=23.91
<b>PROPOSED CB5</b> (CURB INLET) RIM=26.00 INV. =23.40	<b>PROPOSED CDS3</b> RIM=28.60 INV. IN=25.46 INV. IN=25.46 INV. OUT=25.36
<b>PROPOSED CB6</b> (CURB INLET) RIM=26.00 INV. =23.40	

SALISBURY PLANNING BOARD

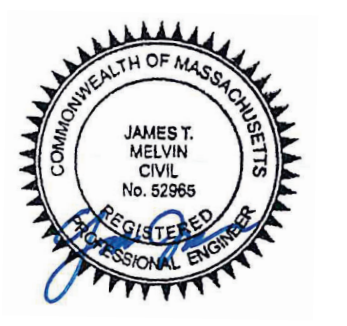
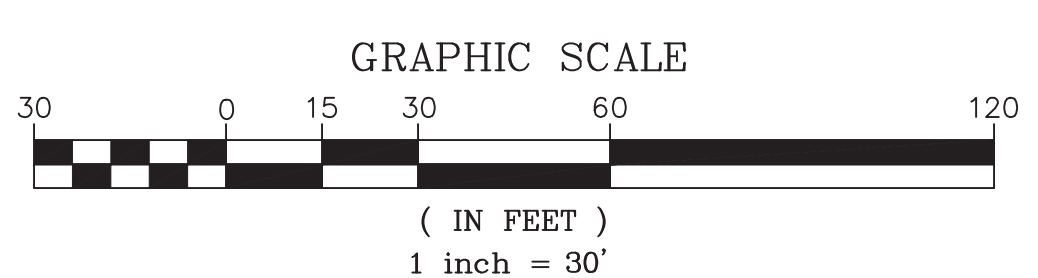
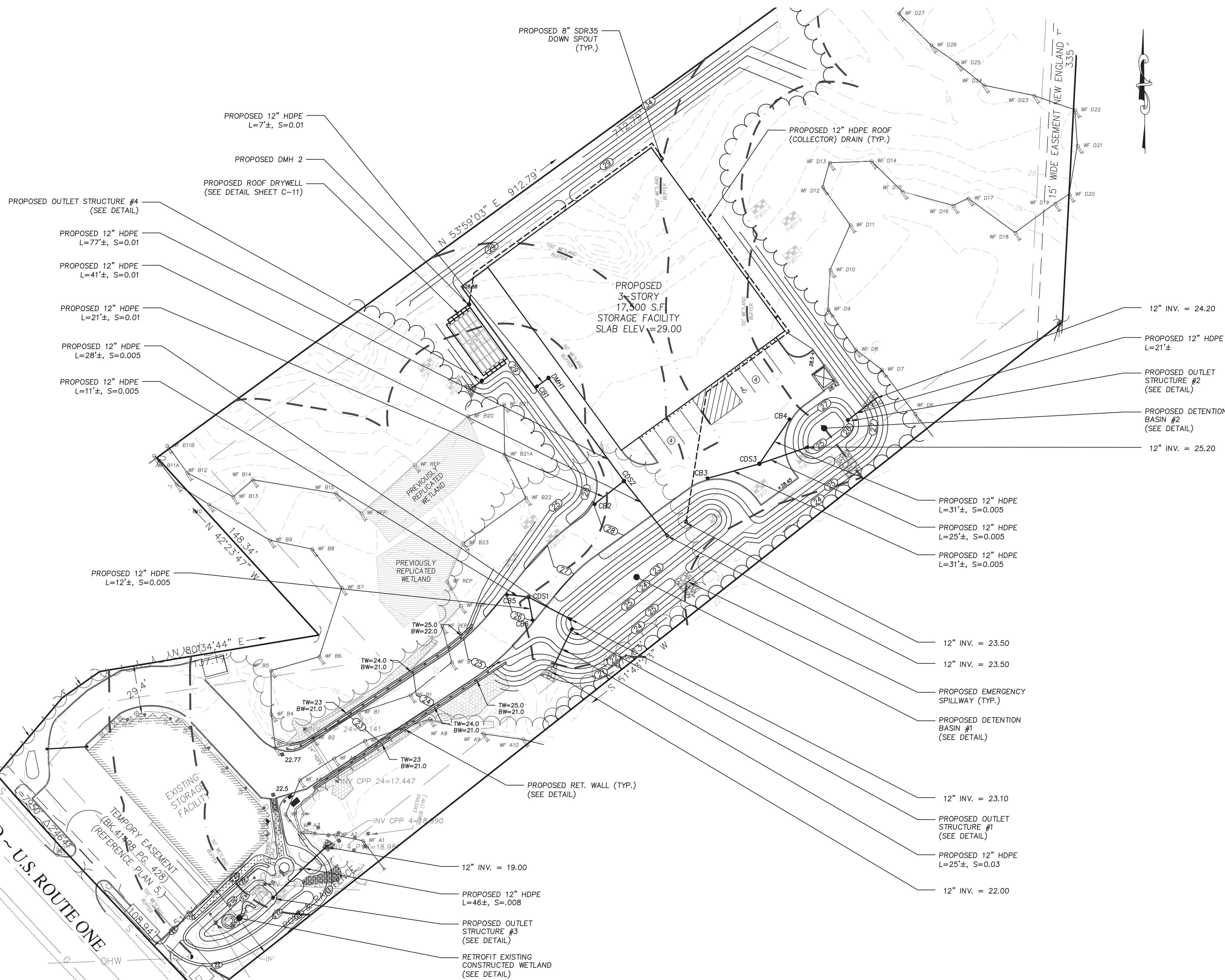
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DATE



PREPARED FOR  
**82 LAFAYETTE ROAD DEVELOPMENT, LLC**  
12 56TH STREET  
NEWBURYPORT, MA

**MEI** MILLENNIUM ENGINEERING, INC.  
ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

**SITE PLAN**  
IN  
SALISBURY, MA  
AT  
**82 LAFAYETTE ROAD**

**GRADING & DRAINAGE PLAN**

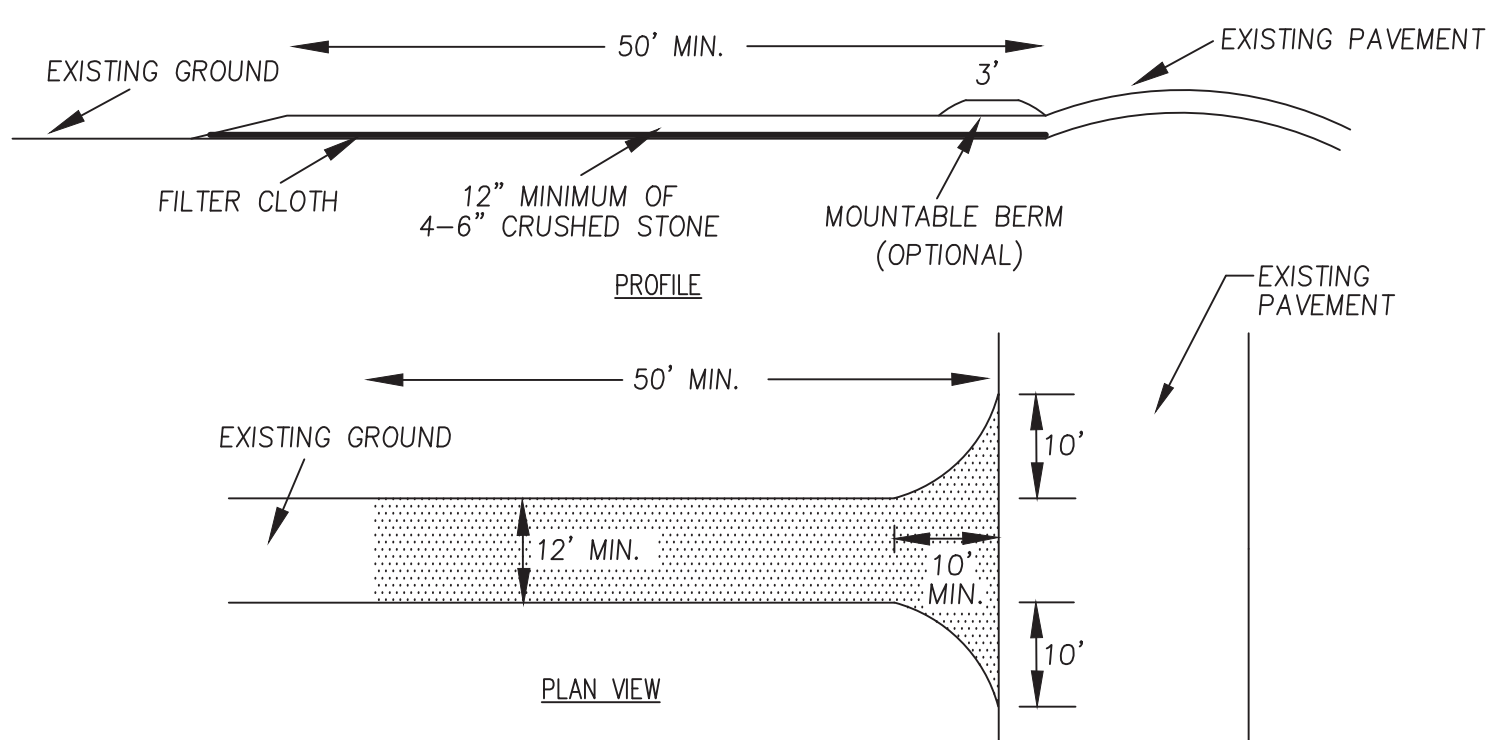
NO.	DATE	DESCRIPTION	BY

SCALE: 1"=30'  
DATE: MAY 2, 2024  
CALC. BY: S.R.C.  
CHKD. BY: J.T.M.  
PROJECT: M234259





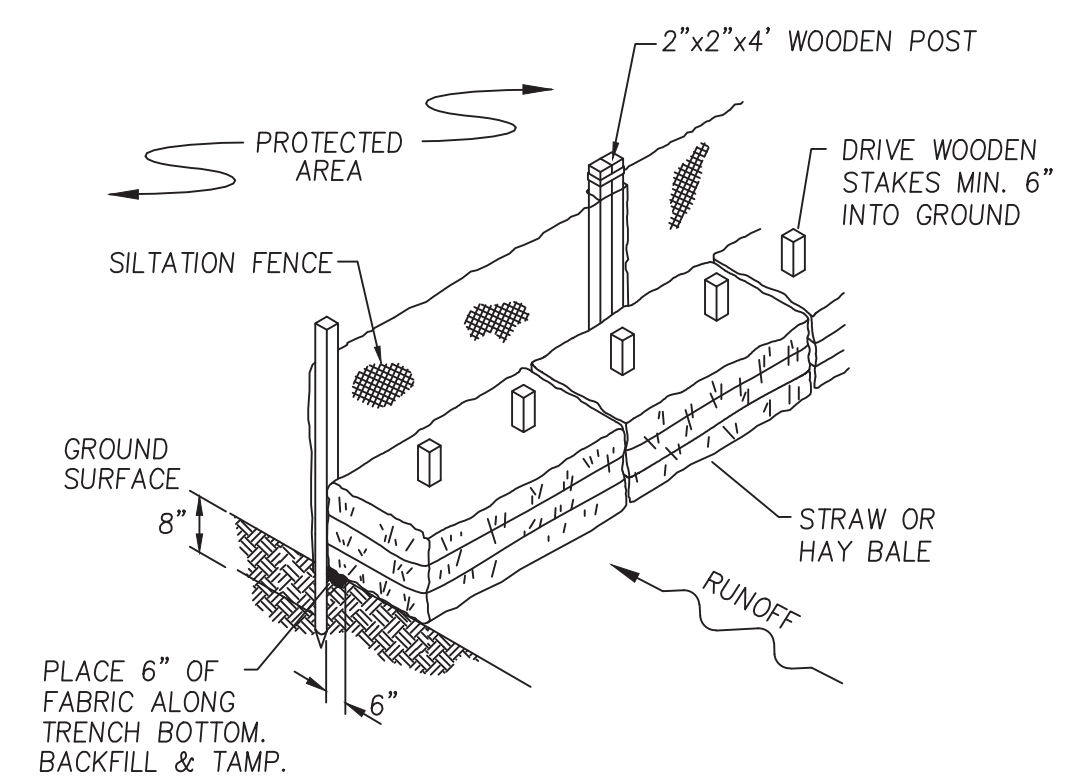




- NOTES**
- STONE SHALL BE 4-6" CRUSHED STONE OR RECLAIMED STONE.
  - THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50'.
  - THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 12".
  - GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
  - ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
  - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP-DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED PROMPTLY.
  - WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

**STABILIZED CONSTRUCTION ENTRANCE**

N.T.S.



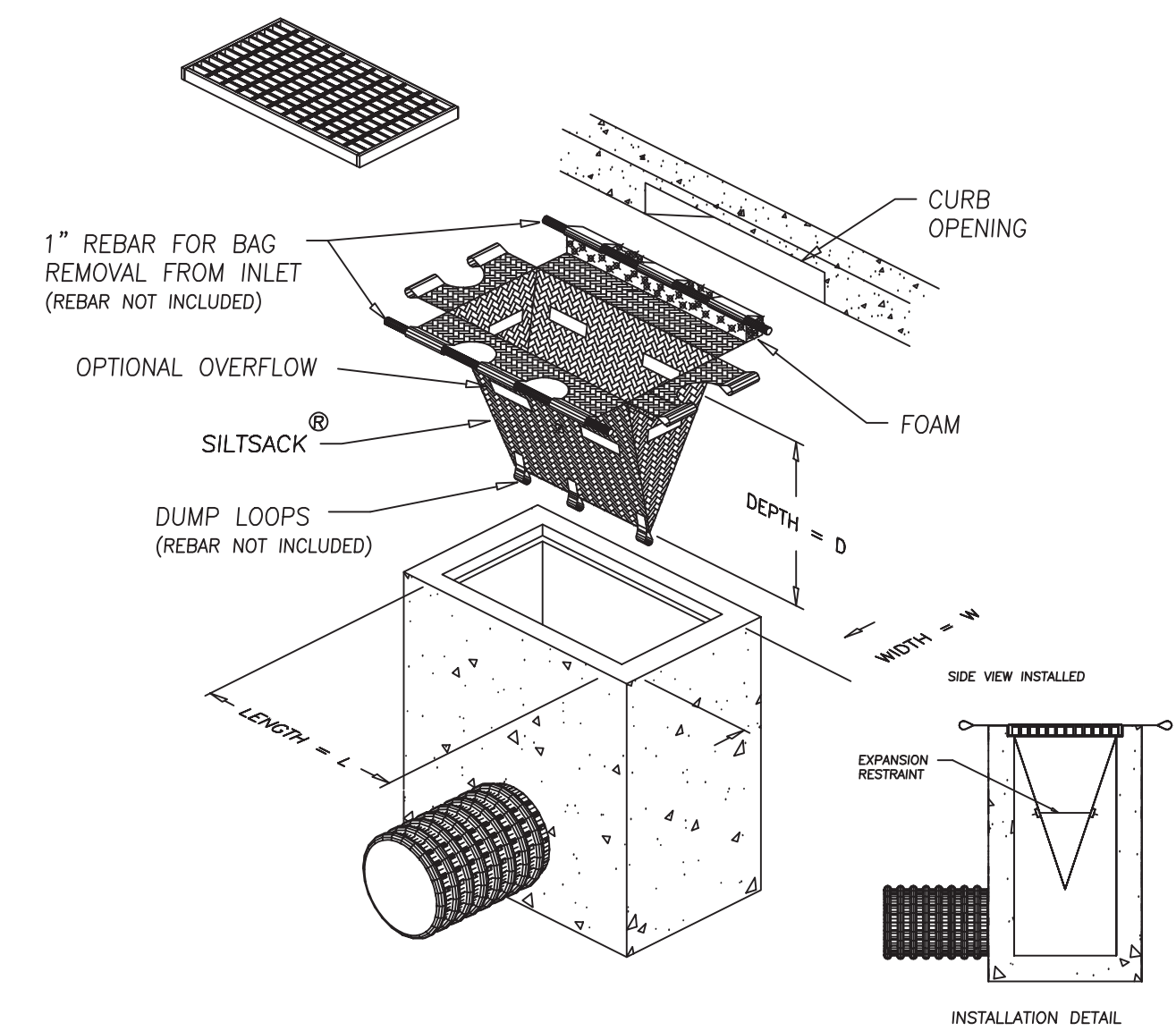
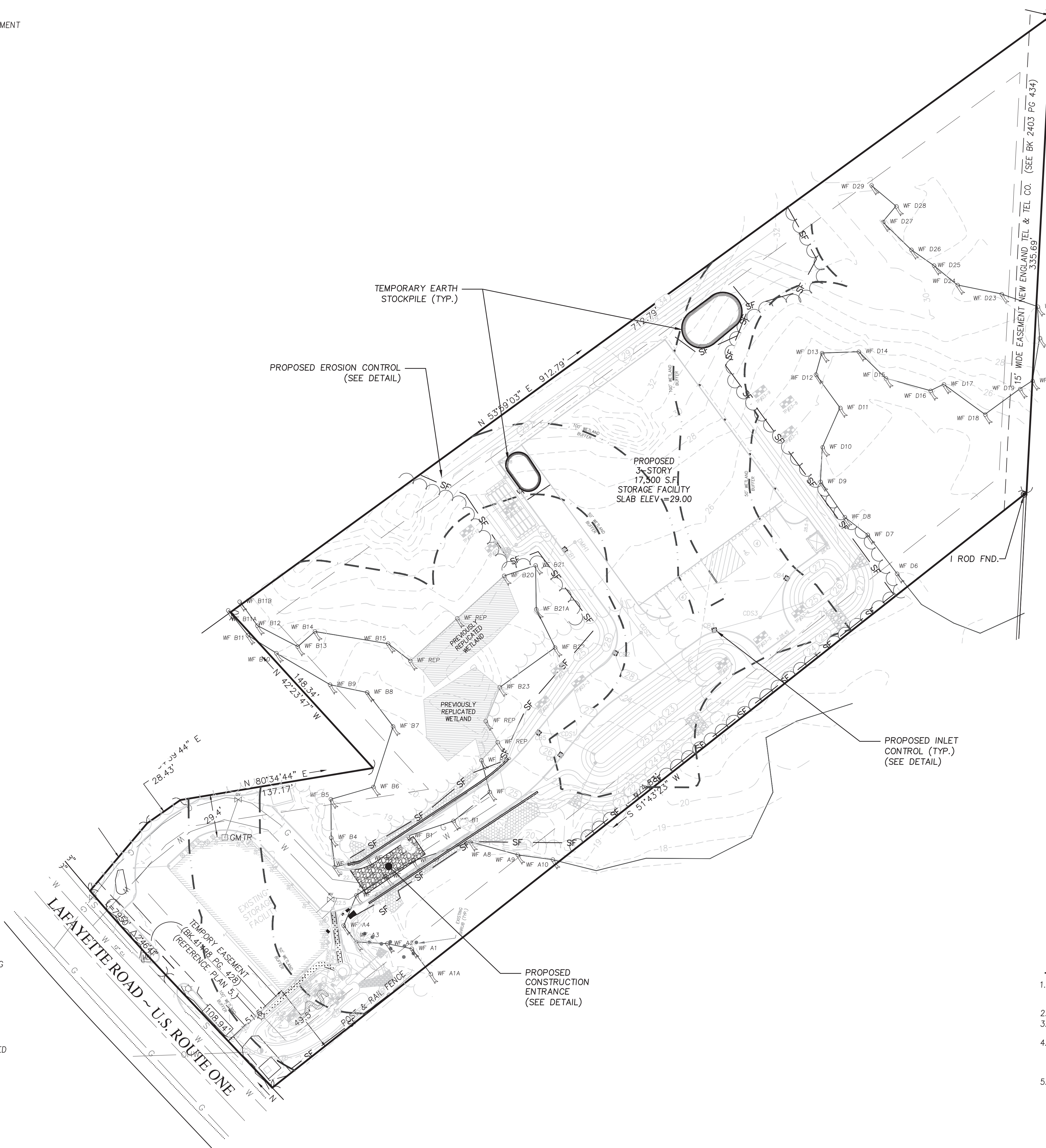
- NOTES**
- POSTS SHALL BE DOUBLED AND COUPLED AT FILTER CLOTH SEAMS.
  - FILTER CLOTH TO BE FASTENED SECURELY TO SUPPORT NETTING WITH TIES SPACED EVERY 24" AT TOP, MID SECTION, AND BOTTOM.
  - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED.
  - TUBULAR SILTATION BARRIERS (MIN. 8" DIA) MAY BE SUBSTITUTED FOR SEDIMENTATION FENCE AND HAYBALES AS SHOWN ABOVE. PAYMENT FOR TUBULAR SILTATION BARRIER WILL BE PAID AT THE CONTRACT UNIT PRICE BID FOR ITEM 697 SEDIMENTATION FENCE, ONLY.

**MAINTENANCE**

- SILT FENCE SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- IF THE FABRIC ON THE SILT FENCE SHALL DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHALL BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHALL BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.
- SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

**SEDIMENTATION FENCE/ HAYBALE INSTALLATION**

N.T.S.



- NOTES**
- TO INSTALL SILTSACK IN THE CATCH BASIN, REMOVE THE GRATE AND PLACE THE SACK IN THE OPENING. HOLD APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME. THIS IS THE AREA OF THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
  - WHEN THE RESTRAINT CORD IS NO LONGER VISIBLE, SILTSACK IS FULL AND SHOULD BE EMPTIED.
  - TO REMOVE SILTSACK, TAKE TWO PIECES OF 1" DIAMETER REBAR AND PLACE THROUGH THE LIFTING LOOPS ON EACH SIDE OF THE SACK TO FACILITATE THE LIFTING OF SILTSACK.
  - TO EMPTY SILTSACK, PLACE UNIT WHERE THE CONTENTS WILL BE COLLECTED. PLACE THE REBAR THROUGH THE LIFT STRAPS (CONNECTED TO THE BOTTOM OF THE SACK) AND LIFT. THIS WILL LIFT SILTSACK FROM THE BOTTOM AND EMPTY THE CONTENTS. CLEAN OUT AND RINSE. RETURN SILTSACK TO ITS ORIGINAL SHAPE AND PLACE BACK IN THE BASIN.
  - SILTSACK IS REUSABLE. ONCE THE CONSTRUCTION CYCLE IS COMPLETE, REMOVE SILTSACK FROM THE BASIN AND CLEAN. SILTSACK SHOULD BE STORED OUT OF SUNLIGHT UNTIL NEXT USE.

**SILT SACK DETAIL**

N.T.S.

SALISBURY PLANNING BOARD

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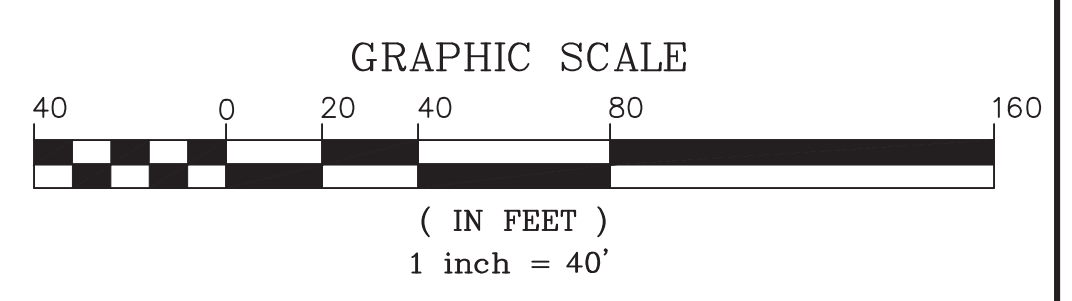


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DATE



PREPARED FOR  
**82 LAFAYETTE ROAD DEVELOPMENT, LLC**  
 12 56TH STREET  
 NEWBURYPORT, MA

**MEI** MILLENNIUM ENGINEERING, INC.  
 ENGINEERING AND LAND SURVEYING  
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 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

**SITE PLAN**  
 IN  
**SALISBURY, MA**  
 AT  
**82 LAFAYETTE ROAD**

**EROSION CONTROL PLAN**

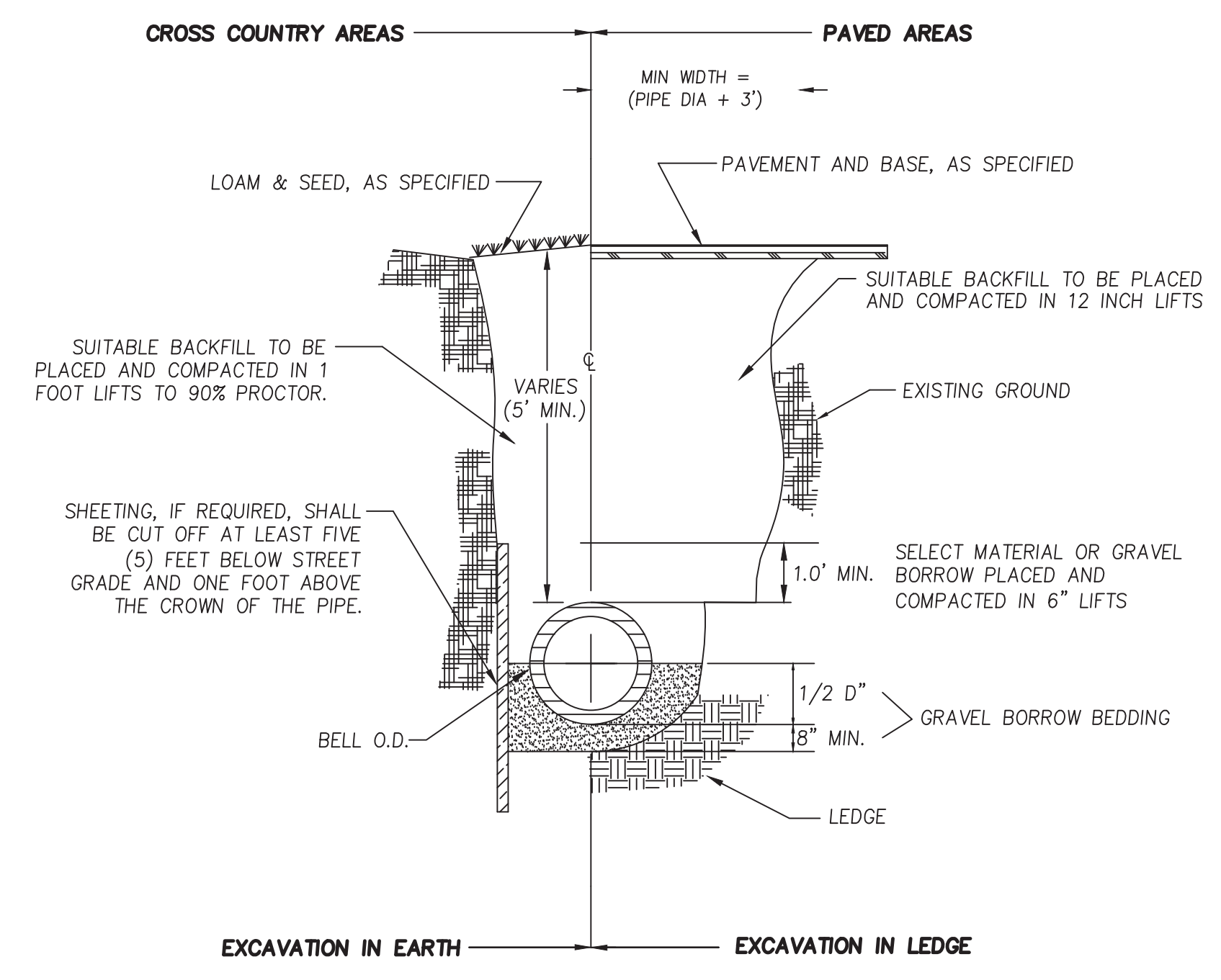
NO.	DATE	DESCRIPTION	BY

SCALE: 1"=40'      CALC. BY: S.R.C.  
 DATE: MAY 2, 2024      CHKD. BY: J.T.M.      PROJECT: M234259

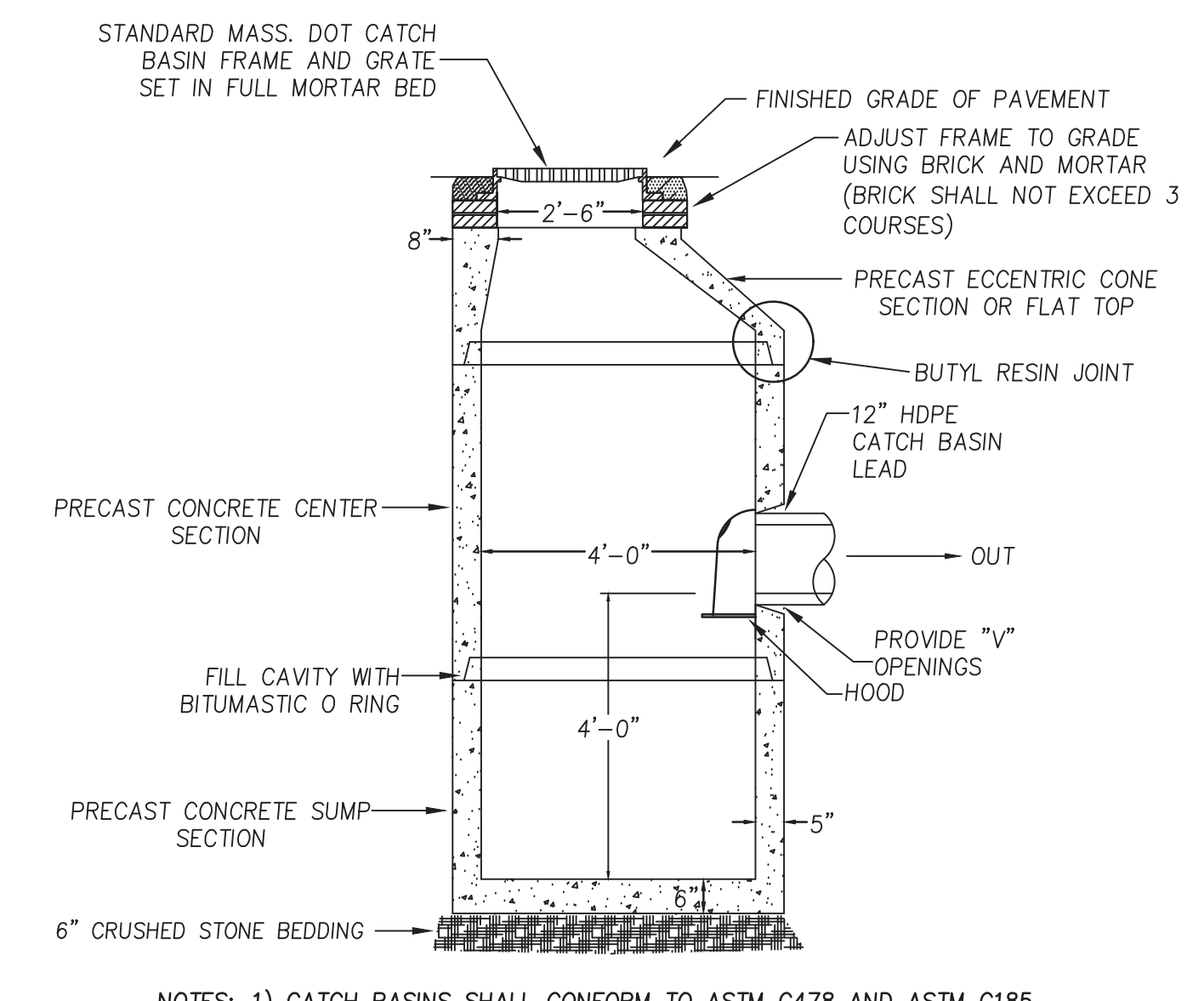






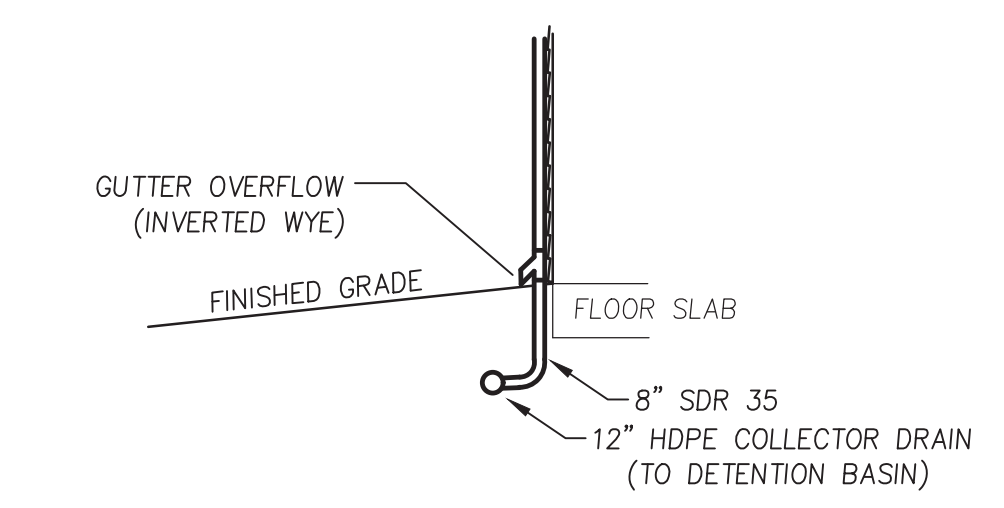


**TYPICAL TRENCH  
DETAIL** N.T.S.

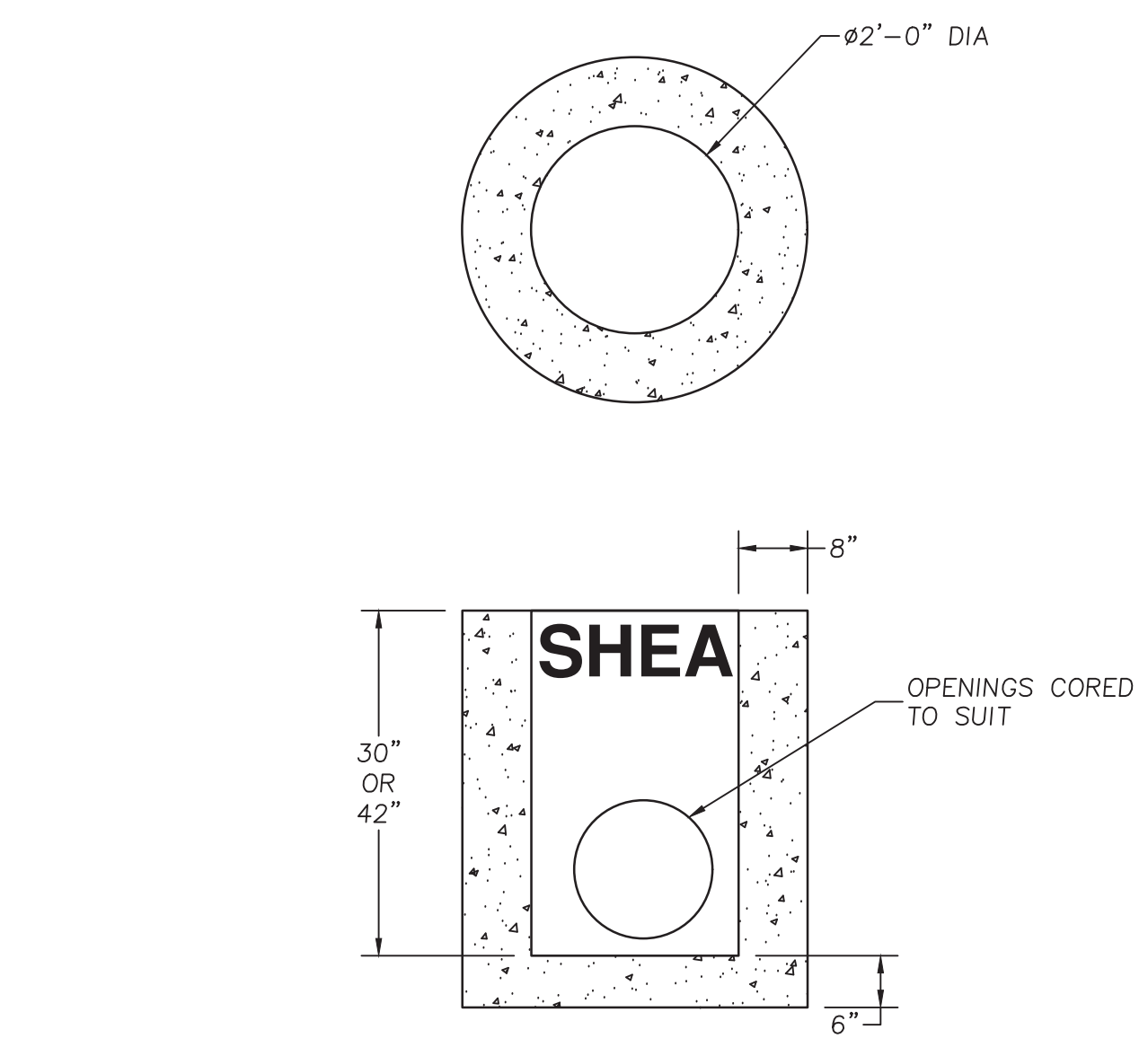


NOTES: 1) CATCH BASINS SHALL CONFORM TO ASTM C478 AND ASTM C185  
 2) FLAT TOP STRUCTURES SHALL BE PRECAST SECTIONS AND HAVE A 28 DAY COMPRESSIVE STRENGTH OF 5000 PSI REINFORCED FOR AASHTO H-20 LOADING.  
 3) CONICAL SECTIONS MAY BE SUBSTITUTED FOR FLAT-TOP STRUCTURES IN AREAS WHERE MORE THAN 4 FEET OF COVER IS PROVIDED FOR DRAIN PIPE.

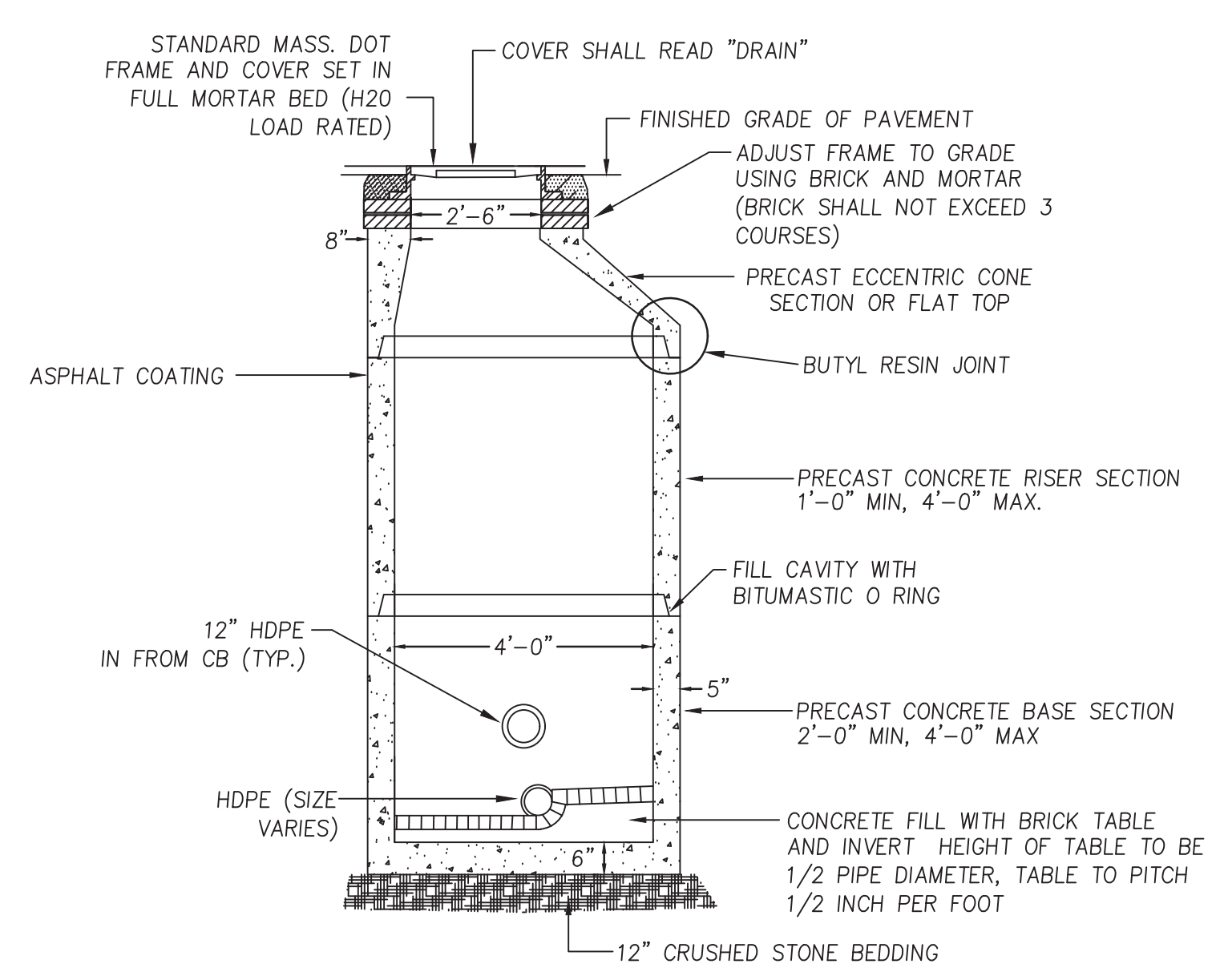
**PRECAST DEEP SUMP  
CATCH BASIN DETAIL** N.T.S.



**GUTTER DOWN  
SPOUT DETAIL** N.T.S.

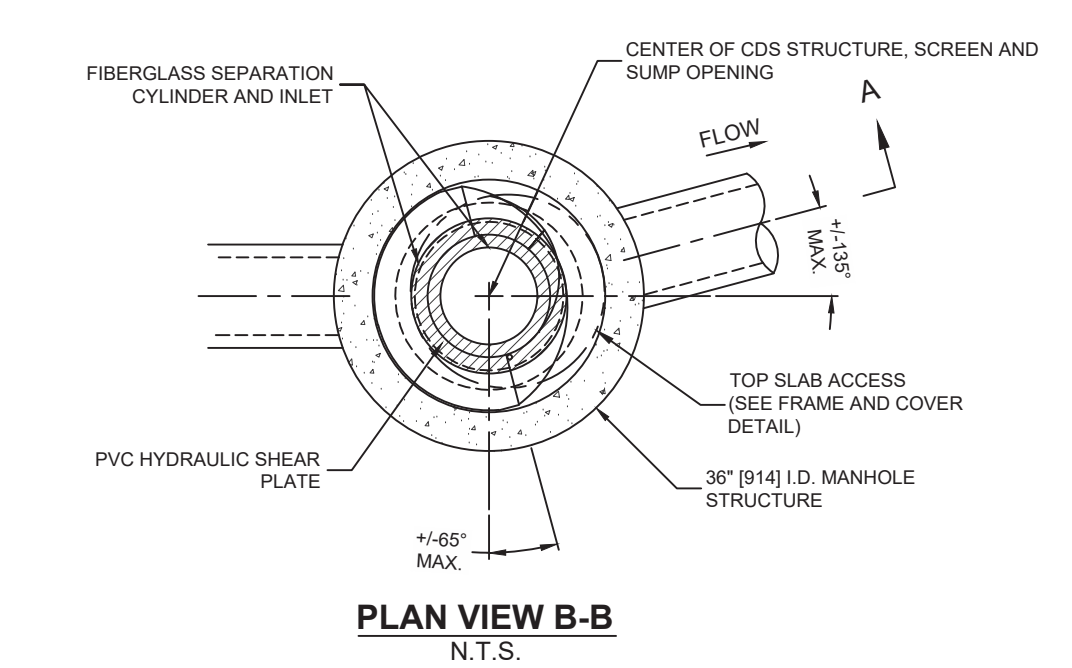


**CURB INLET  
CATCH BASIN DETAIL** N.T.S.

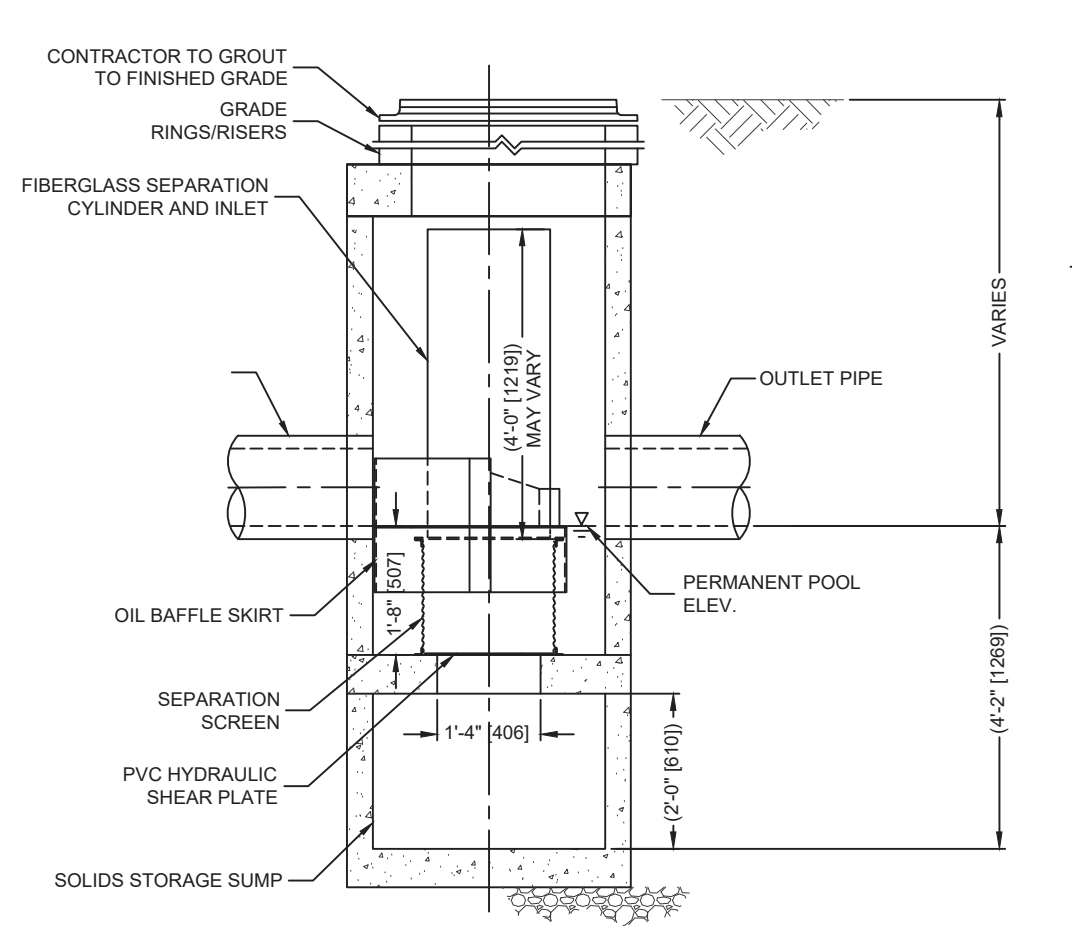


NOTES: 1) DRAIN MANHOLES SHALL CONFORM TO ASTM C478 AND ASTM C185

**PRECAST DRAIN  
MANHOLE DETAIL** N.T.S.



**PLAN VIEW B-B** N.T.S.



**ELEVATION A-A**

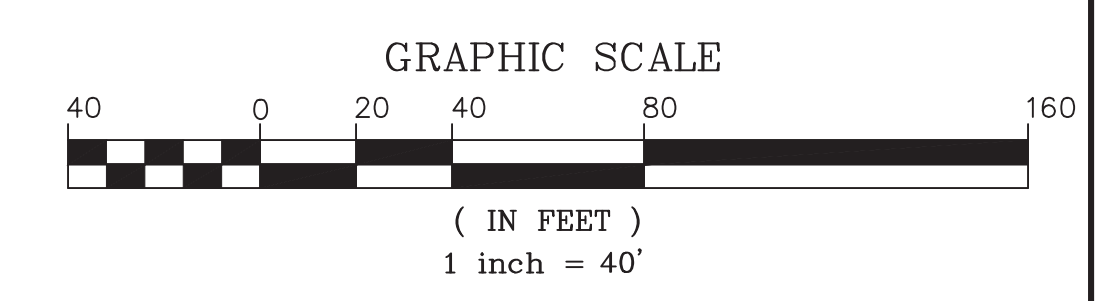
**CONTECH CDS  
DETAIL** N.T.S.



**FRAME AND COVER**  
(DIAMETER VARIES)  
N.T.S.

- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  - DIMENSIONS MARKED WITH ( ) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
  - FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH CONSTRUCTION PRODUCTS REPRESENTATIVE. [www.contech-cpi.com](http://www.contech-cpi.com)
  - CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
  - STRUCTURE SHALL MEET AASHTO HS20 AND CASTINGS SHALL MEET AASHTO M306 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
  - PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
  - CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
  - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
  - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



PREPARED FOR  
**82 LAFAYETTE ROAD  
 DEVELOPMENT, LLC**  
 12 56TH STREET  
 NEWBURYPORT, MA

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 ENGINEERING AND LAND SURVEYING  
 62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

**SITE PLAN**  
 IN  
**SALISBURY, MA**  
 AT  
**82 LAFAYETTE ROAD**

**CONSTRUCTION  
 DETAILS**  
 SHEET: C-10

NO.	DATE	DESCRIPTION	BY

SCALE: 1"=40'    CALC. BY: S.R.C.    PROJECT: M234259  
 DATE: MAY 2, 2024    CHKD. BY: J.T.M.



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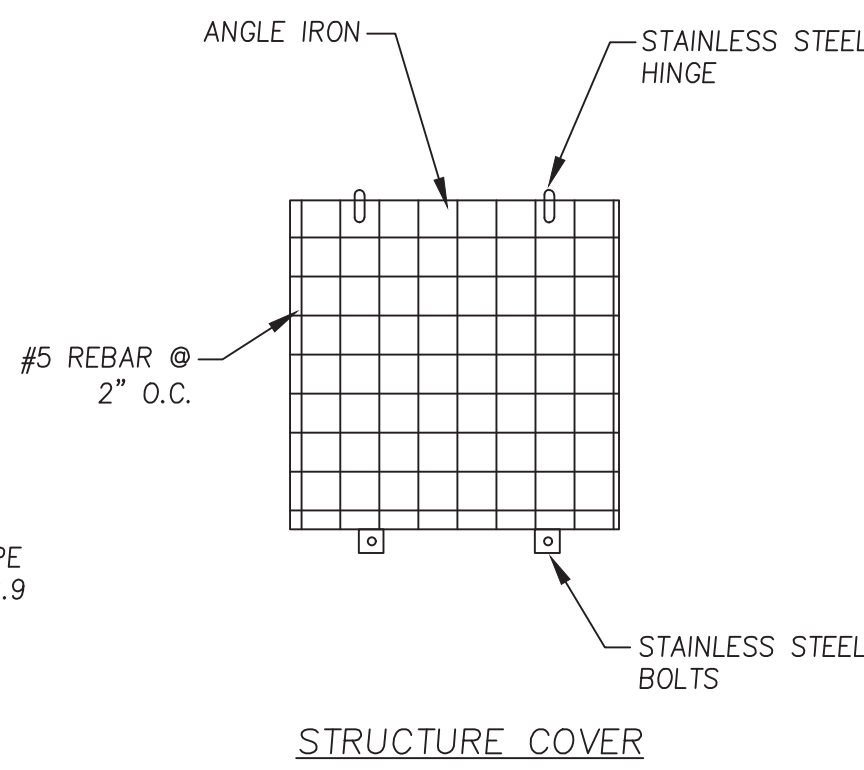
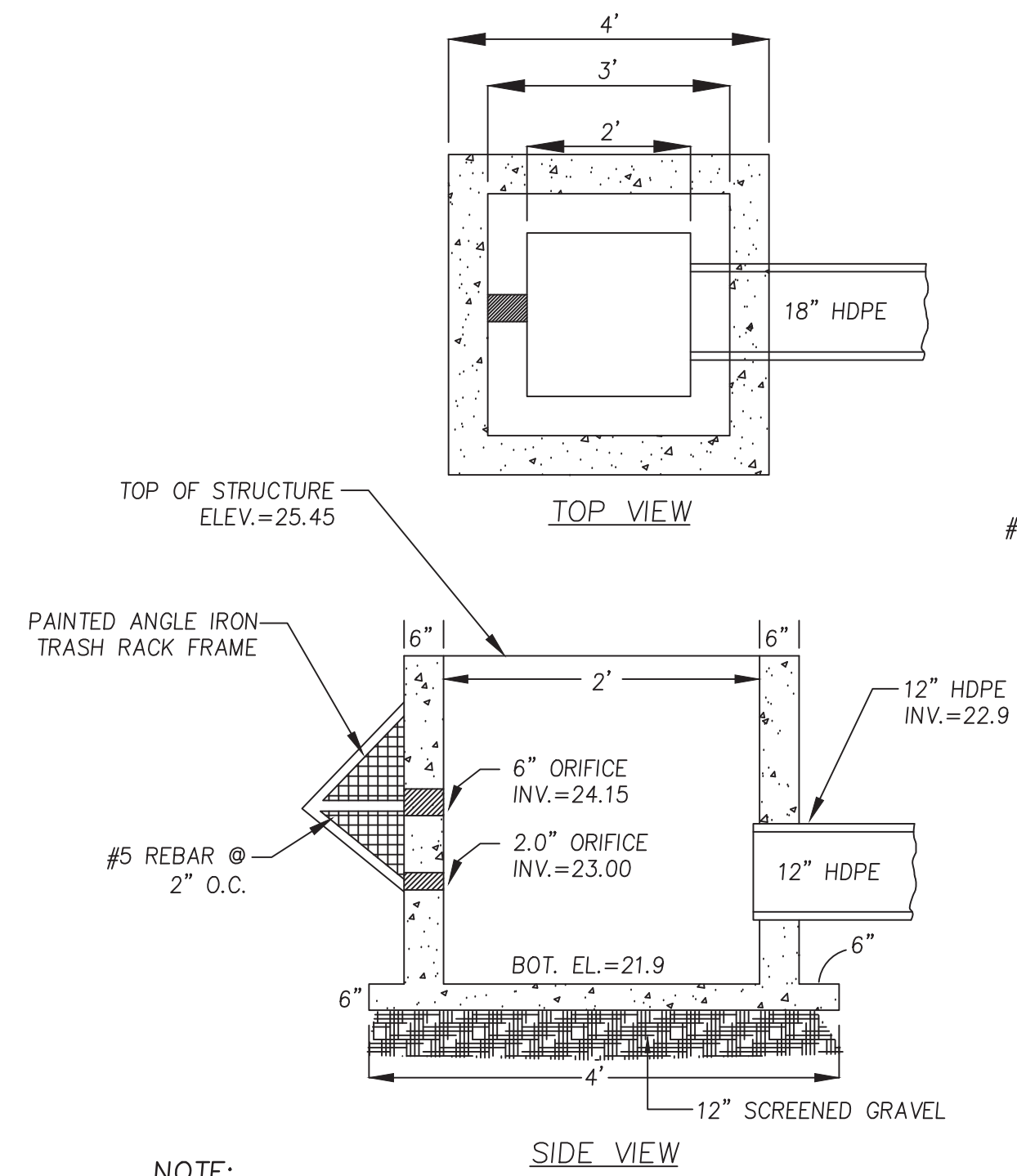


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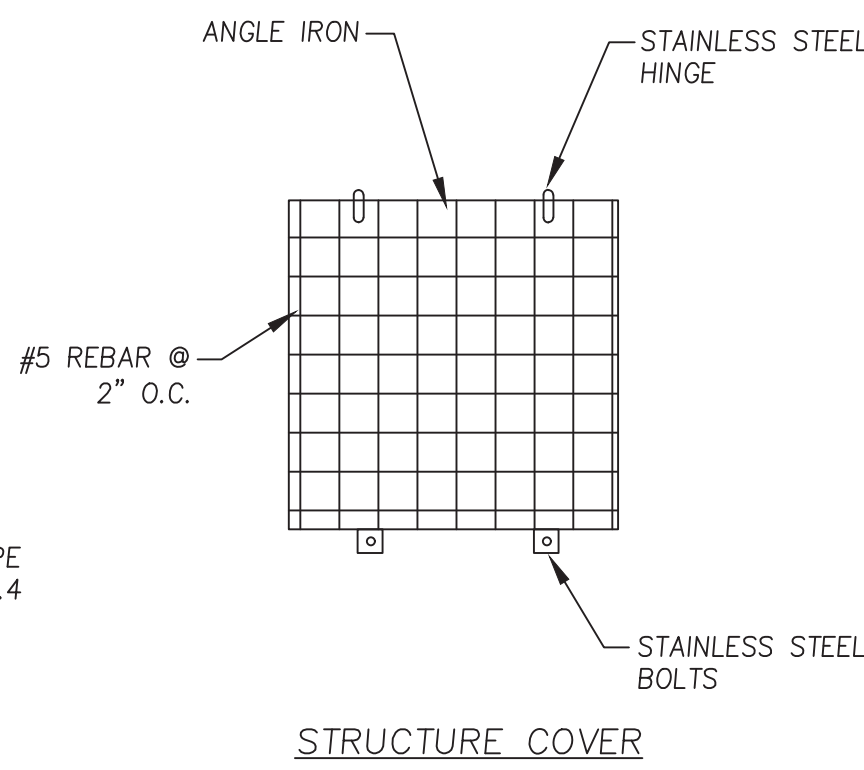
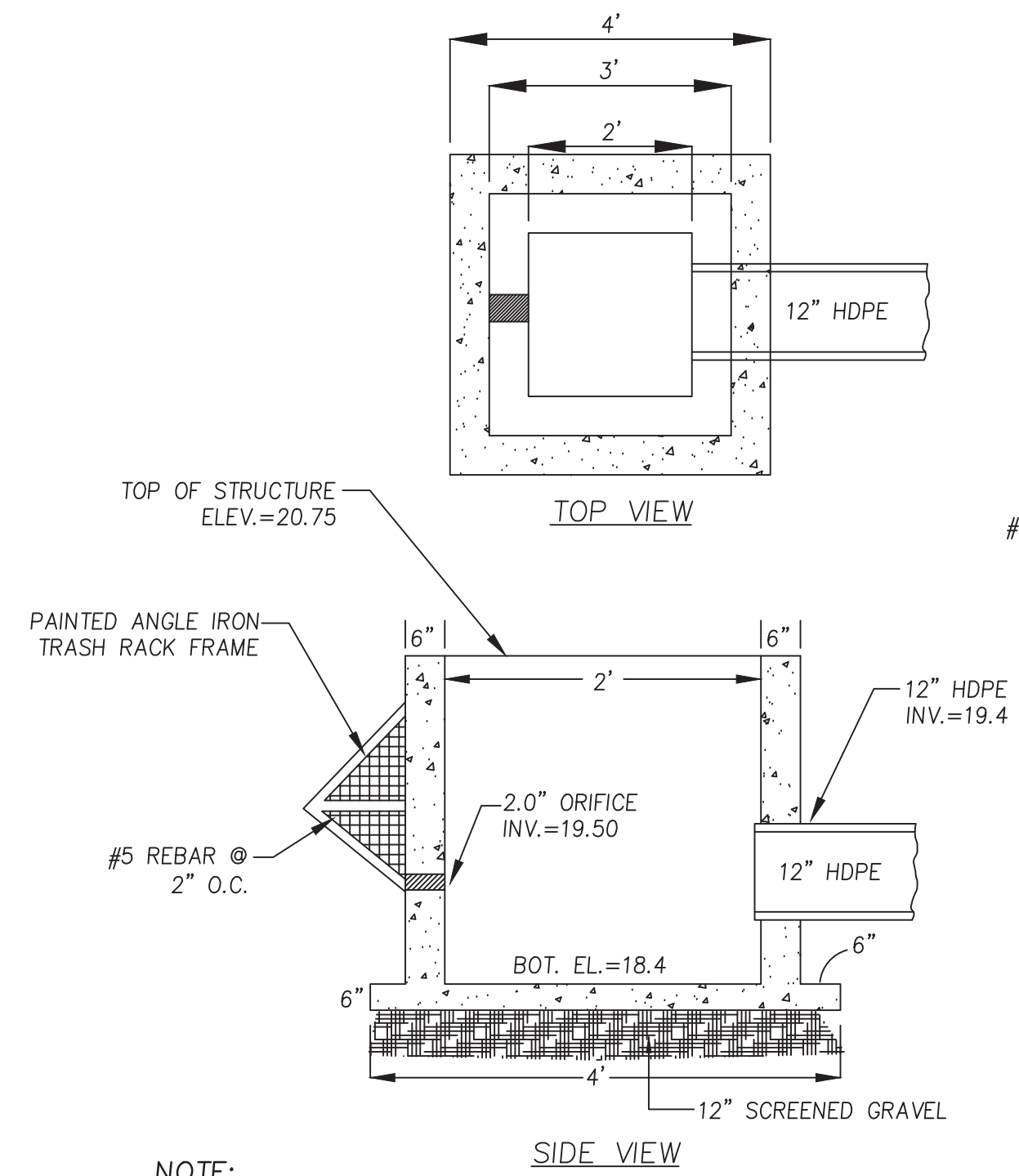
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DATE



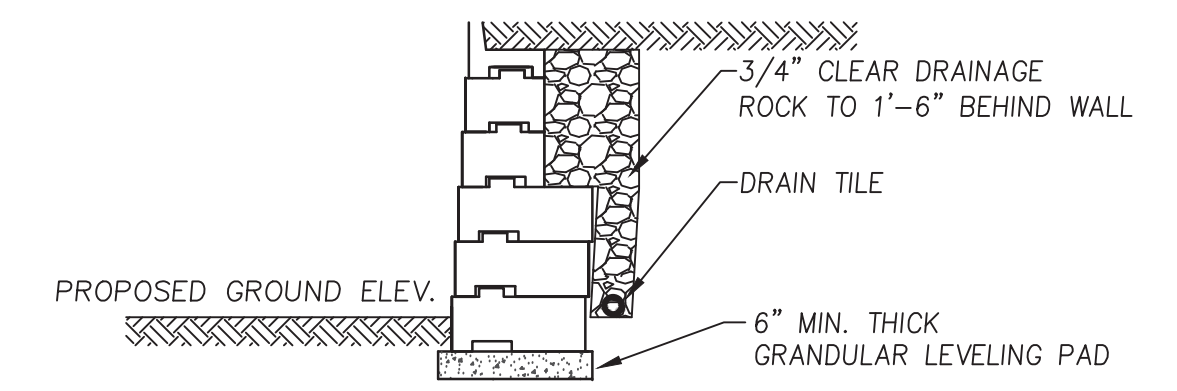
NOTE:  
1. ANY EXPOSED REBAR SHALL BE COATED WITH A RUST-RESISTANT PAINT.

**OUTLET STRUCTURE #1**  
DETAIL N.T.S.

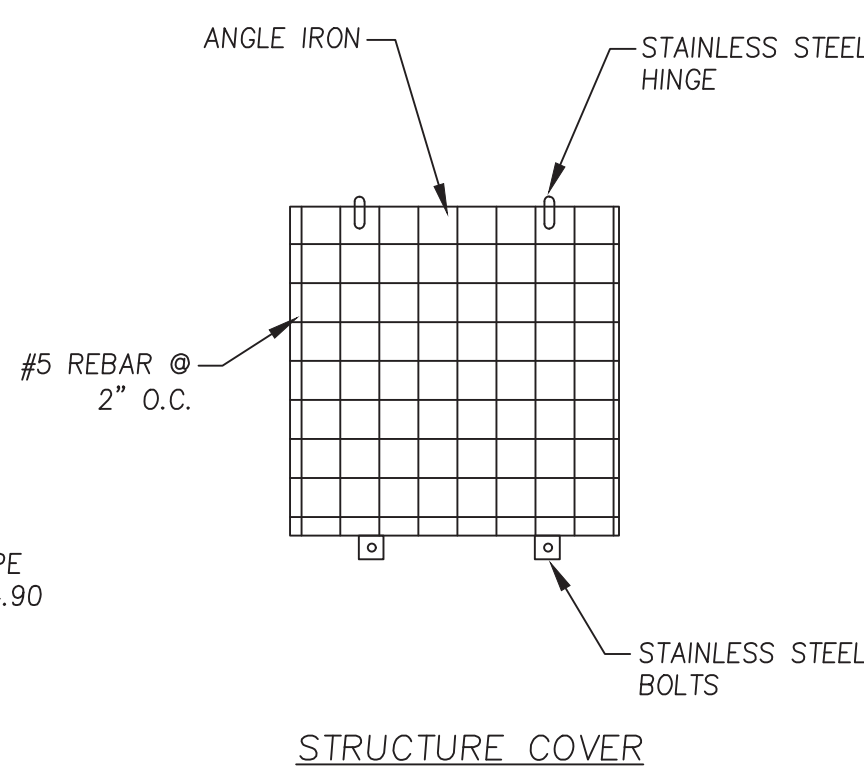
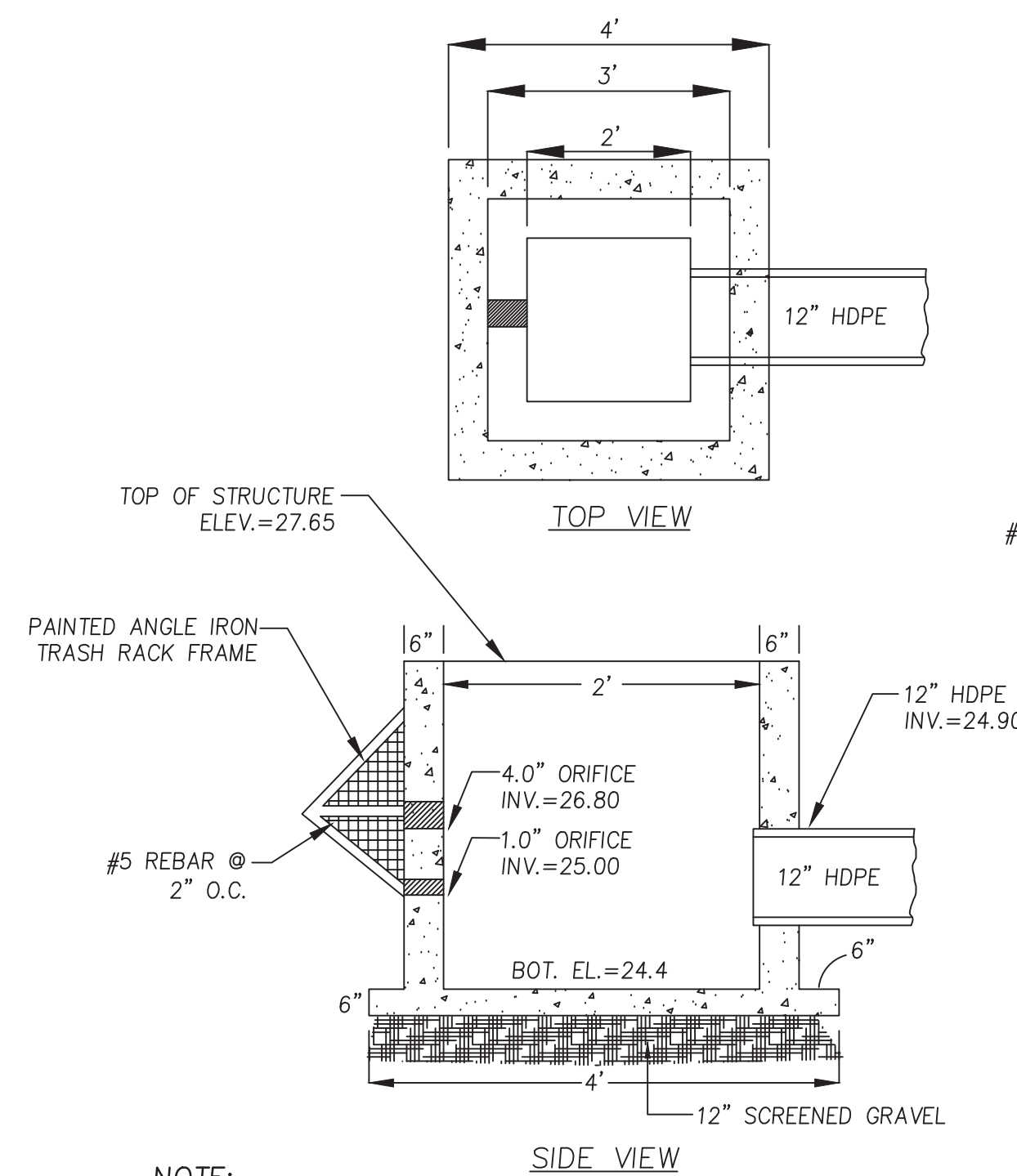


NOTE:  
1. ANY EXPOSED REBAR SHALL BE COATED WITH A RUST-RESISTANT PAINT.

**OUTLET STRUCTURE #3**  
DETAIL N.T.S.

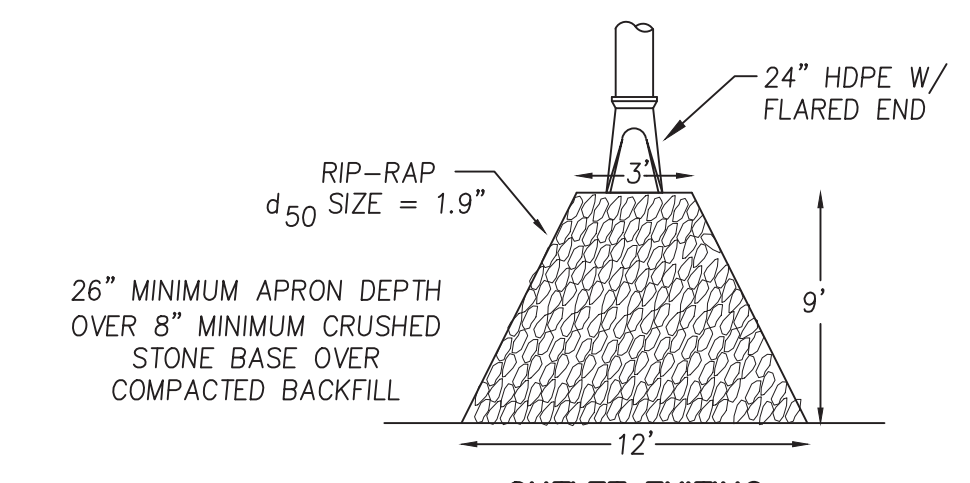


**SEGMENTAL BLOCK**  
RETAINING WALL N.T.S.



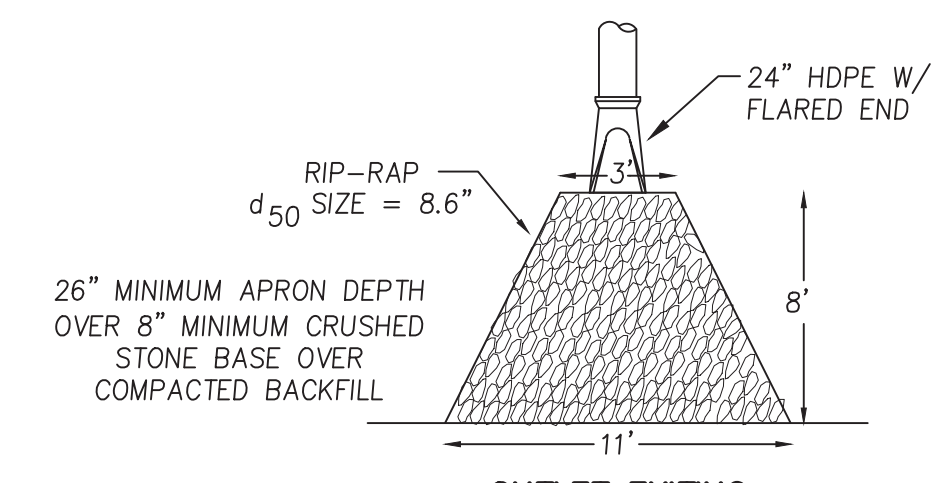
NOTE:  
1. ANY EXPOSED REBAR SHALL BE COATED WITH A RUST-RESISTANT PAINT.

**OUTLET STRUCTURE #2**  
DETAIL N.T.S.



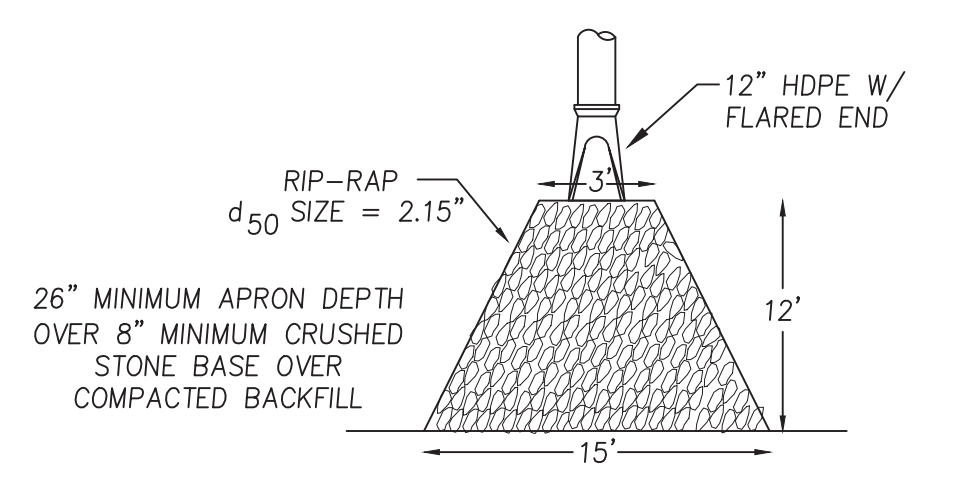
**OUTLET EXITING BASIN #1**

% OF WEIGHT SMALLER THAN THE GIVEN SIZE	SIZE OF STONE (INCHES)	
	FROM	TO
100	2.8	3.8
85	2.5	3.4
50	1.9	2.8
15	0.6	0.9



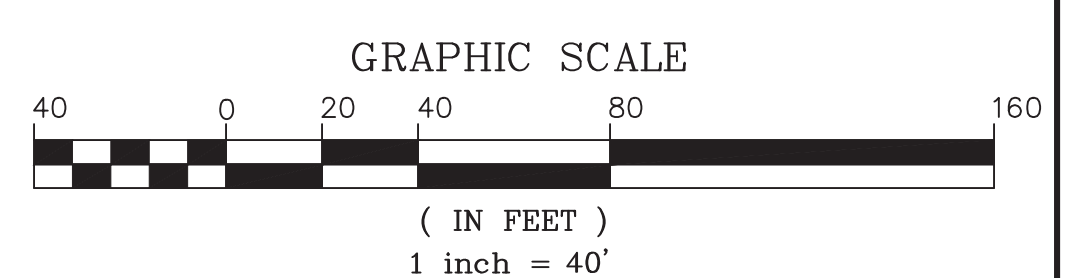
**OUTLET EXITING BASIN #2**

% OF WEIGHT SMALLER THAN THE GIVEN SIZE	SIZE OF STONE (INCHES)	
	FROM	TO
100	1.8	2.5
85	1.6	2.2
50	1.2	1.8
15	0.4	0.6



**OUTLET EXITING BASIN #3**

% OF WEIGHT SMALLER THAN THE GIVEN SIZE	SIZE OF STONE (INCHES)	
	FROM	TO
100	3.2	4.3
85	2.8	3.9
50	2.1	3.2
15	0.6	1.1



PREPARED FOR  
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**SITE PLAN**  
IN  
**SALISBURY, MA**  
AT  
**82 LAFAYETTE ROAD**

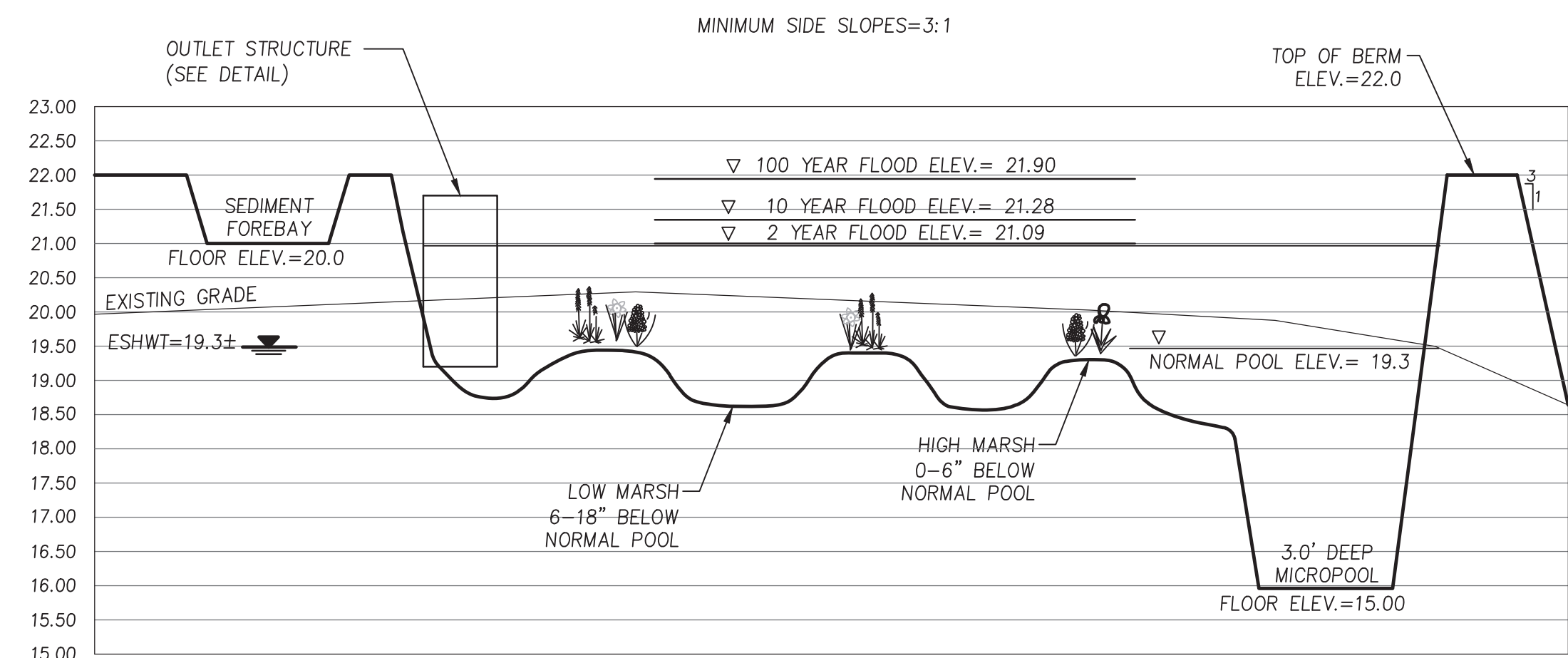
**CONSTRUCTION**  
**DETAILS**

SHEET: C-11

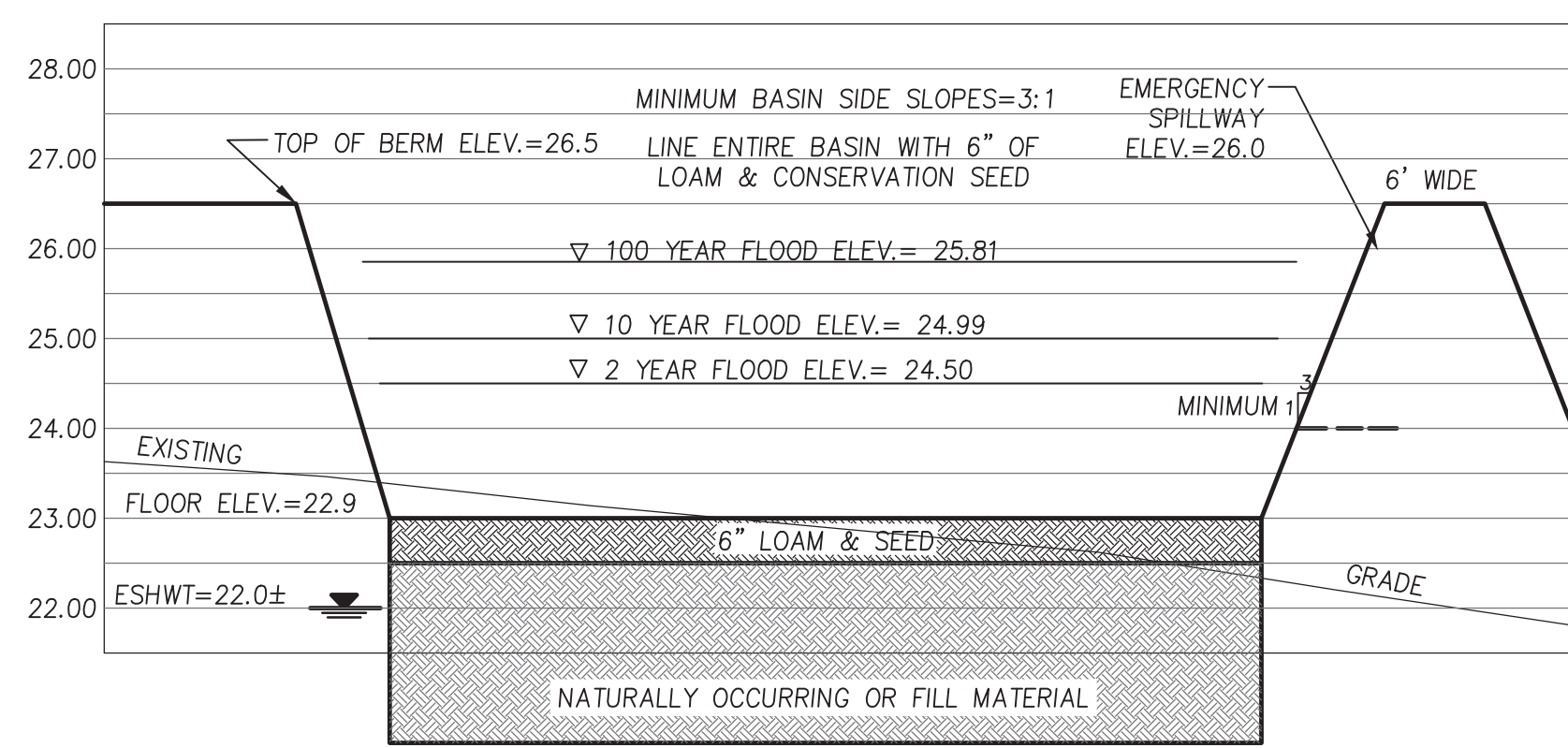
NO.	DATE	DESCRIPTION	BY

SCALE: 1"=40'  
DATE: MAY 2, 2024  
CALC. BY: S.R.C.  
CHKD. BY: J.T.M.  
PROJECT: M234259

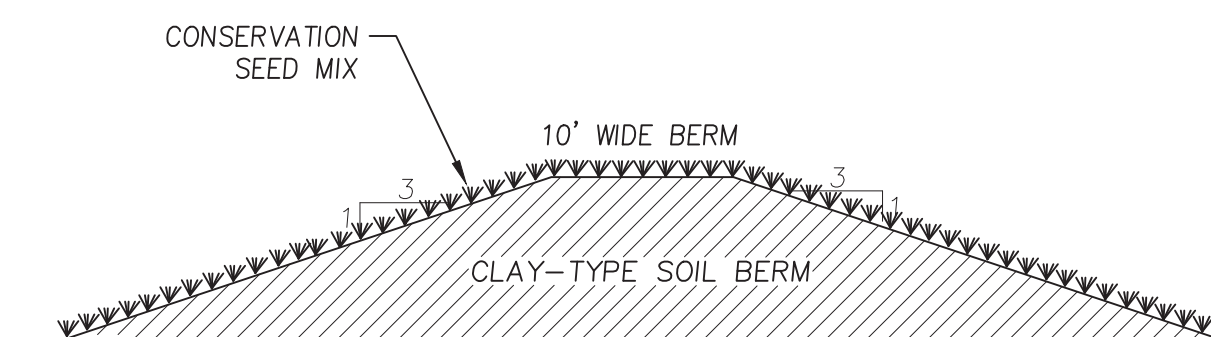




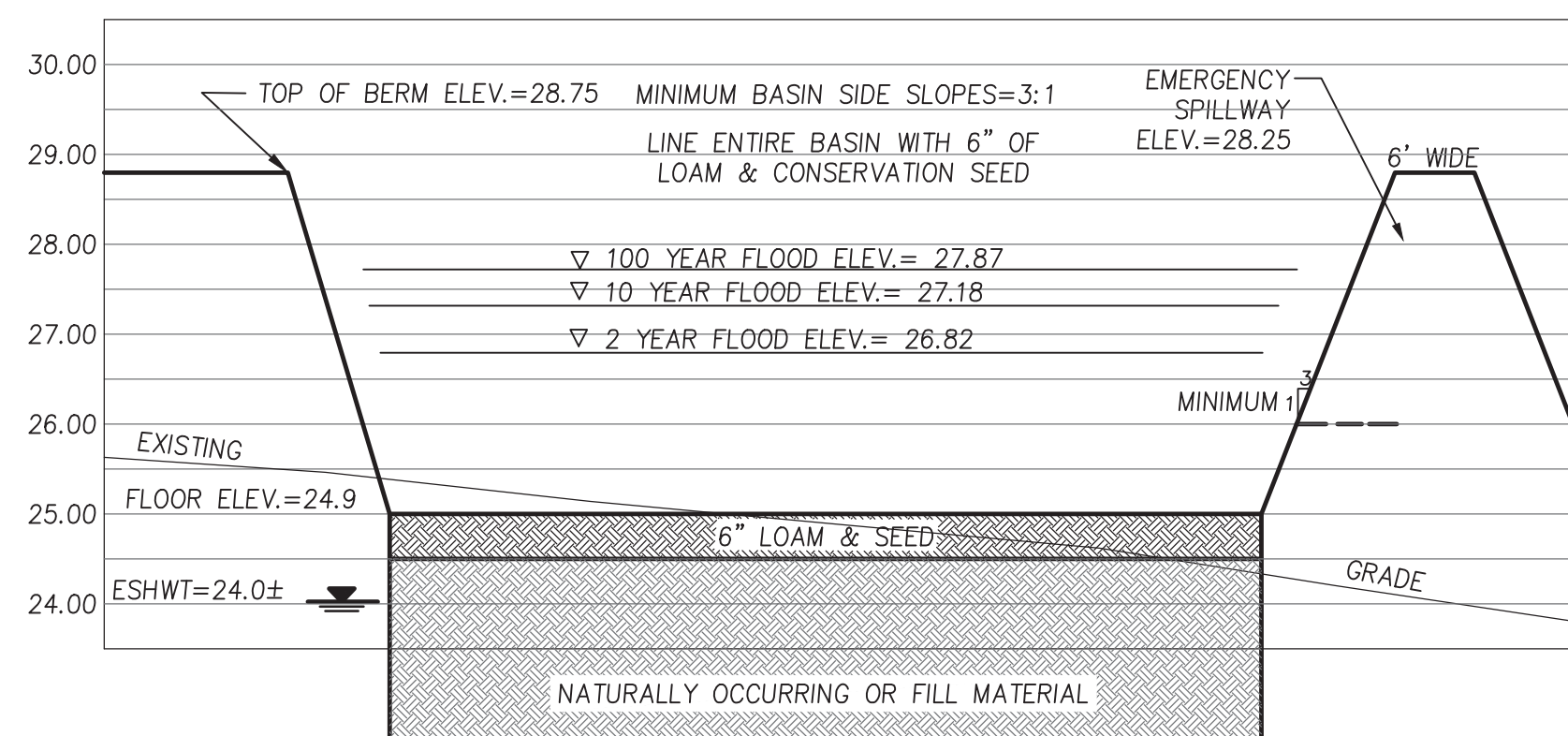
**CONSTRUCTED WETLAND**  
TYP. CROSS-SECTION  
HORIZ. SCALE: N.T.S.  
VERT. SCALE: 1"=2'



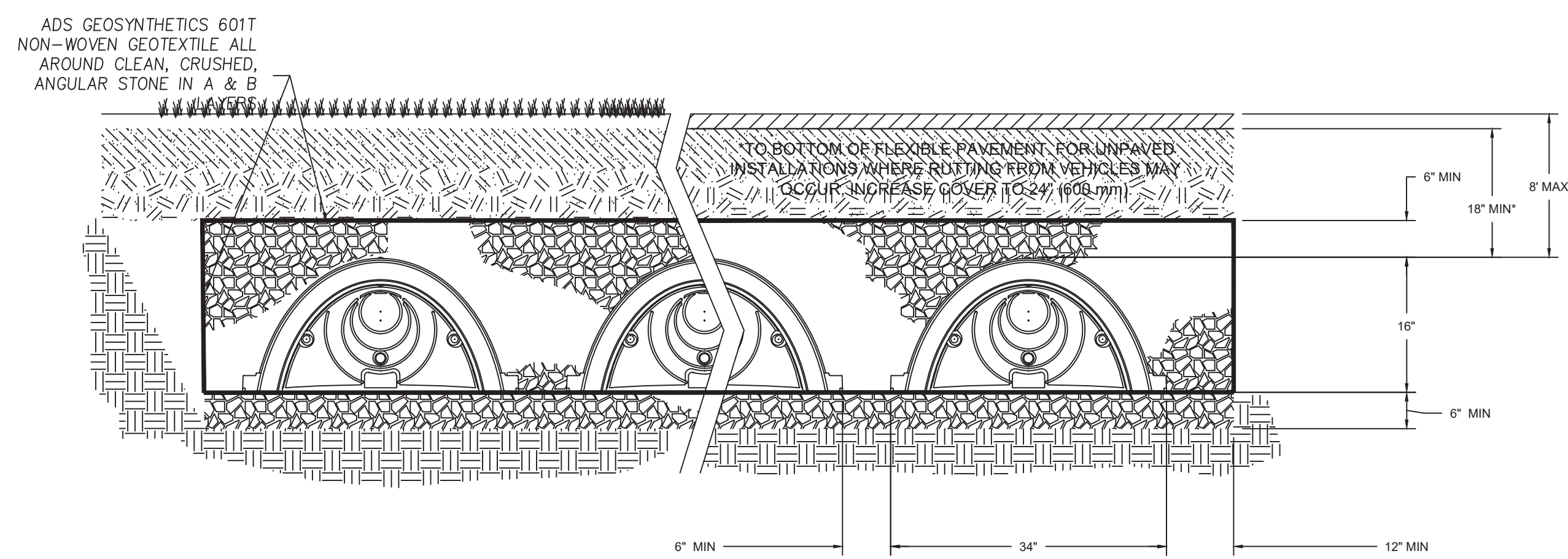
**DETENTION BASIN #1**  
TYP. CROSS-SECTION  
HORIZ. SCALE: N.T.S.  
VERT. SCALE: 1"=2'



**DETENTION BASIN BERM DETAIL**  
N.T.S.

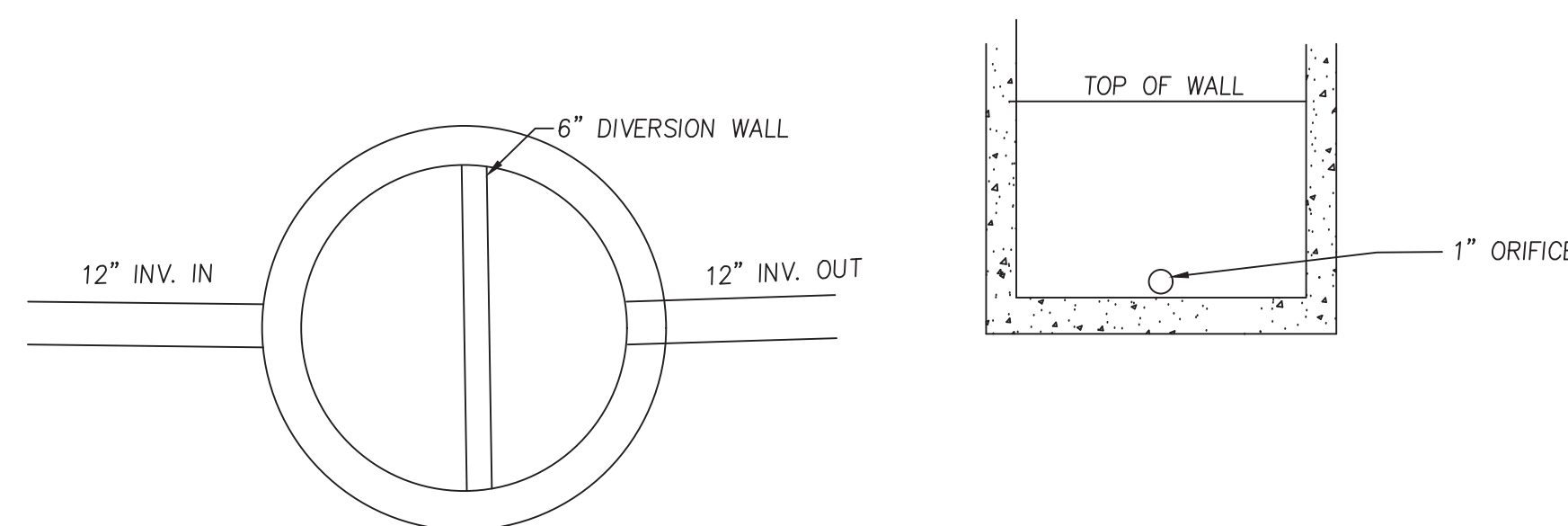


**DETENTION BASIN #2**  
TYP. CROSS-SECTION  
HORIZ. SCALE: N.T.S.  
VERT. SCALE: 1"=2'



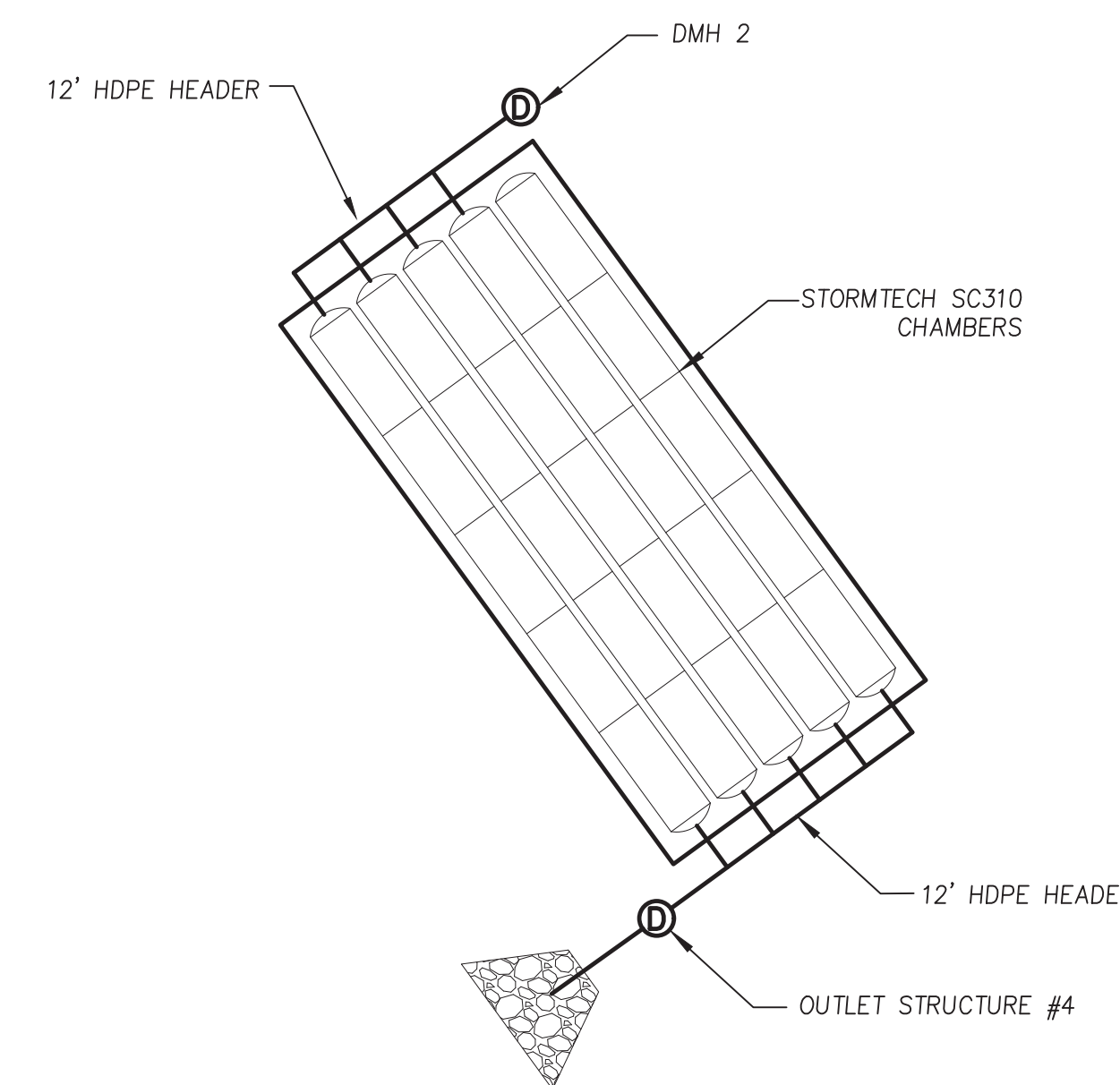
SUBSURFACE AREA	BOT. STONE ELEV.	BOT. CHAMBER ELEV.	TOP CHAMBER ELEV.	TOP STONE ELEV.	100 YR STORM ELEV.
ROOFDRYWELL	26.10	26.60	27.93	28.43	27.93

**STORMTECH SC 310 (ROOF DRYWELL) CHAMBERS**  
N.T.S.



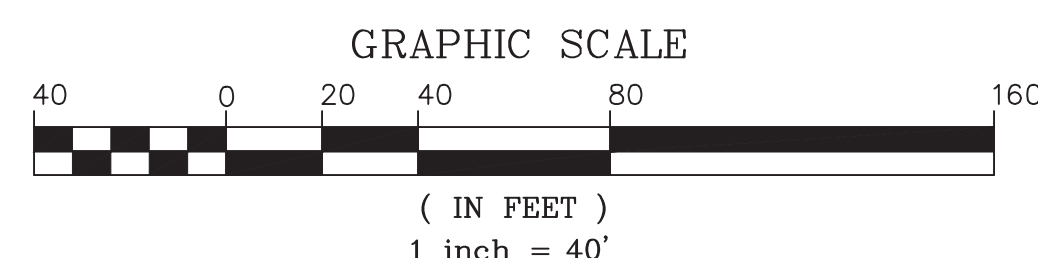
ROOF DRY WELL	INV. OUT ELEV.	INV. IN ELEV.	1" ORIFICE ELEV.	TOP OF WALL ELEV.	RIM ELEV.
	26.40	26.50	26.50	27.75	28.25

**OUTLET CONTROL STRUCTURE #4**  
DETAIL  
N.T.S.



**ROOF DRYWELL DETAIL**  
N.T.S.

SALISBURY PLANNING BOARD  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
DATE



PREPARED FOR  
**82 LAFAYETTE ROAD DEVELOPMENT, LLC**  
12 56TH STREET  
NEWBURYPORT, MA

**MEI** MILLENNIUM ENGINEERING, INC.  
ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

**SITE PLAN**  
IN  
SALISBURY, MA  
AT  
**82 LAFAYETTE ROAD**

**CONSTRUCTION DETAILS**  
SHEET: C-12

NO.	DATE	DESCRIPTION	BY

SCALE: 1"=40'  
DATE: MAY 2, 2024  
CALC. BY: S.R.C.  
CHKD. BY: J.T.M.  
PROJECT: M234259



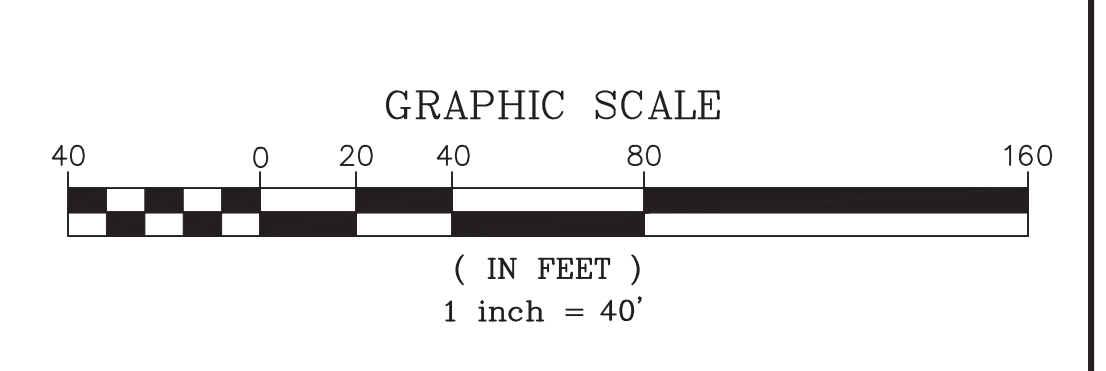
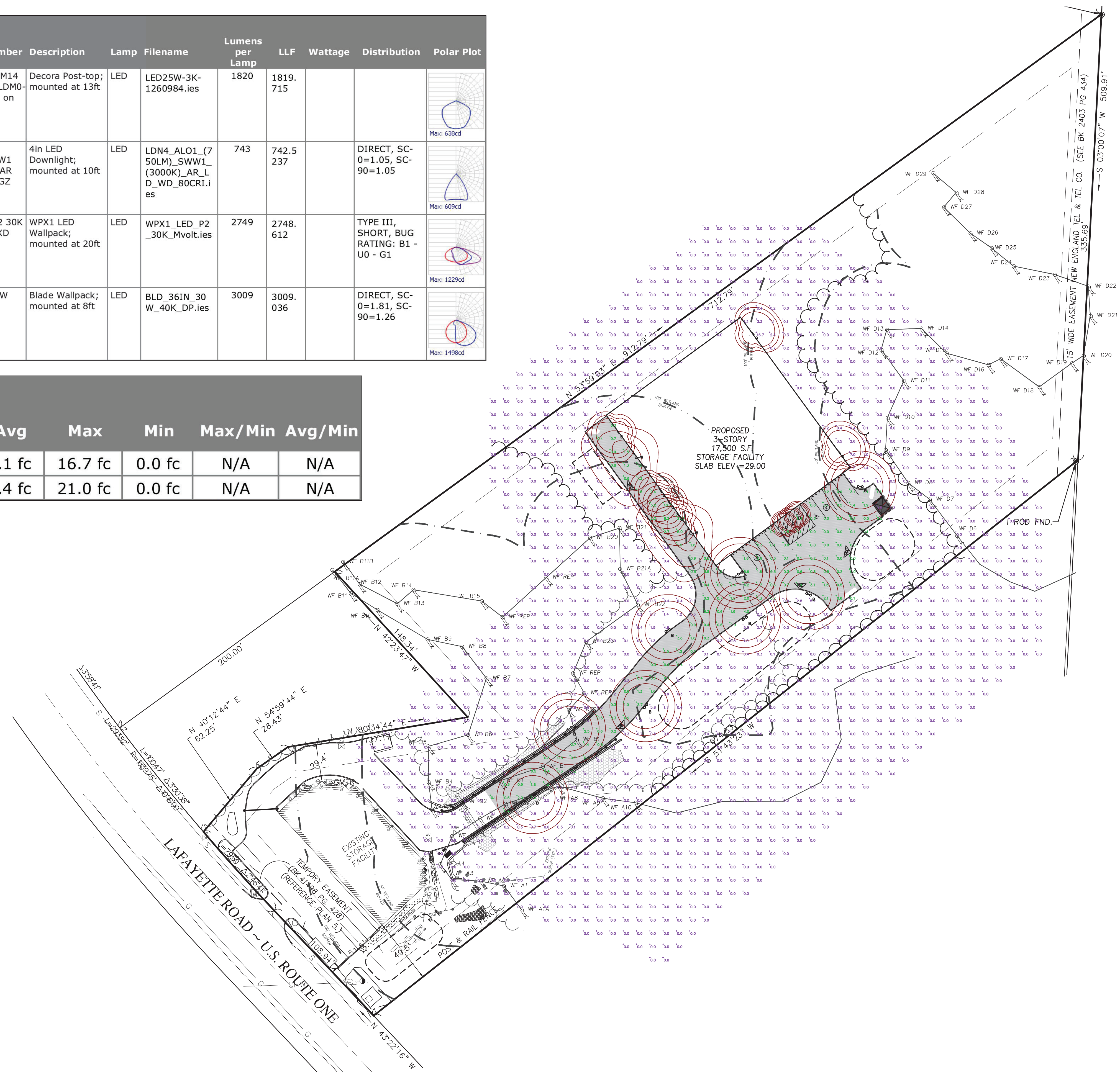




Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens per Lamp	LLF	Wattage	Distribution	Polar Plot
	<b>B</b>	8	Baselite Corp	DCS18 XX WM14 LED25W 3K LDM0-10 mounted on 13ft pole	Decora Post-top; mounted at 13ft	LED	LED25W-3K-1260984.ies	1820	1819.715			
	<b>D</b>	3	Lithonia Lighting	LDN4 ALO1 (750LM) SWW1 (3000K) LO4AR LD MVOLT UGZ	4in LED Downlight; mounted at 10ft	LED	LDN4_ALO1_(750LM)_SWW1_(3000K)_AR_LD_WD_80CRI.ies	743	742.5237		DIRECT, SC-0=1.05, SC-90=1.05	
	<b>E-W</b>	2	Lithonia Lighting	WPX1 LED P2 30K MVOLT DDBXD	WPX1 LED Wallpack; mounted at 20ft	LED	WPX1_LED_P2_30K_Mvolt.ies	2749	2748.612		TYPE III, SHORT, BUG RATING: B1 - U0 - G1	
	<b>G</b>	6	Luminaire LED	BLD 36IN 30W 30K DP	Blade Wallpack; mounted at 8ft	LED	BLD_36IN_30W_40K_DP.ies	3009	3009.036		DIRECT, SC-0=1.81, SC-90=1.26	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Outside of Parking Lot	+	0.1 fc	16.7 fc	0.0 fc	N/A	N/A
Parking Lot	+	1.4 fc	21.0 fc	0.0 fc	N/A	N/A

**Designer**  
 Heidi G. Connors  
 Visible Light, Inc.  
 24 Stickney Terrace  
 Suite 6  
 Hampton, NH 03842  
**Date**  
 04/12/2024



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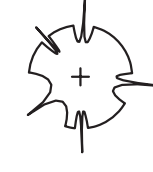
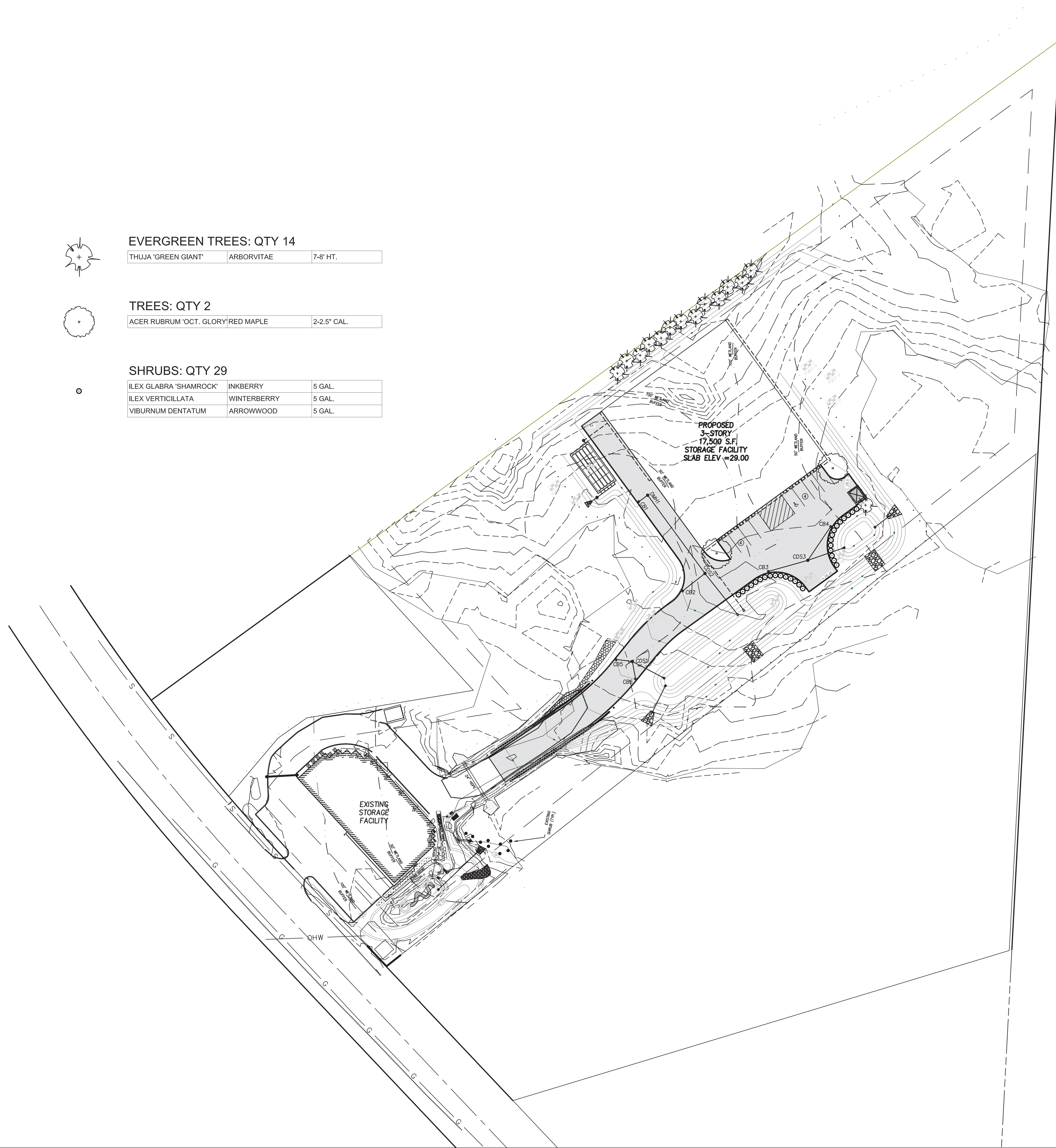
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**SITE PLAN**  
 IN  
 SALISBURY, MA  
 AT  
**82 LAFAYETTE ROAD**

**LIGHTING PLAN**  
 SHEET: E1

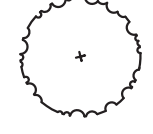
NO.	DATE	DESCRIPTION	BY





**EVERGREEN TREES: QTY 14**

THUJA 'GREEN GIANT'	ARBORVITAE	7-8' HT.
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**TREES: QTY 2**

ACER RUBRUM 'OCT. GLORY'	RED MAPLE	2-2.5" CAL.
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**SHRUBS: QTY 29**

ILEX GLABRA 'SHAMROCK'	INKBERRY	5 GAL.
ILEX VERTICILLATA	WINTERBERRY	5 GAL.
VIBURNUM DENTATUM	ARROWWOOD	5 GAL.

Issued:

1	4-8-24	For review
2		
3		
4		
5		
6		



**LANDSCAPE PLAN**

Scale: 1"=40'-0"

**82 Lafayette Road**  
Salisbury, MA

**KD Turner Design**  
landscape architecture

27 High St.  
Newburyport, MA 01950  
ph) 781.632.6004

