

SCHEDULE OF PLAN SET DRAWINGS:

- C-1

C-2

C-3

C-4

C-5

L-1

L-2
- COVER SHEET

EXISTING CONDITIONS PLAN

SITE LAYOUT PLAN

GRADING, DRAINAGE & UTILITY PLAN

DETAILS

LANDSCAPE PLAN

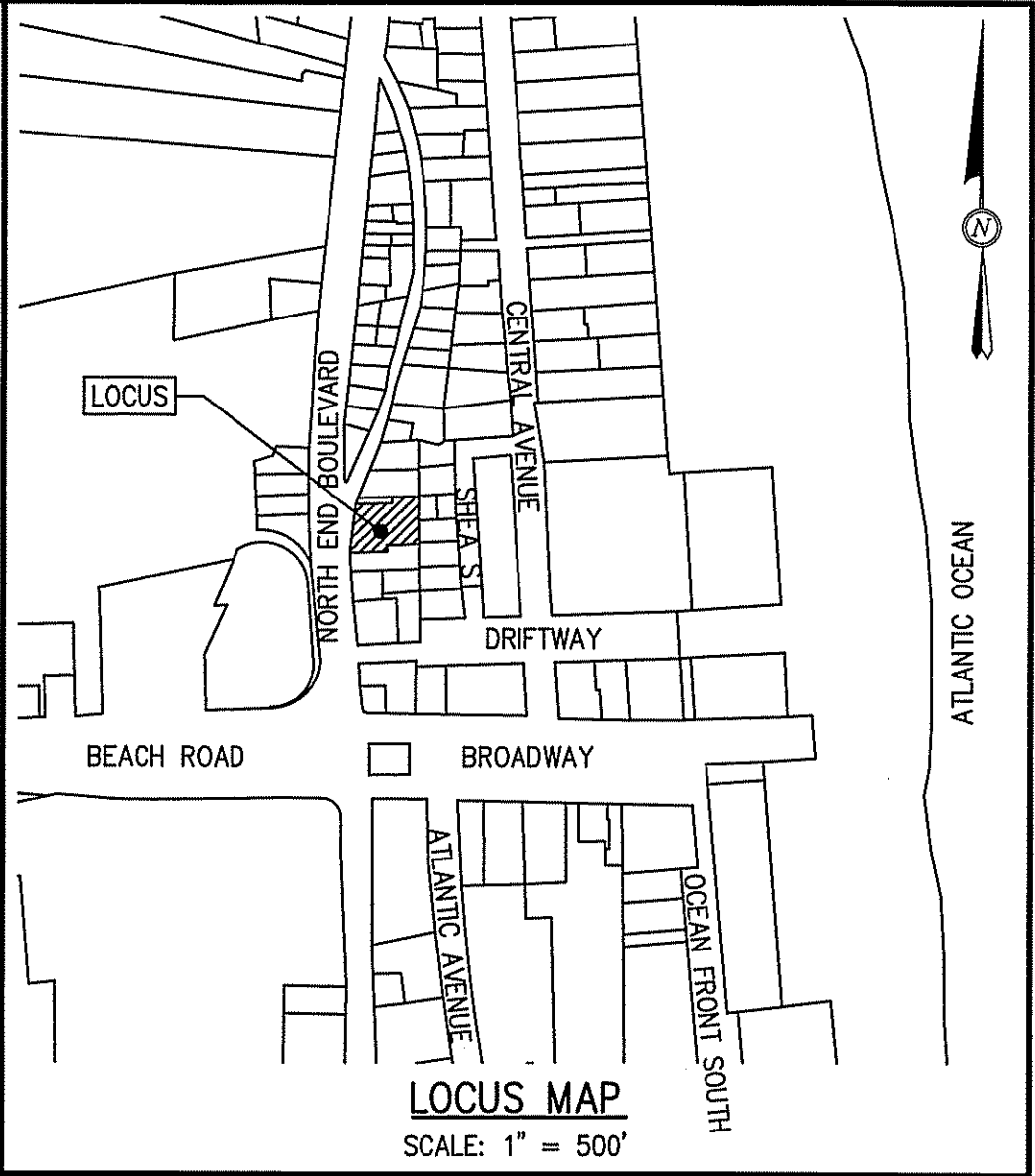
LIGHTING PLAN

SITE DEVELOPMENT PLANS

14, 16 & 18 NORTH END BOULEVARD

SALISBURY, MASSACHUSETTS

(ASSESSOR'S MAP 33, LOTS 248, 249 & 250)



LEGEND:

EXISTING:

- 7

D

S

W

DSW

G

DSG

OHW

X-X

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- MAJOR TOPOGRAPHIC CONTOUR

MINOR TOPOGRAPHIC CONTOUR

DRAIN PIPE

SEWER PIPE

WATER SERVICE LINE

DIGSAFE WATER UTILITY MARKING

GAS SERVICE LINE (DIGITIZED)

DIGSAFE GAS UTILITY MARKING

OVERHEAD WIRE

CHAINLINK FENCE (CLF)

STOCKADE FENCE

GUARDRAIL

DRAIN MANHOLE

SEWER MANHOLE

UTILITY POLE OR LIGHT POLE

WATER GATE VALVE

WATER SHUT OFF

CATCH BASIN

GAS GATE

PROPOSED:

- W

D

+

7

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- GRADING

WATER LINE

DRAINAGE LINE

UNDERGROUND ELECTRIC LINE

GAS LINE

SPOT GRADE

SEWER MANHOLE

WATER SHUTOFF

DOWNSPOUT

LIGHT

ABBREVIATIONS:

- APPROX

CONC.

DMH

EP

EXIST

FT

IWMIN

N/F

OHW

SSA

SF

SWLL

TYP

UP

VGC

WG
- APPROXIMATE

CONCRETE

DRAIN MANHOLE

EDGE OF PAVEMENT

EXISTING

FEET

MINIMUM

NOW OR FORMERLY

OVERHEAD WIRES

SNOW STORAGE AREA

SQUARE FEET

SINGLE WHITE LANE LINE

TYPICAL

UTILITY POLE

VERTICAL GRANITE CURB

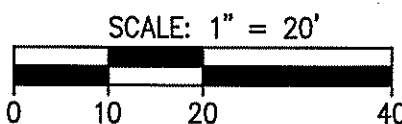
WATER GATE

GENERAL NOTE:

THESE PLANS ARE PREPARED FOR PERMITTING WITH THE TOWN OF SALISBURY. THE PLANS SHALL NOT BE USED FOR CONSTRUCTION OR FOR ANY OTHER PURPOSES WITHOUT WRITTEN PERMISSION FROM THE MORIN-CAMERON GROUP, INC.

PERMITS REQUIRED:

- SITE PLAN REVIEW AND SPECIAL PERMIT (PLANNING BOARD)
- ORDER OF CONDITIONS (CONSERVATION COMMISSION)



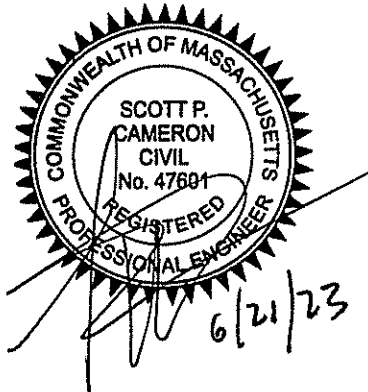
ISSUED FEBRUARY 1, 2023

OWNER:
SEACOST PROPERTY MANAGEMENT, LLC
P.O. BOX 5514
SALISBURY, MA 01952

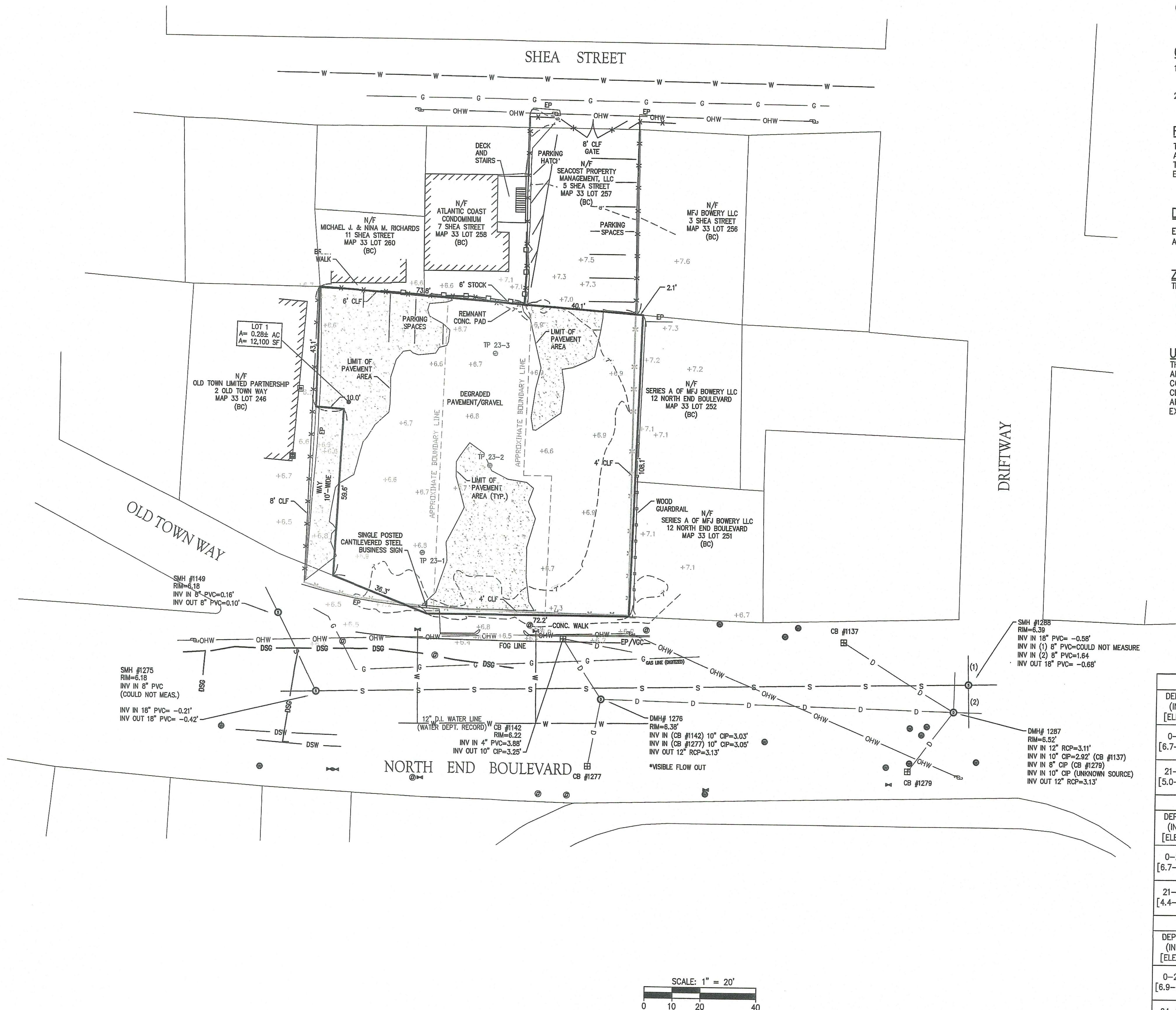
APPLICANT:
18 NE BLDV LLC
271 SALEM STREET, UNIT E
WOBURN, MA 01801

CIVIL ENGINEER & SURVEYOR:
THE MORIN-CAMERON GROUP, INC.
25 KENOZA AVENUE
HAVERHILL, MA 01830
PHONE: 978-373-0310

The
Morin-Cameron
GROUP, INC.
CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS | LAND USE PLANNERS



REVISIONS			SURVEY BY: MCG DRAFTED BY: LNO CHECKED BY: SPC APPROVED BY: SPC SCALE: AS NOTED DATE: FEBRUARY 1, 2023	COVER SHEET	DRAWING NO. C-1
NO.	DESCRIPTION	DATE			
1	ADDRESSED TOWN STAFF COMMENTS	03/23/23			
2	ADDRESSED TOWN STAFF COMMENTS	06/07/23			
3	ADDRESSED TOWN STAFF COMMENTS	06/21/23			
4					
5					



RECORD OWNER:
SEACOAST PROPERTY MANAGEMENT, LLC
15 BROADWAY, P.O. BOX 5514
SALISBURY, MASSACHUSETTS 01952
BOOK 40625 PAGE 530 S.E.R.D
(MAP 33 - LOTS 248, 249 & 250)

GENERAL NOTES:
1. EXISTING CONDITIONS OBTAINED BY AN ON-THE-GROUND FIELD SURVEY BY THE MORIN-CAMERON GROUP IN AUGUST, 2022.
2. ABUTTER INFORMATION SHOW HEREON WAS TAKEN FROM THE MERRIMACK VALLEY PLANNING COMMISSION GIS FOR THE TOWN OF SALISBURY, MA.

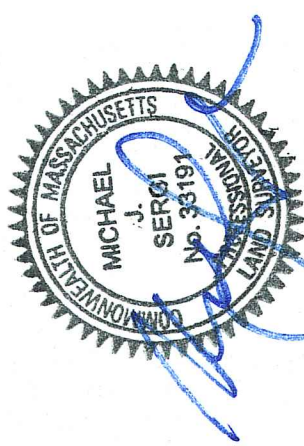
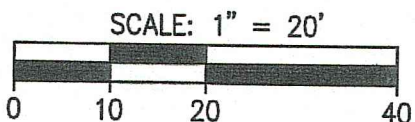
FLOOD NOTE:
THE SUBJECT PROPERTY IS LOCATED WITHIN ZONE AE (EL.=9.0): SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD AS ILLUSTRATED ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 25009C0129F, WHICH HAS AN EFFECTIVE DATE OF JULY 3, 2012.

DATUM:
ELEVATIONS HEREON REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND MASSSPC HORIZONTAL DATUM (NAD 1983).

ZONING NOTE:
THE SUBJECT PROPERTY IS LOCATED WITHIN:
- BEACH COMMERCIAL (BC) DISTRICT
- BEACH OVERLAY DISTRICT, BEACH CENTER DEVELOPMENT SUBDISTRICT
- WIRELESS COMMUNICATION C
- FLOOD PLAIN DISTRICT

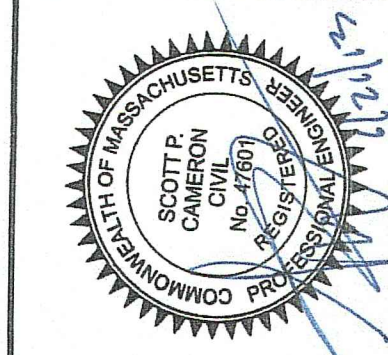
UTILITY NOTES:
THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON A COMBINATION OF READILY OBSERVABLE FIELD LOCATIONS AND COMPILED INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES, THE CLIENT AND GOVERNMENT AGENCIES. THERE IS NO GUARANTEE THAT ALL UTILITIES ARE SHOWN, IN ACCORDANCE WITH RSA 374 NOTIFY DIG-SAFE 811 BEFORE ANY EXCAVATION.

TP 23-1 (EXIST. GRADE ELEVATION = 6.7)						
DEPTH (IN.) [ELEV.]	SOIL HORIZON	SOIL TEXTURE	COLOR	SOIL STRUCTURE	SOIL CONSISTENCE	NOTES
0-21 [6.7-5.0]	FILL	LS/S	-			
21-48 [5.0-2.7]	C1	SAND	2.5Y 4	SG	LOOSE	WEEP @ 40" ELEV.=3.4'±
TP 23-2 (EXIST. GRADE ELEVATION = 6.7)						
DEPTH (IN.) [ELEV.]	SOIL HORIZON	SOIL TEXTURE	COLOR	SOIL STRUCTURE	SOIL CONSISTENCE	NOTES
0-28 [6.7-4.4]	FILL	LS/S	-			
21-48 [4.4-2.2]	C1	SAND	2.5Y 4	SG	LOOSE	WEEP @ 42" ELEV.=3.2'±
TP 23-3 (EXIST. GRADE ELEVATION = 6.9)						
DEPTH (IN.) [ELEV.]	SOIL HORIZON	SOIL TEXTURE	COLOR	SOIL STRUCTURE	SOIL CONSISTENCE	NOTES
0-24 [6.9-4.9]	FILL	LS/S	-			
24-54 [4.9-2.4]	C1	SAND	2.5Y 4	SG	LOOSE	WEEP @ 44" ELEV.=3.2'±



The Morin-Cameron GROUP, INC.

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P. 978-873-0310, W. WWW.MORINCAMERON.COM



REVISIONS			
1	ADDRESSED TOWN STAFF COMMENTS	03/23/23	SURVEY BY: MCG
2	ADDRESSED TOWN STAFF COMMENTS	05/07/23	DRAFTED BY: LNO
3	ADDRESSED TOWN STAFF COMMENTS	06/21/23	CHECKED BY: SPC
			APPROVED BY: SPC
			SCALE: 1"=20'
			DATE: FEBRUARY 1, 2023

SITE DEVELOPMENT PLANS

SALISBURY, MASSACHUSETTS
14,16 & 18 NORTH END BOULEVARD
(ASSESSOR'S MAP 33, LOTS 248, 249 & 250)

PREPARED FOR:
18 NE BLVD LLC

EXISTING CONDITIONS

DRAWING NO. C-2

PROP. CAR MODEL (TYP.)
 (SEE EXHIBIT-1 FOR DETAIL)

PROP. RECESSED LIGHT
 (SEE LIGHTING PLAN L-2)

PROP. WALL
 MOUNTED LIGHT
 (SEE LIGHTING
 PLAN L-2)

RECESSED SKIRT
 BOARD AREA
 CONDENSERS
 MOUNTED ON SKIRT

PROP. UTILITY CHASE
 & SPRINKLER CLOSET
 HUNG FROM 1ST
 FLOOR

3' BUILDING
 OVERHANG

STAIRS

STAIRS

STAIRS

11'-6" (TYP.)

10'-5" (TYP.)

DECK

DECK

DECK

PROP. PILLING LOCATION
 (TYP.)

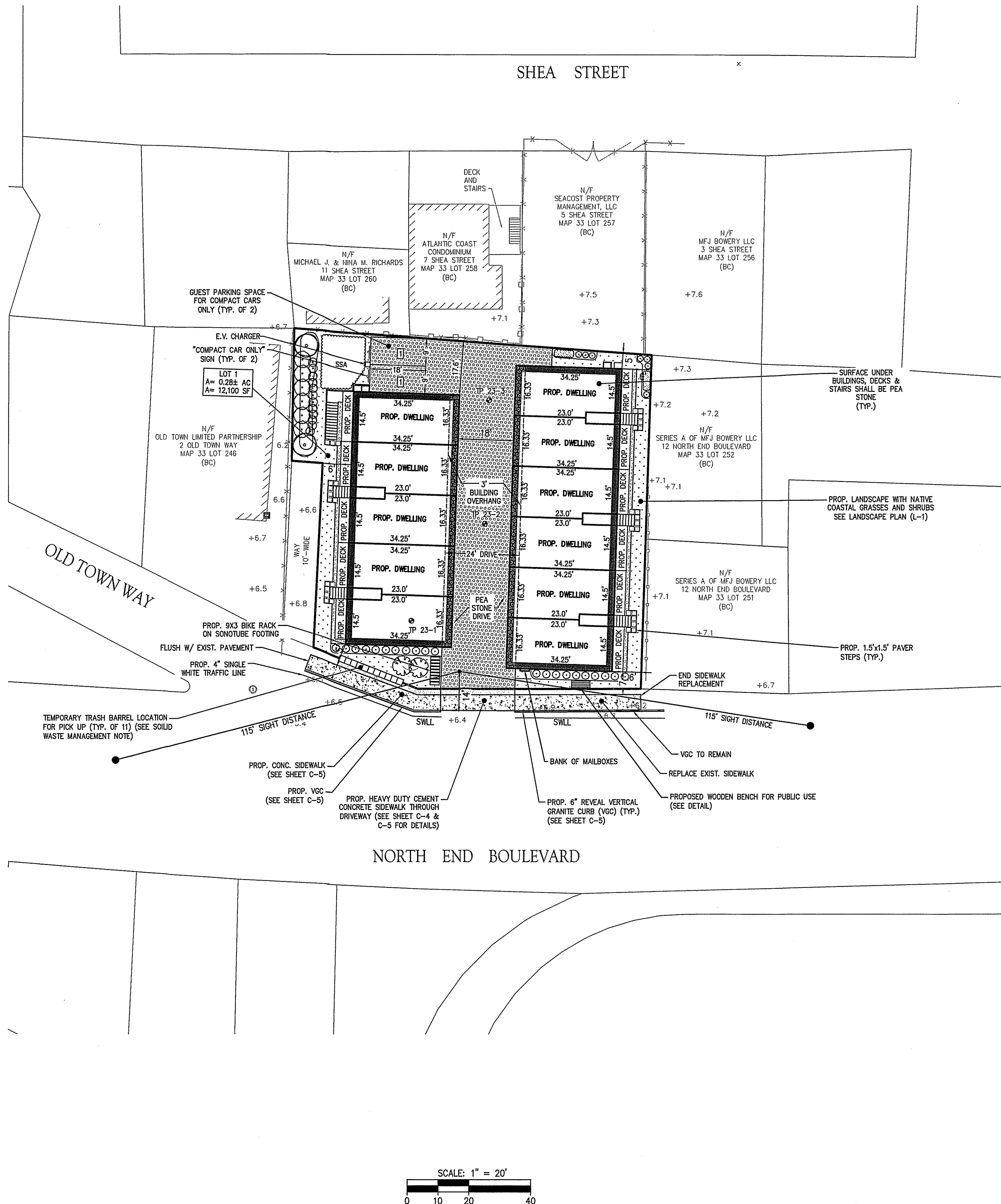
EGRESS
 POINTS
 (TYP. OF 3)

PROP. ELEVATED PLATFORMS FOR
 TRASH RECEPTACLES TO BE LOCATED
 ABOVE FLOODPLAIN (TYP.)

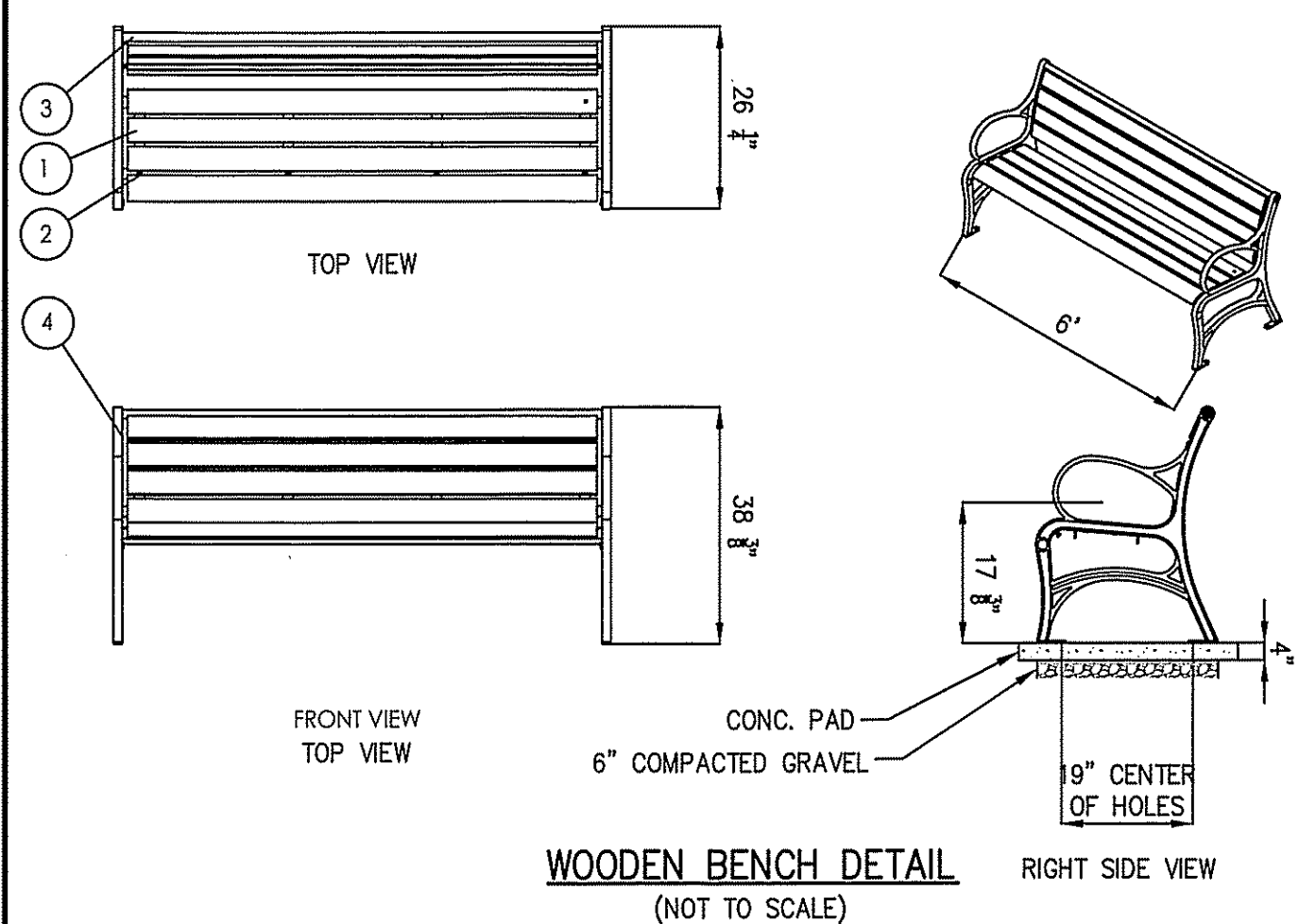
TWO (2) TANDEM PARKING
 SPACES (9'X18') (TYP.)

SCALE: 1" = 10'

0 5 10 20



- (1) SEAT STRAPS - IPE WOOD SLATS
- (2) SEAT SUPPORTS - $\frac{5}{8}$ " X 1 $\frac{1}{2}$ " STEEL FLAT BAR
- (3) SUPPORT PIPES - $\phi 1.315$ " X .133" STEEL PIPE
- (4) END UNIT - 1 $\frac{1}{4}$ " CAST IRON WITH $\frac{9}{16}$ " MOUNTING HOLES
- (5) MOUNTED WITH FOUR $\phi \frac{1}{2}$ " X 4-5" STAINLESS STEEL ANCHOR BOLTS



DIMENSIONAL & DENSITY TABLE		
BEACH COMMERCIAL DISTRICT (RESIDENTIAL USE) & BEACH OVERLAY DISTRICT		
CRITERIA	REQUIRED	PROPOSED
LOT AREA	NO RESTRICTIONS	12,100 SF
MINIMUM FRONTAGE	NO RESTRICTIONS	108.5 FT
MIN. FRONT YARD SETBACK	5' (2)	5 FT
MIN. SIDE YARD SETBACK	(1)(2)	5 FT
MIN. REAR YARD SETBACK	(1)(2)	5 FT
MAX. BUILDING HEIGHT	65 FT (3)	39'-3" FT
MAX. % OF BUILDING LOT COVERAGE	90	50%
MIN. NUMBER OF PARKING SPACES REQUIRED PER UNIT	2 PER DWELLING UNIT (22 MINIMUM)	24 SPACES

- (1) THE SETBACK REQUIREMENTS SHALL BE BASED ON 10'-0" FOR NON-FIRE-RATED STRUCTURES AND 5'-0" FOR FIRE RESISTANT STRUCTURES.
- (2) ACCORDING TO ARTICLE IV DIMENSIONAL REGULATIONS 300-19 OF THE TOWN OF DALLAS ZONING BYLAW, STAIRS, TWENTY-FIVE SQUARE FEET OF LANDING OR SPACE FOR EGRESS ONLY, ROOF OVERHANGS AND BAY WINDOWS 24 INCHES MAXIMUM ARE STRUCTURES EXEMPT FROM THE SETBACK REQUIREMENTS.
- (3) ACCORDING TO BEACH OVERLAY DISTRICT.

SITE COVERAGE SCHEDULE		
SURFACE	EXISTING	PROPOSED
PAVEMENT/COMPACTED GRAVEL	12,100 SF	0
PEA STONE PERVIOUS SURFACE	0	10,000± SF (3,106 DRIVEWAY + 6,903 UNDER BUILDING)
DUNE VEGETATION	0	2091± SF
TOTAL	12,100 SF	12,100 SF

REQUIRED: 2 PARKING SPACES PER DWELLING UNIT

2 PARKING SPACES X 11 DWELLING UNITS = 22 PARKING SPACES REQUIRED

PROPOSED: $(2 \times 11) + 2 = 24$ PARKING SPACES
2 SPACES BELOW EACH UNIT + 2 VISITOR SPACES

SNOW REMOVAL SHALL BE DONE BY THE HOMEOWNERS ASSOCIATION. SNOW SHALL BE STOCKPILED IN THE AREAS SHOWN HEREON TO THE MAXIMUM EXTENT PRACTICABLE. EXCESS SNOW TO BE REMOVED FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.

EACH UNIT WILL HAVE ONE TRASH BARREL AND ONE RECYCLABLES BARREL. THE BARRELS WILL BE MOVED TO THE FRONTAGE OF THE PROPERTY FOR PICKUP BY A PRIVATE COMPANY. THE RECYCLABLES AND TRASH WILL BE PICKED UP IN DIFFERENT DAYS, SO THERE IS A TOTAL OF ONLY 11 BARRELS ON THE PROPERTY FRONTAGE.

POSTED SPEED LIMIT ON NORTH END BOULEVARD IS 20 MPH. ASSHTO REQUIREMENTS FOR SIGHT DISTANCE IN A 20 MPH SPEED LIMIT IS ONE HUNDRED AND FIFTEEN FEET (115). THE SIGHT DISTANCE AT THE NEW PROPOSED ENTRANCE MEETS THIS REQUIREMENT.

SITE PREPARATION NOTES:

- 1. ALL MATERIALS REMOVED FROM THE PREMISES SHALL BE DONE SO IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS FOR HAULING AND DISPOSAL.
- 2. COORDINATE ANY UTILITY DIS-CONNECTIONS WITH APPROPRIATE SERVICE PROVIDERS.
- 3. COORDINATE WITH TOWN OF SALISBURY DEPARTMENT OF PUBLIC WORKS.

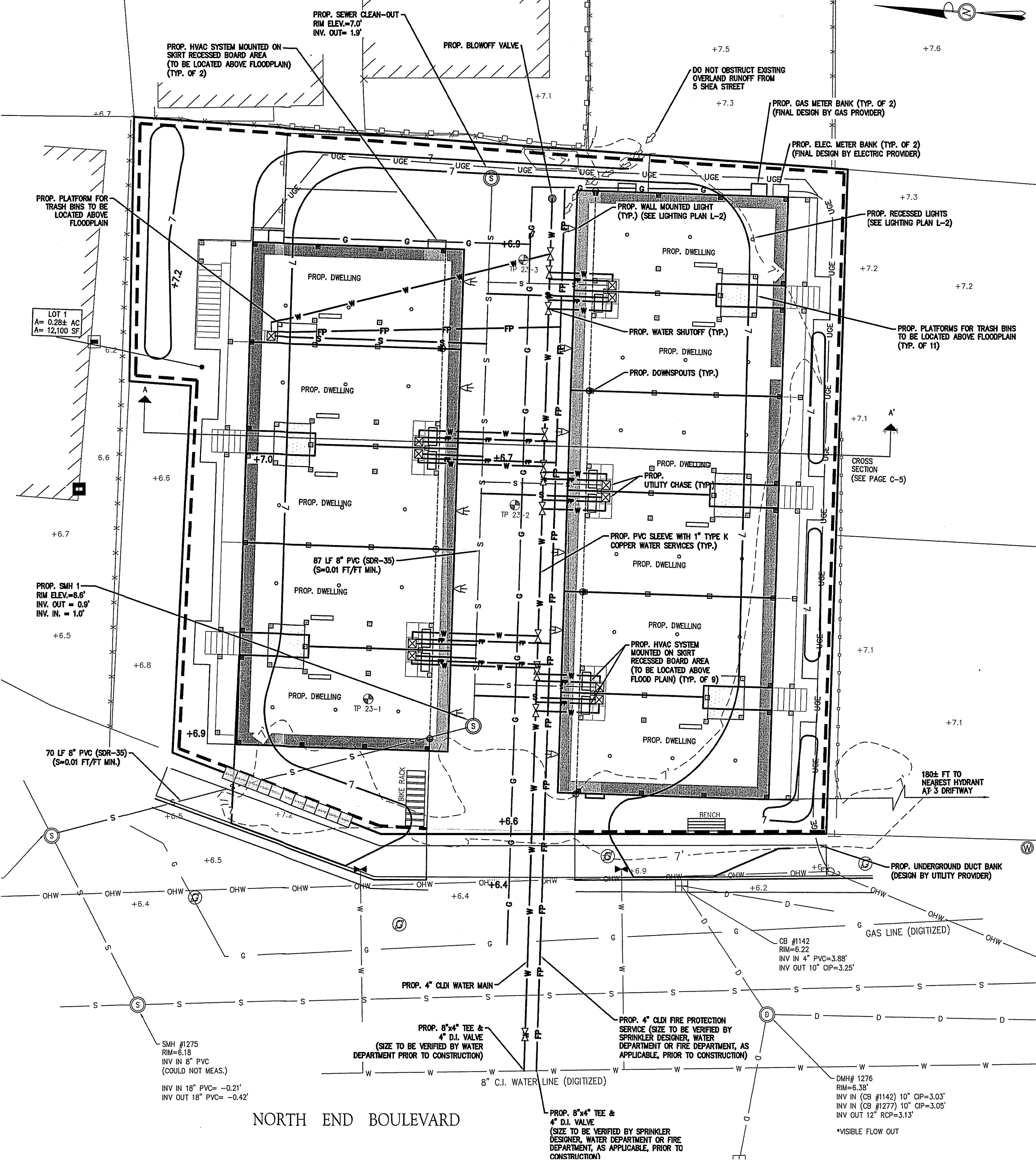
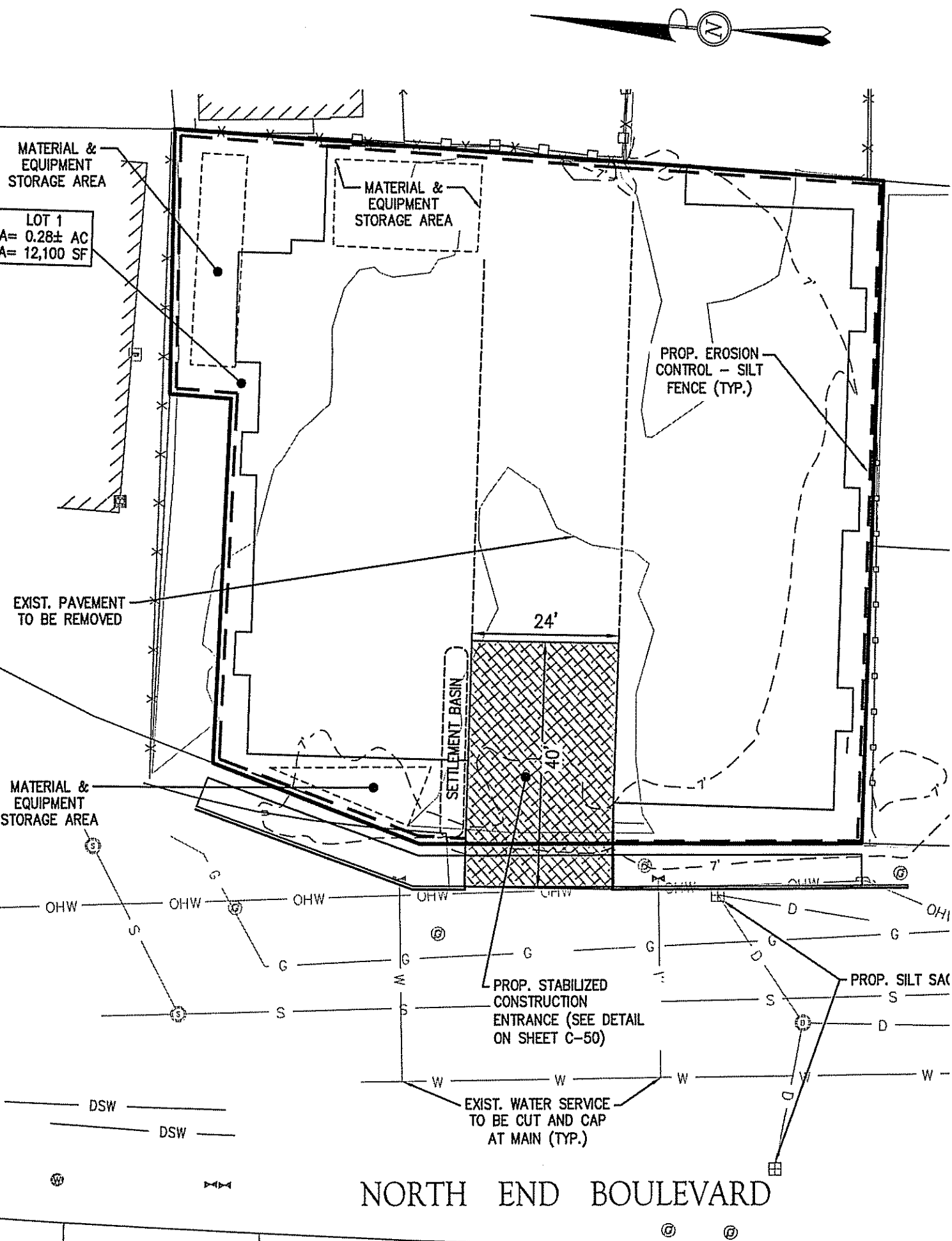
DEMOLITION NOTES:

- 1. CONTRACTOR TO CUT AND CAP ALL EXISTING UTILITY SERVICES PROPOSED TO BE REMOVED AT THE MAIN, IN ACCORDANCE WITH TOWN BUILDING DEMOLITION REGULATIONS, PRIOR TO CONSTRUCTION. TEE SERVICE CONNECTIONS SHALL BE REMOVED FROM THE MAIN AND REPLACED WITH A MINIMUM OF 4 FT. OF NEW CLDI PIPE.

EROSION AND SEDIMENTATION CONTROL:

WIDELY ACCEPTED PRACTICES FOR REDUCING EROSION AND SEDIMENTATION WILL BE EMPLOYED IN THE DEVELOPMENT OF THIS SITE.

- 1. THE DEVELOPMENT OF THE SITE HAS BEEN PLANNED TO MATCH EXISTING TOPOGRAPHY AND GROUND COVER. EXISTING DRAINAGE PATTERNS OF THE SITE HAVE BEEN MAINTAINED TO THE EXTENT PRACTICABLE.
- 2. THE CONTRACTOR SHALL MINIMIZE THE AREA OF DISTURBED LAND TO THE EXTENT FEASIBLE.
- 3. SEDIMENT CONTROL MEASURES WILL BE APPLIED TO CONTROL ANY SEDIMENTS THAT MAY BE PRODUCED AS A RESULT OF SITE CONSTRUCTION ACTIVITIES. EROSION AND DEPOSITION OF SEDIMENT WILL BE CLOSELY MONITORED DURING CONSTRUCTION.
- 4. TEMPORARY EROSION CONTROL MEASURES WILL INCLUDE, BUT NOT BE LIMITED TO, FILTER FABRIC SILT FENCES AND SILT SACKS FOR CATCH BASINS.
- 5. SITE DEVELOPMENT WILL NOT COMMENCE UNTIL ALL TEMPORARY EROSION CONTROL MEASURES ARE IN PLACE. THESE MEASURES SHALL BE EMPLOYED UNTIL FINAL PAVING AND ADEQUATE VEGETATION HAS BEEN ESTABLISHED.
- 6. NOTIFY THE TOWN OF SALISBURY AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.



GENERAL UTILITY NOTES:

- 1. THE GENERAL CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE GENERAL CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
- 2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
- 3. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE ELECTRIC, CABLE AND TELEPHONE COMPANIES, GAS PROVIDER AND SALISBURY MUNICIPAL UTILITY DEPARTMENTS TO VERIFY THE LOCATION, SIZE AND TYPE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- 4. THE EXCAVATING OF TRENCHES, THE METHODS AND MATERIALS OF BACKFILLING, AND ALL OTHER MATTERS RELATING TO THE INSTALLATION OF WATER PIPES, SEWER LINES, STORM DRAINS, SUBSURFACE DRAINS, AND ALL OTHER UNDERGROUND UTILITIES SHALL BE CONSISTENT WITH GOOD CONSTRUCTION PRACTICES AND SHALL AT ALL TIMES BE SUBJECT TO THE INSPECTION BY THE APPLICABLE CITY DEPARTMENTS.
- 5. ALL TRENCHES SHALL BE TAMPED WITH A POWER TAMPER AT INTERVALS NOT GREATER THAN ONE (1) FOOT.
- 6. ALL UTILITY PENETRATIONS AT THE FOUNDATIONS SHALL BE ADJUSTED BASED ON THE FINAL CONSTRUCTION DRAWINGS.

WATER AND SEWER NOTES:

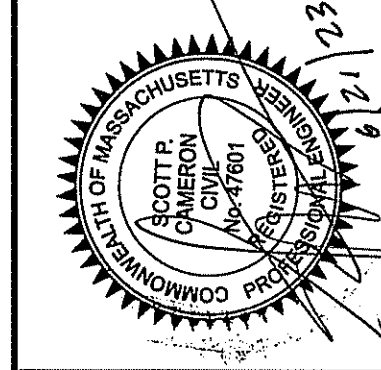
- 1. SEWER SERVICE AND WATER CONNECTIONS SHALL BE COORDINATED WITH THE SALISBURY SEWER AND WATER DEPARTMENTS.
- 2. A MINIMUM OF 10 FEET CLEAR HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN SANITARY SEWER PIPES AND WATER PIPES UNLESS CONDITIONS PREVENT A LATERAL SEPARATION OF LESS THAN 10 FEET. WHERE SANITARY SEWERS CROSS WATER SERVICES OR A MINIMUM OF 10 FEET LATERAL SEPARATION CANNOT BE ACHIEVED, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER PIPE. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER PIPE SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL-JOINT PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER PIPE SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHENEVER IT IS IMPOSSIBLE TO OBTAIN VERTICAL SEPARATION AS STIPULATED ABOVE, THE WATER PIPE SHALL BE SLEEVED IN PVC FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE SEWER PIPE AND SEALED AT EACH END.
- 3. ALL GRAVITY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR-35 UNLESS OTHERWISE NOTED.
- 4. WATER SERVICE CONNECTIONS SHALL HAVE A MINIMUM 5' OF COVER TO PREVENT FREEZING.

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25 BEDFORD AVENUE, HAVERHILL, MASSACHUSETTS 01830

P: 978-373-0310, W: WWW.MORNCAMERON.COM



REVISIONS		SURVEY BY:	MOG
1	ADDRESSED TOWN STAFF COMMENTS	03/23/23	
2	ADDRESSED TOWN STAFF COMMENTS	06/07/23	
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		CHECKED BY:	SFC
		APPROVED BY:	SFC
		SCALE:	AS NOTED
		DATE:	FEBRUARY 1, 2023

SITE DEVELOPMENT PLANS

IN

SALISBURY, MASSACHUSETTS

14,16 & 18 NORTH END BOULEVARD

(ASSESSOR'S MAP 33, LOTS 248, 249 & 250)

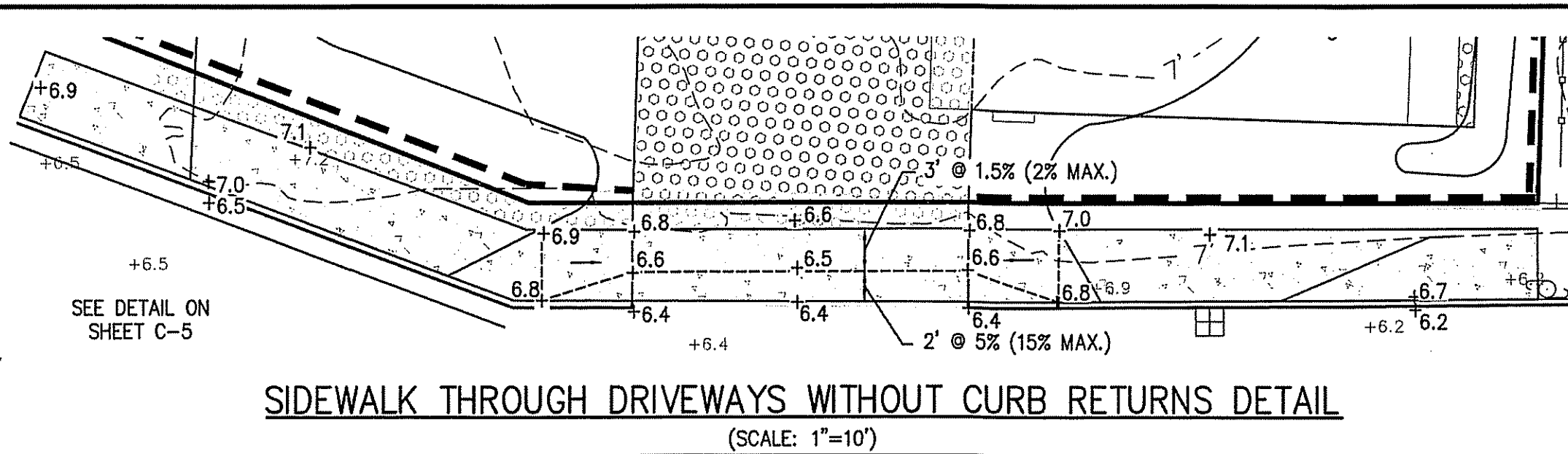
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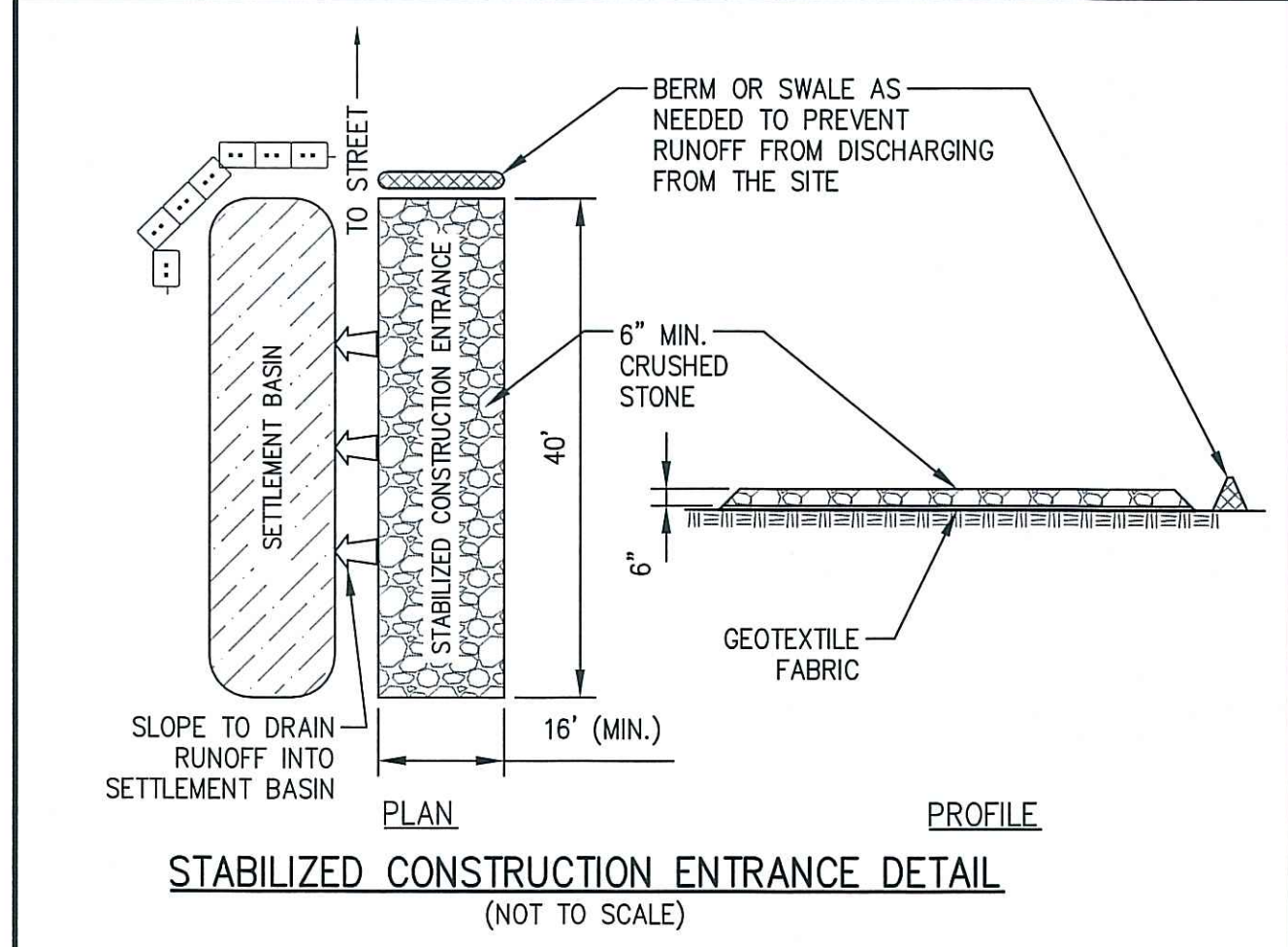
18 NE BLVD LLC

GRADING, DRAINAGE & UTILITIES

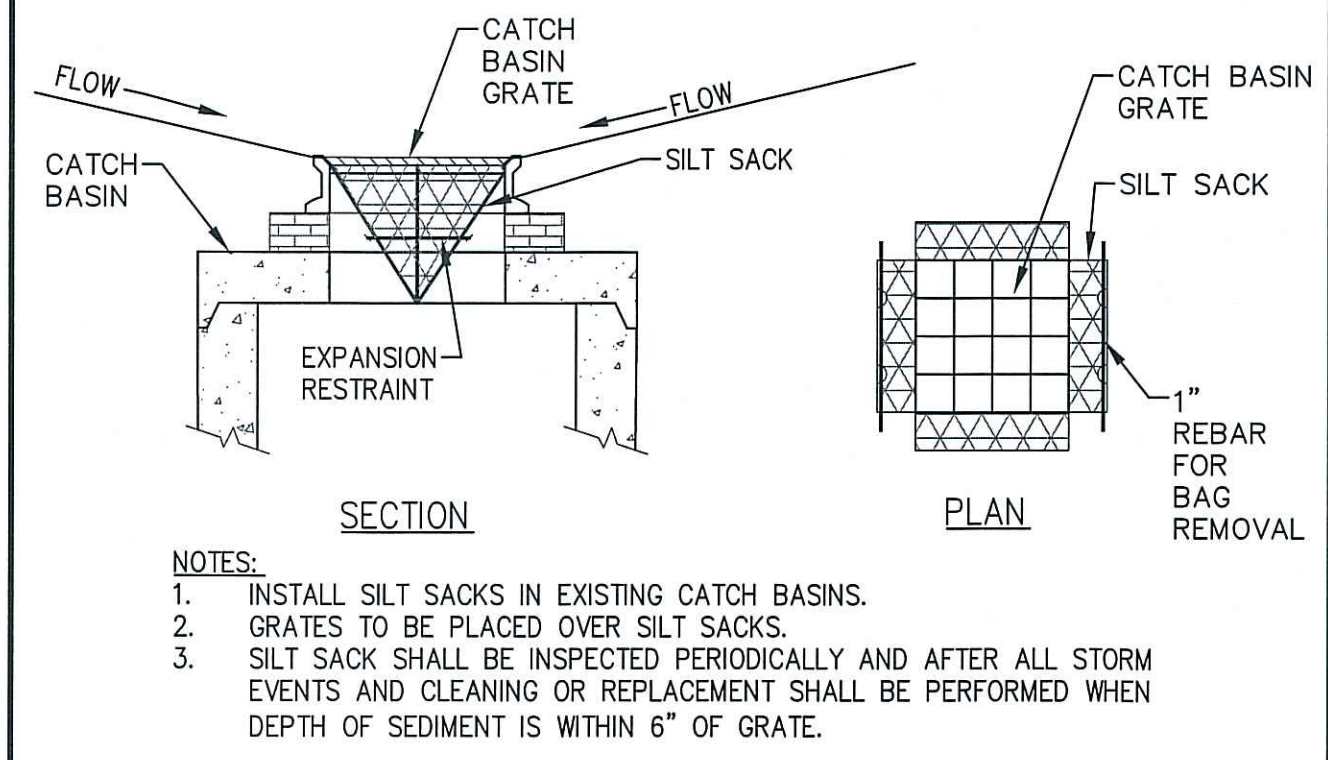
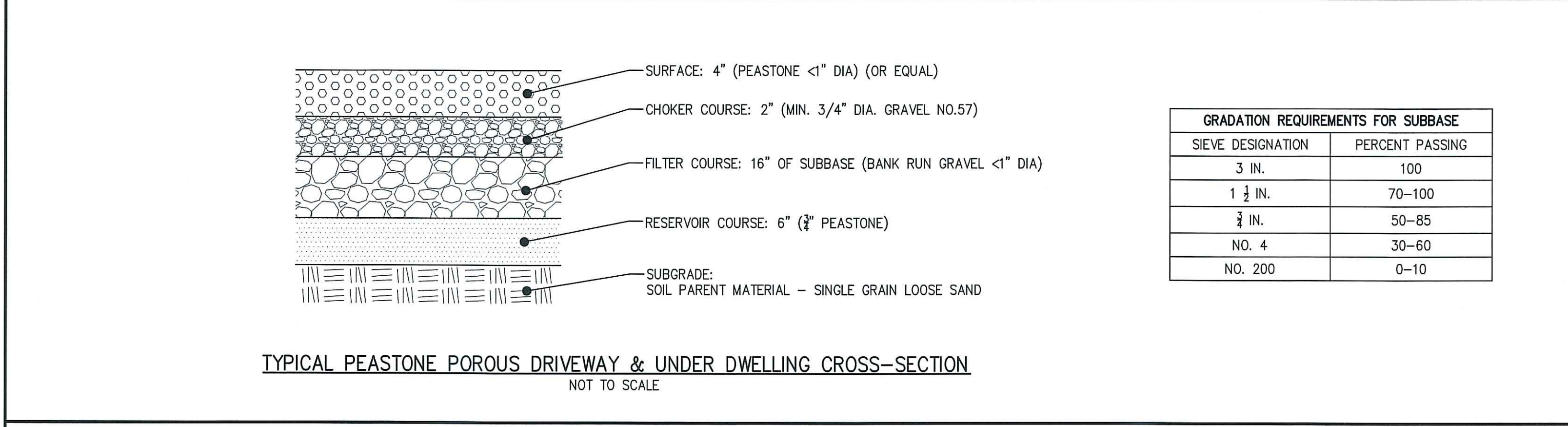
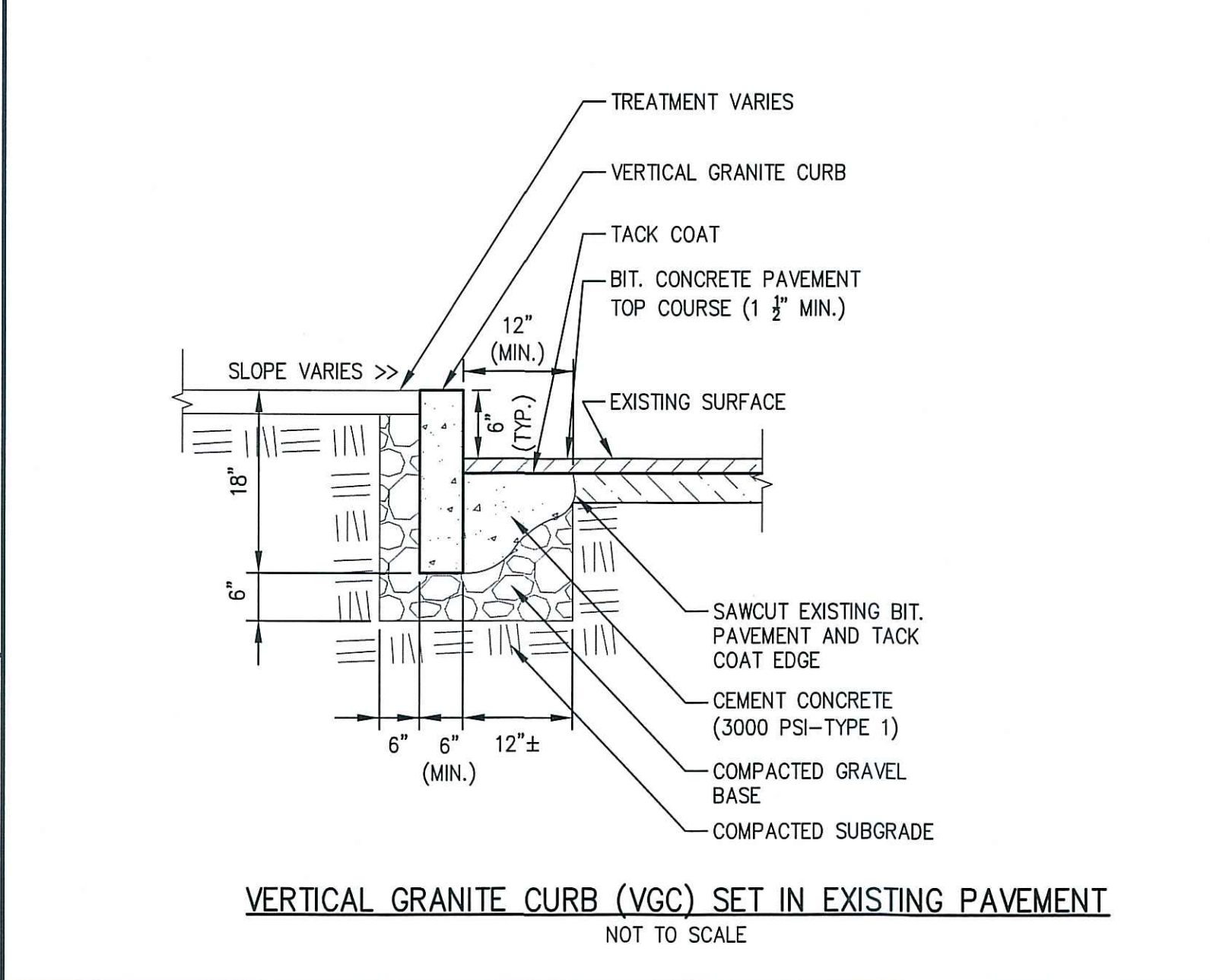
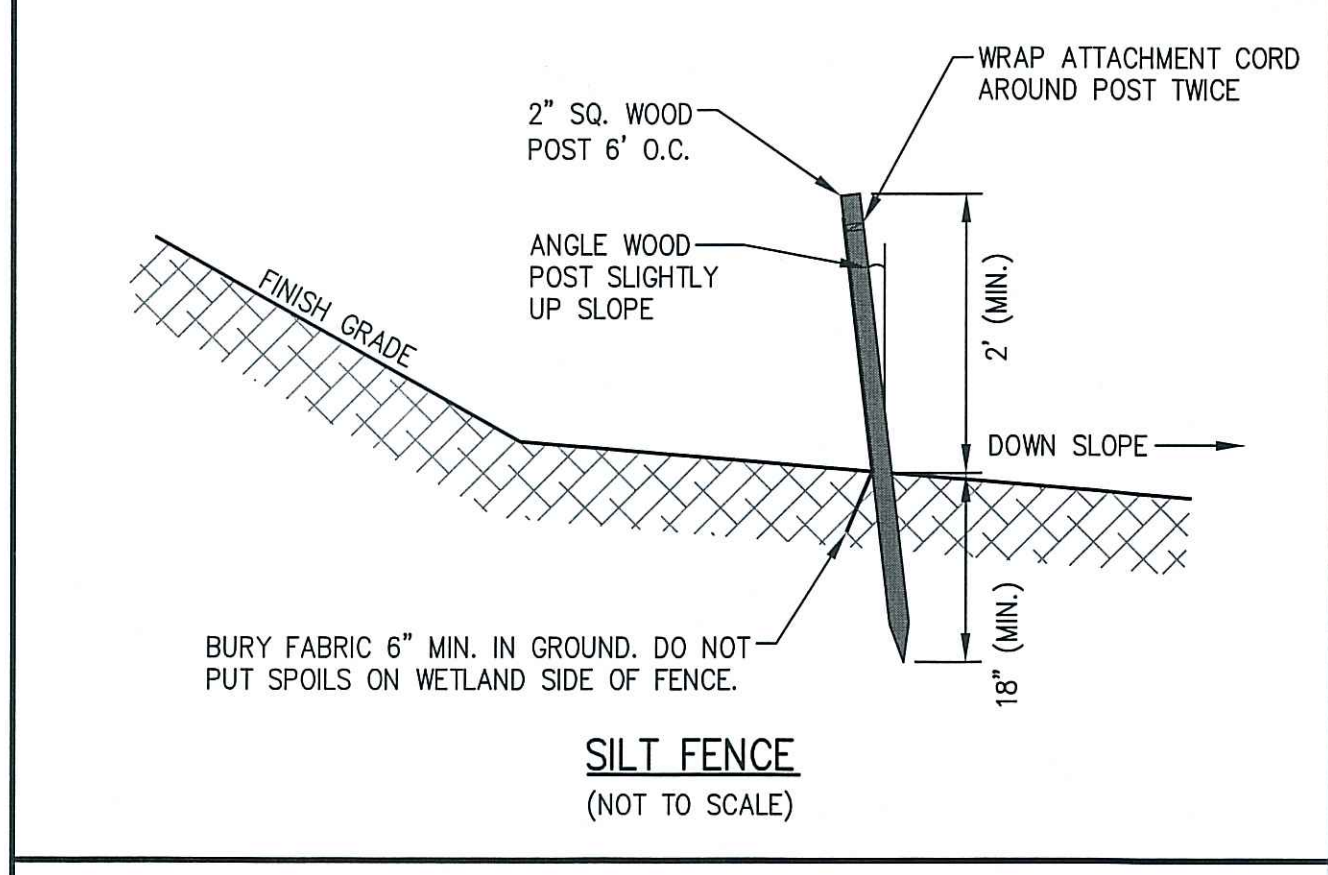
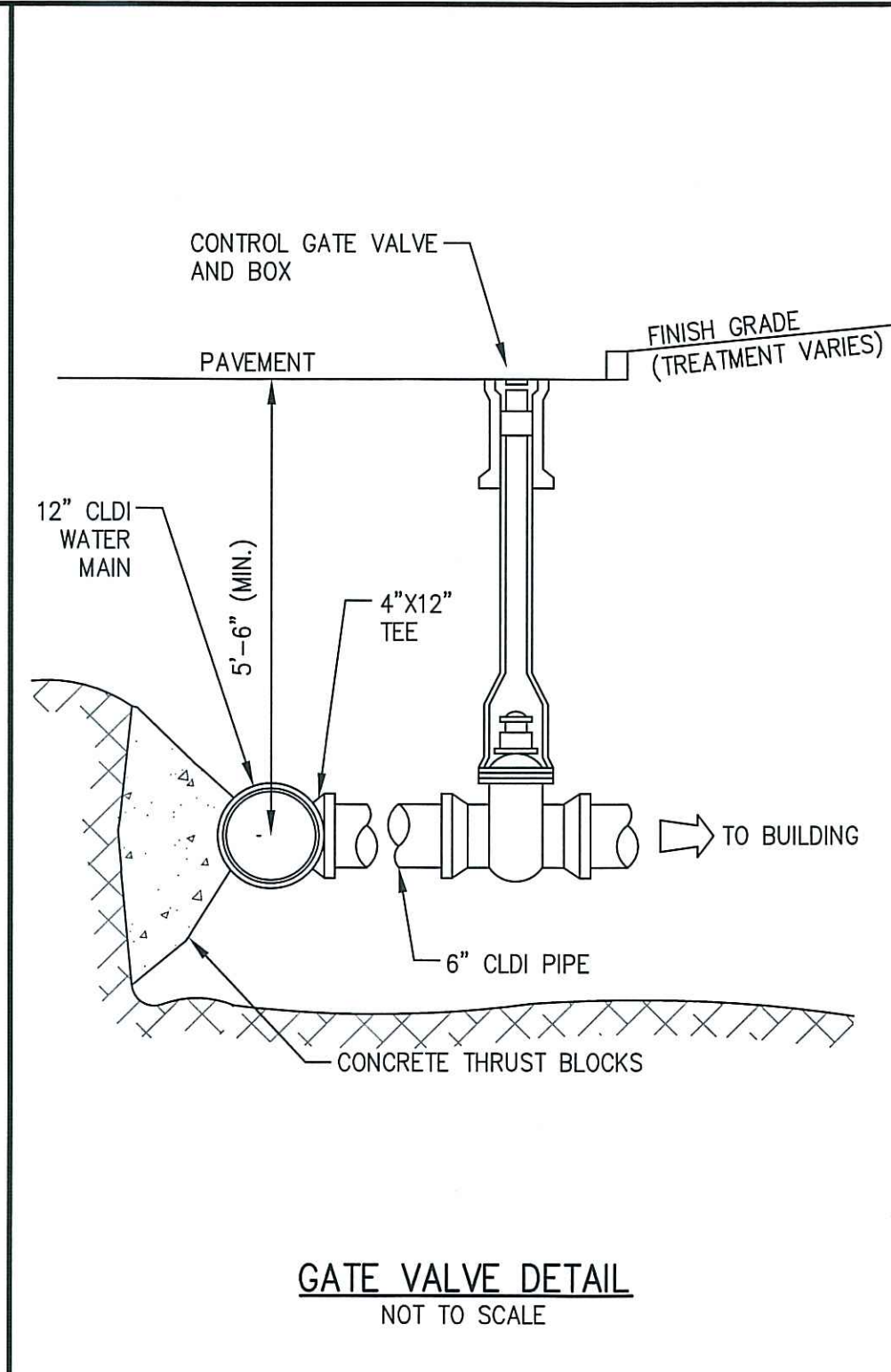
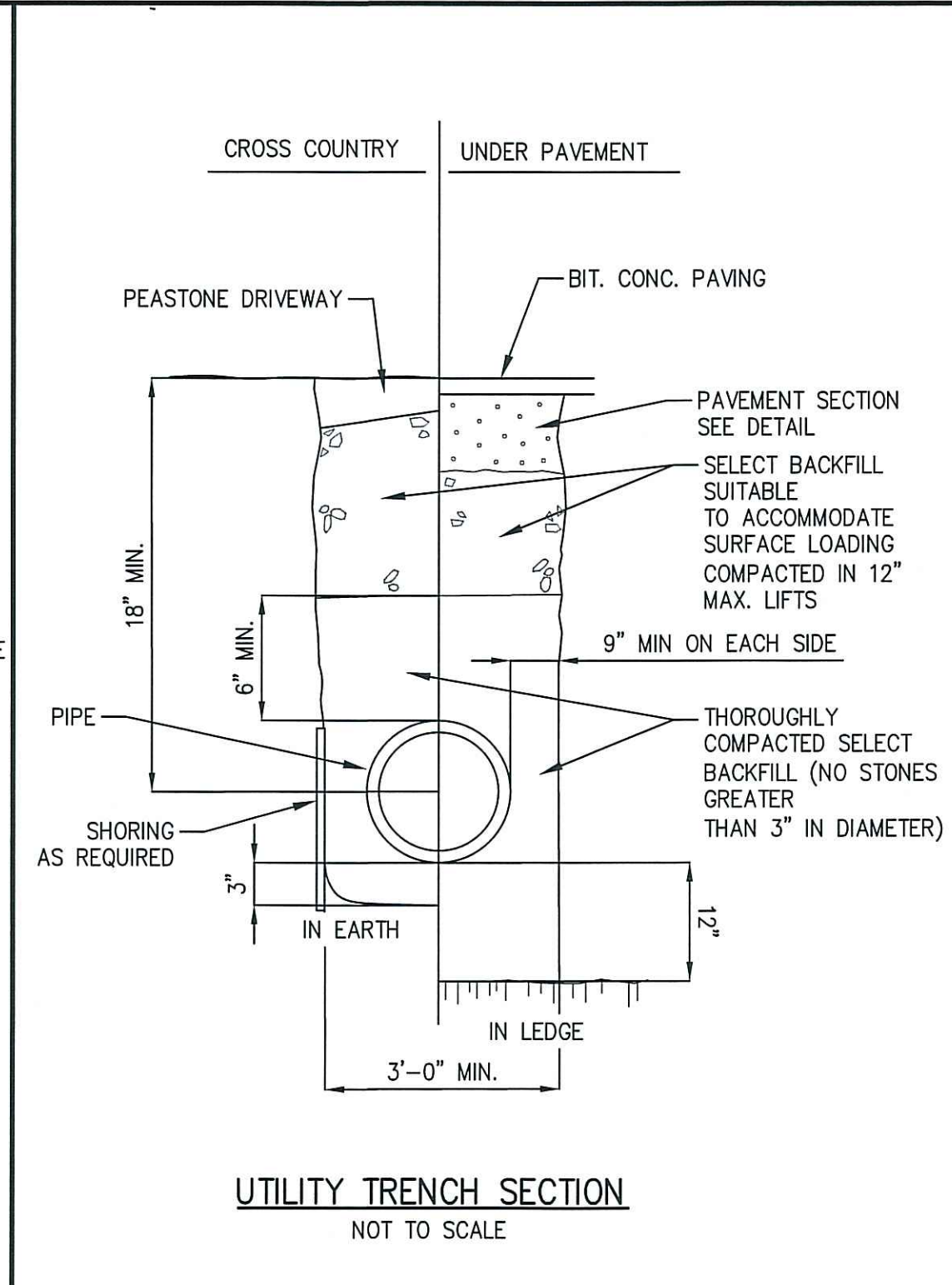
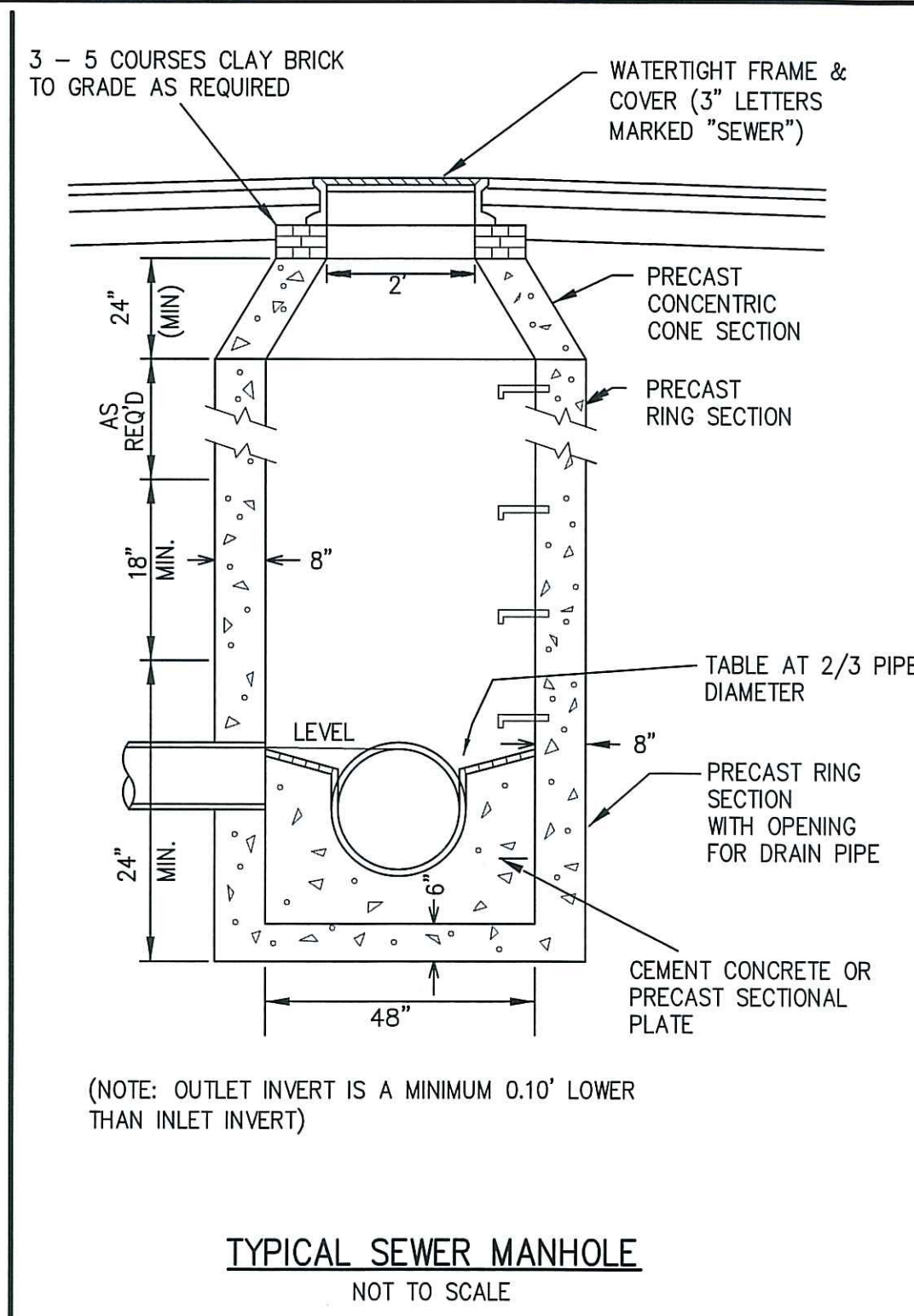
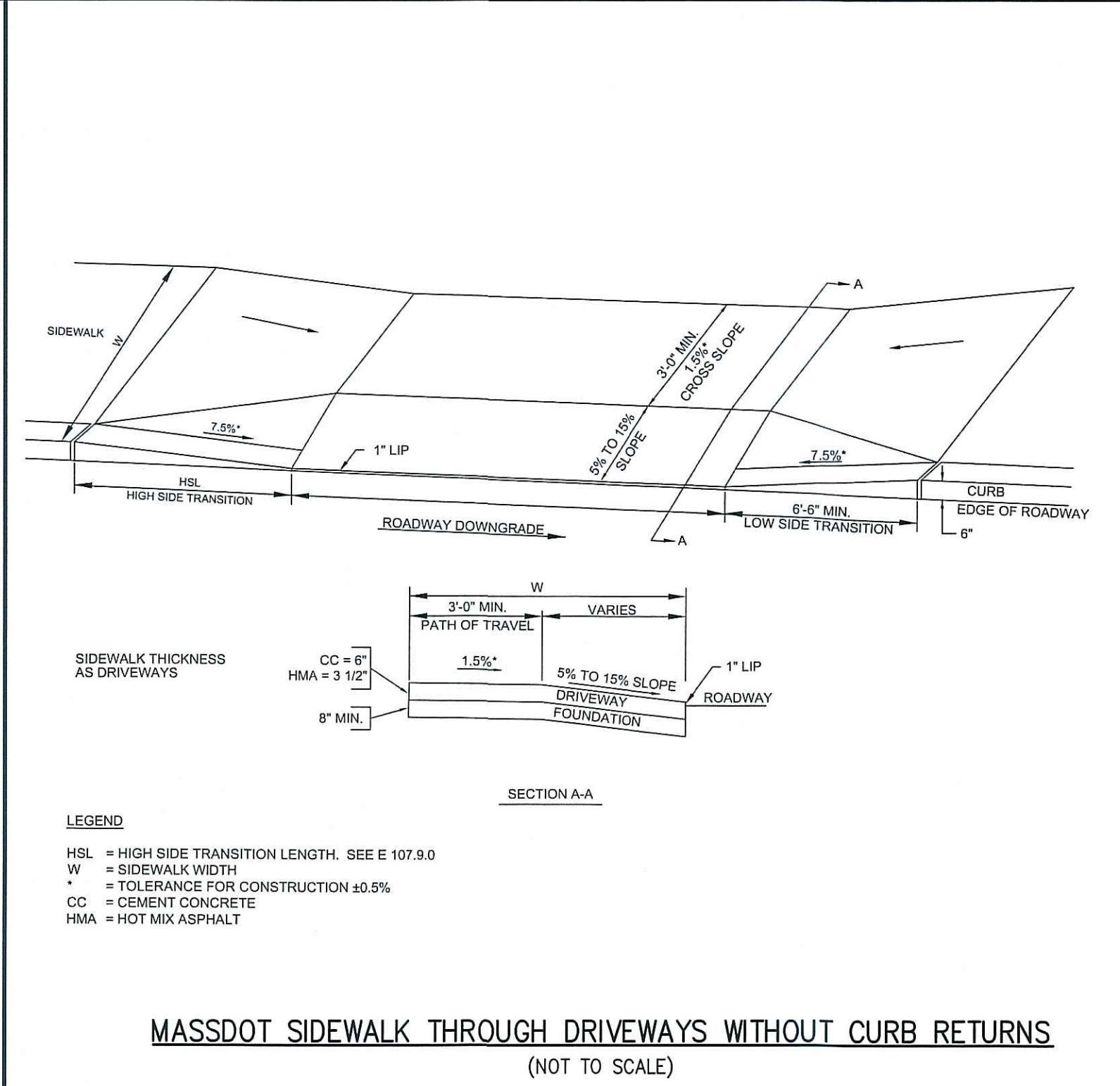
C-4

DRAWING NO.

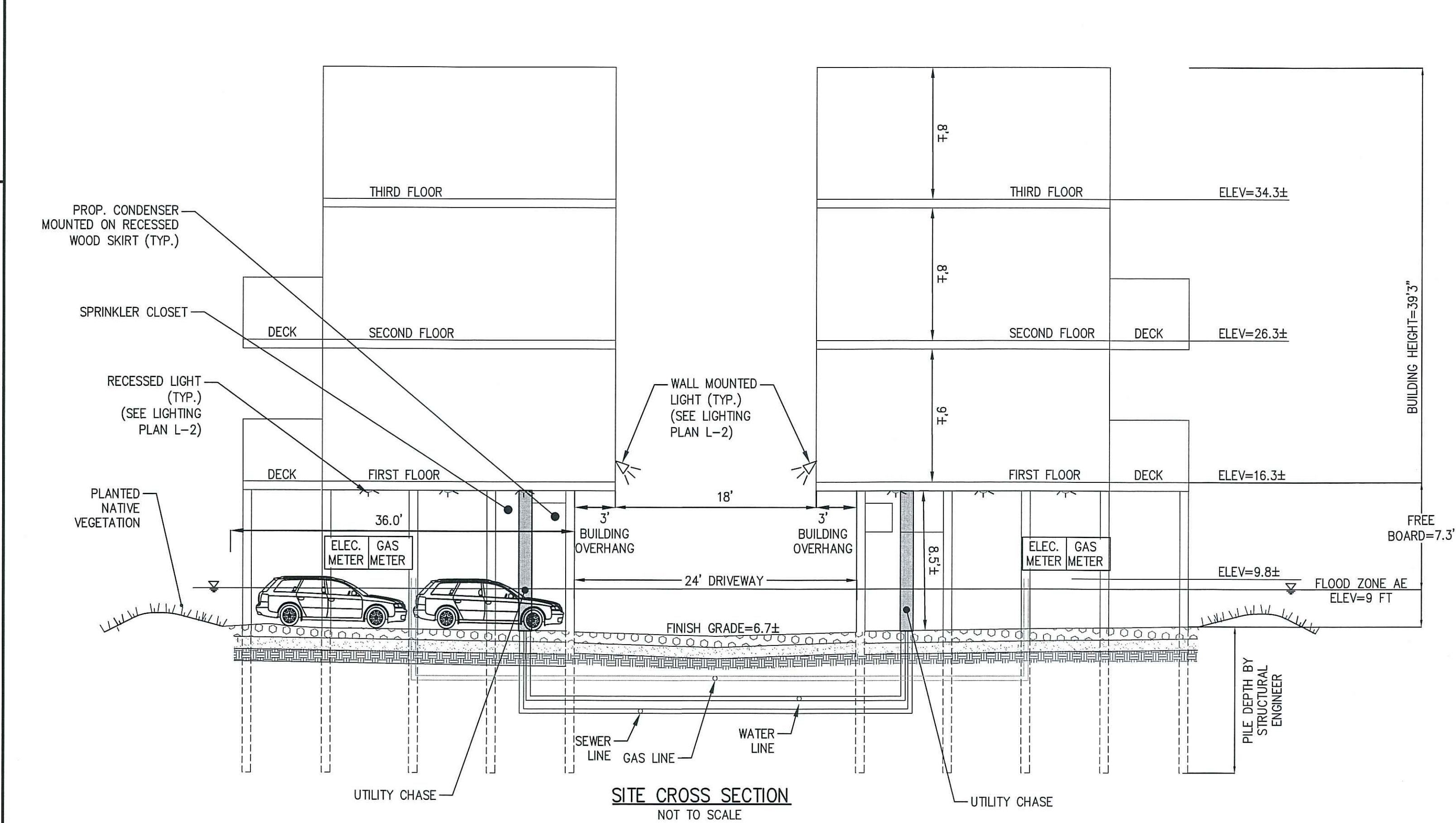
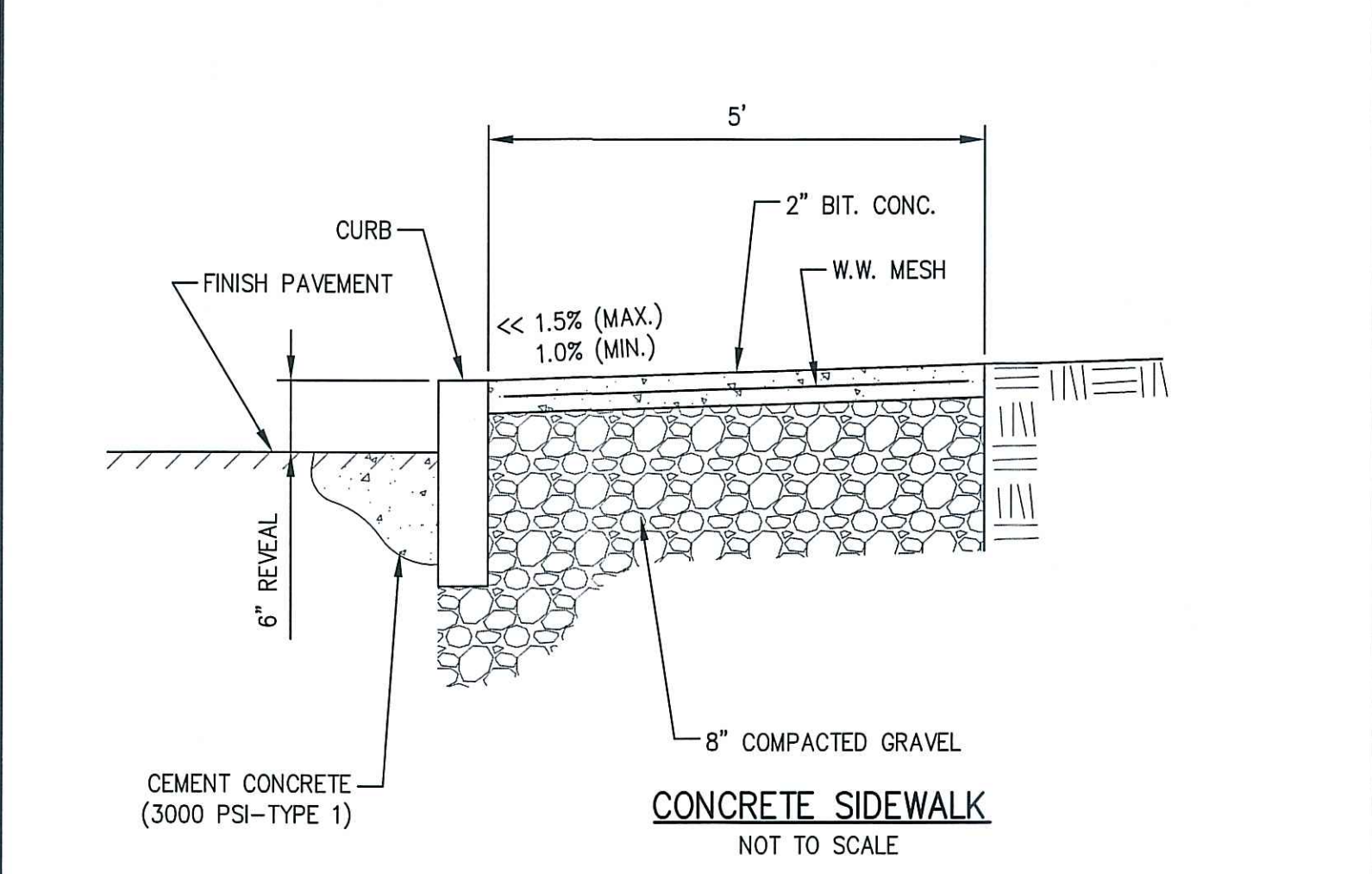




- CONSTRUCTION ENTRANCE SPECIFICATIONS FOR:**
1. STONE FOR STABILIZATION CONSTRUCTION ENTRANCE SHALL BE 2-4" STONE.
 2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 40 FEET.
 3. THE WIDTH OF THE ENTRANCE SHALL BE NO LESS THAN THE WIDTH OF THE INGRESS OR EGRESS DRIVE, OR 16 FEET, WHICHEVER IS GREATER.
 4. GEOTEXTILE FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE.
 5. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARDS THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH MINIMUM 1 TO 5 SLOPES THAT CAN BE CROSSED BY VEHICLES CAN BE SUBSTITUTED.
 6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO RIGHTS OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. SEDIMENT SPILLED, WASHED OR TRACKED ONTO THE RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.



- NOTES:**
1. PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE-MOLDED JOINT FILLER.
 2. PROVIDE CONTROL JOINTS AR 6' O.C.
 3. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.
 4. CEMENT CONCRETE SHALL BE 4,000 PSI-TYPE II.



The Morin-Cameron GROUP, INC.

CIVIL ENGINEERS / ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS / LAND USE PLANNERS
25 REARVIEW AVENUE SUITE 01630
PEABODY, MASSACHUSETTS 01960
TEL: 978-375-3751 FAX: 978-375-3752
WWW.MORIN-CAMERON.COM

REVISIONS

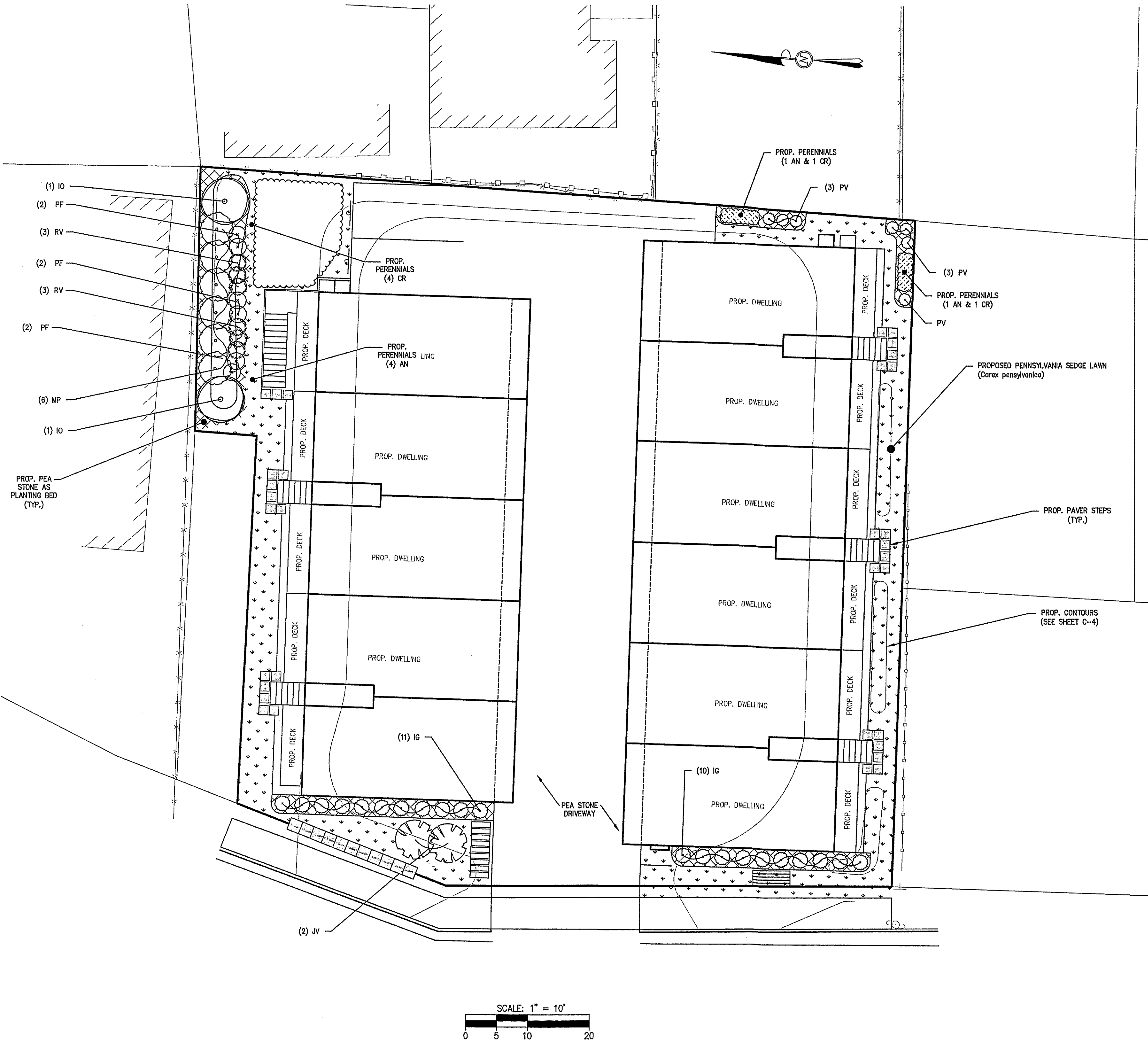
NO.	ADDRESS	DATE	COMMENTS
1	ADDRESSED TOWN STAFF COMMENTS	03/23/23	
2	ADDRESSED TOWN STAFF COMMENTS	06/07/23	
3	ADDRESSED TOWN STAFF COMMENTS	06/21/23	

SITE DEVELOPMENT PLANS
IN
SALISBURY, MASSACHUSETTS
14,16 & 18 NORTH END BOULEVARD
(ASSESSOR'S MAP 33, LOTS 246, 249 & 250)
PREPARED FOR:
18 NE BLVD LLC

DETAILS

DRAWING NO. **C-5**

SURVEY BY: MCG
DRAFTED BY: LNO
CHECKED BY: SFC
APPROVED BY: SFC
SCALE: 1"=20'
DATE: FEBRUARY 1, 2023



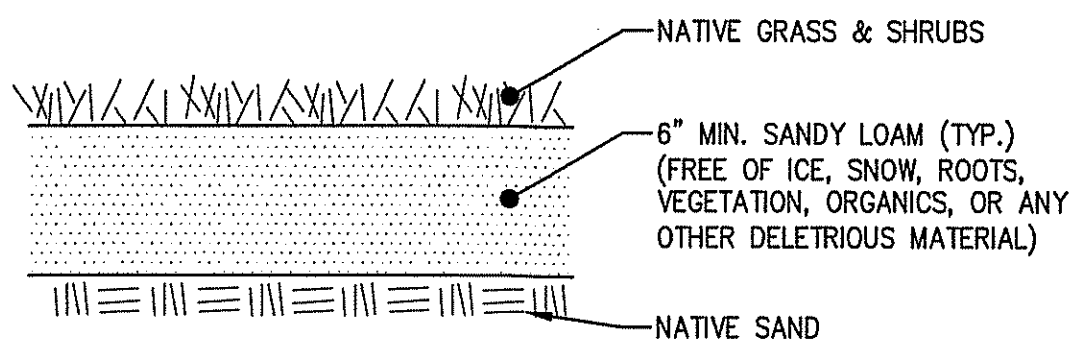
LANDSCAPING NOTES:

1. LANDSCAPE DESIGN BY JARRET BASTYS, E.I.T., B.S. ENVIRONMENTAL ENGINEERING & LANDSCAPE ARCHITECTURE..
2. WHERE DISCREPANCIES OCCUR BETWEEN DRAWING AND PLANT NOTES OR SCHEDULE, DRAWINGS SHALL SUPERCEDE.
3. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK UNDER CLIMATIC CONDITIONS SIMILAR THOSE IN THE LOCALITY OF THE PROGRAM.
4. WATER ALL PLANTS IMMEDIATELY AFTER PLANTING.
5. CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.
6. PLANTS SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AS ORIGINAL GRADES BEFORE INSTALLATION.
7. PLANT MATERIALS AND TRANSPLANTING SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN STANDARD OF NURSERY STOCK.
8. ALL LANDSCAPED AREAS WITH SHRUBS AND TREES HAVE A MINIMUM OF 2' OF TOPSOIL. USE OF PEAT MOSS IS PROHIBITED.
9. ALL LAWN AREAS HAVE A MINIMUM OF 6" OF TOPSOIL. USE OF PEAT MOSS IS PROHIBITED
10. ALL PLANTING AREAS ARE COVERED WITH AT LEAST 3" OF PREMIUM BARK MULCH.
11. ALL EXPOSED BURLAP, WIRE BASKETS, AND OTHER MATERIALS ATTACHED TO THE PLANTS SHALL BE REMOVE PRIOR TO PLANTING. CARE SHALL BE TAKEN NOT TO DISTURB THE ROOT BALL OF PALATES.
12. IRRIGATION SYSTEM DESIGN NOT INCLUDED.
13. ALL PROPOSED PLANT SPECIES ARE NATIVE TO THIS REGION.

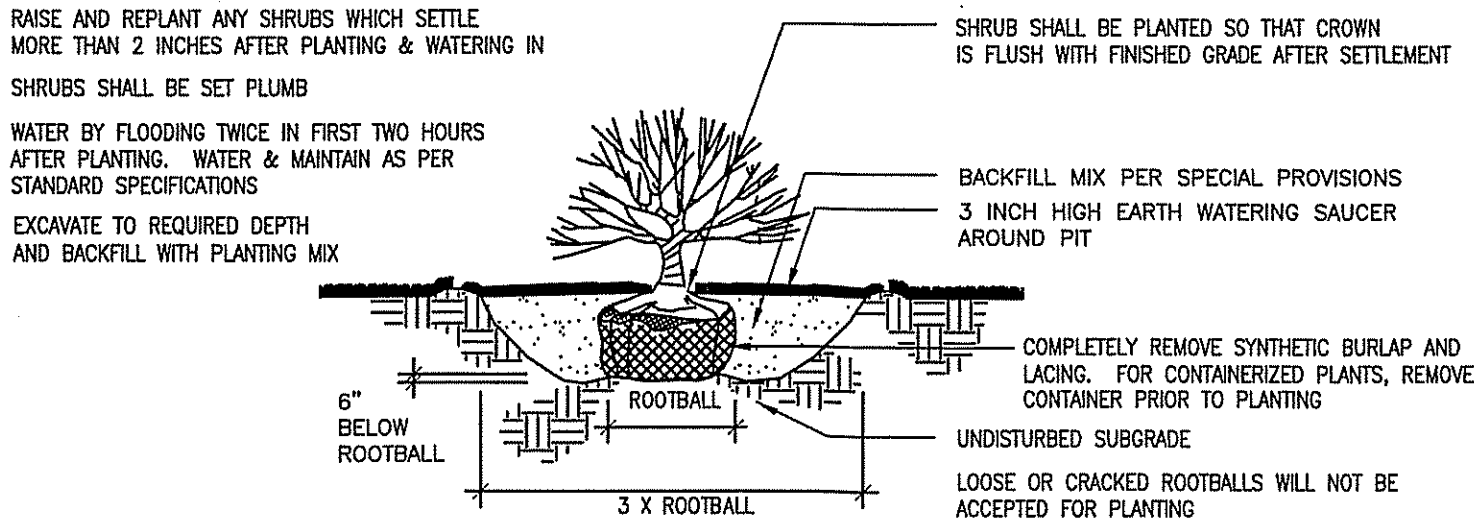
PLANT SCHEDULE					
ABBREVAITON	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	QUANTITY
TREES					
IO	AMERICAN HOLLY	<i>Ilex opaca</i>	8'-10' HT	AS SHOWN	2
JV	EASTERN RED CEDAR	<i>Juniperus virginiana</i>	8'-10' HT	AS SHOWN	2
SHRUBS					
MP	NORTHERN BAYBERRY	<i>Myrica pensylvanica</i>	3-4' HT	AS SHOWN	6
PF	SHRUBBY CINQUEFOIL	<i>Potentilla fruticosa</i>	2 GALLON	AS SHOWN	6
RV	VIRGINIA ROSE	<i>Rosa virginiana</i>	2 GALLON	AS SHOWN	6
IG	INKBERRY	<i>Ilex glabra</i>	2 GALLON	AS SHOWN	21
PERENNIALS & GRASSES					
AN	NEW ENGLAND ASTER	<i>Aster novae-angliae</i>	1 GALLON	18" O.C.	6
CR	PINK TICKSEED	<i>Coreopsis rosea</i>	1 GALLON	18" O.C.	6
PV	SWITCHGRASS	<i>Panicum virgatum 'Shenandoah'</i>	2 GALLON	AS SHOWN	7

KEY MAP

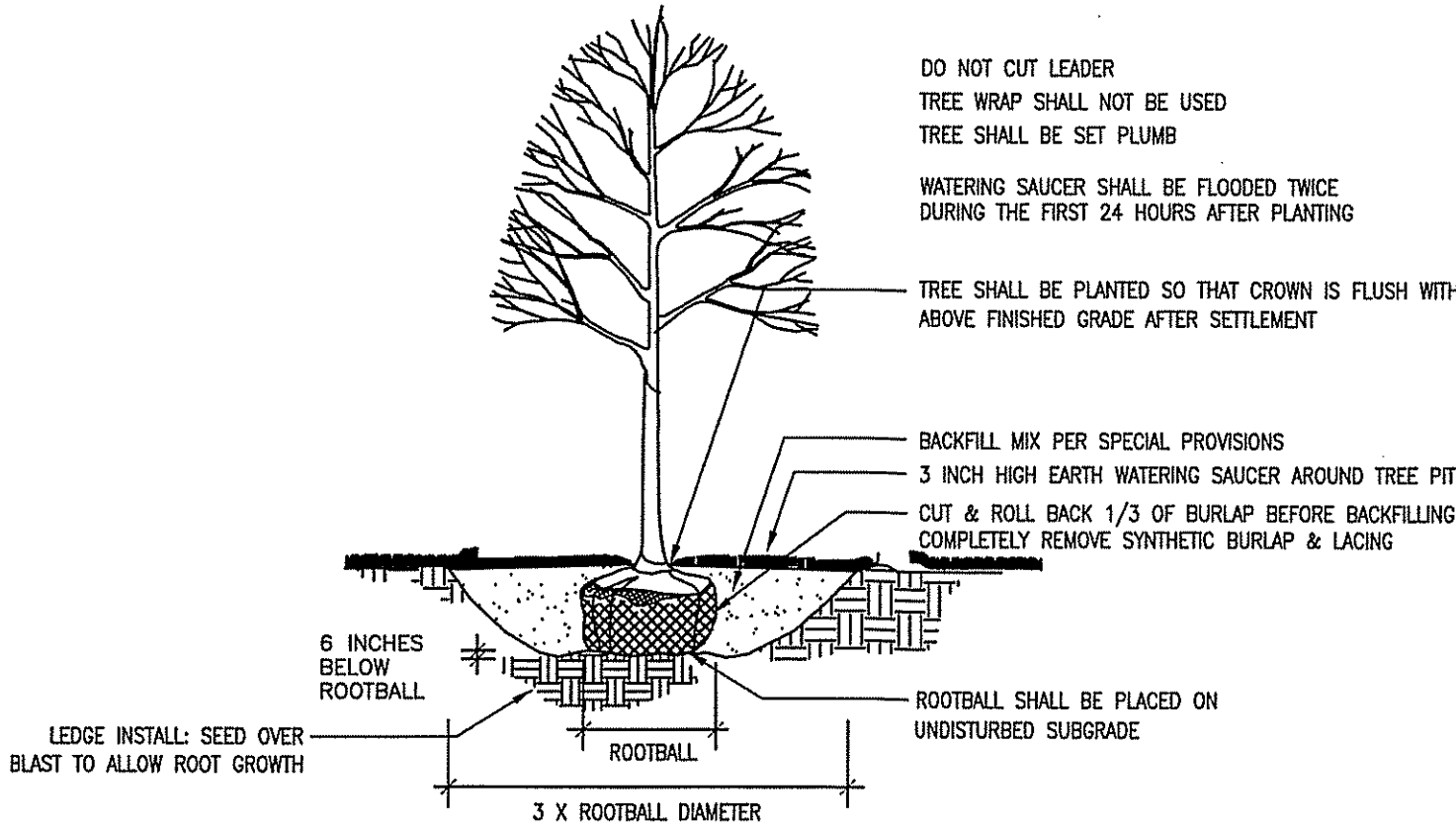
- PEA STONE PLANTING BED
- PERENNIALS
- PENSYLVANNIA SEDGE LAWN



NATIVE PLANTING
(NOT TO SCALE)

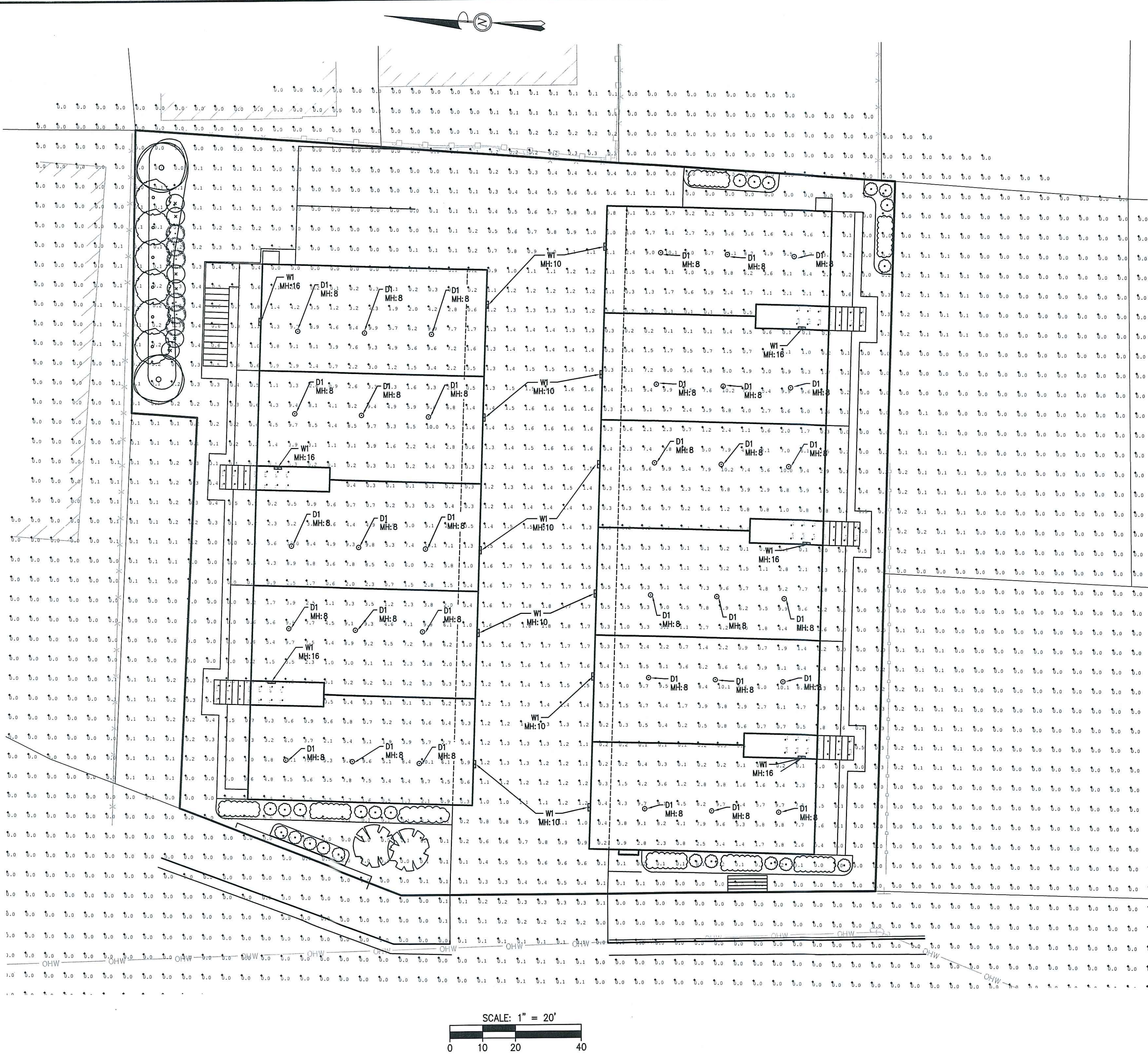


SHRUB PLANTING
(NOT TO SCALE)



TREE PLANTING
(NOT TO SCALE)

REVISIONS	
1	ADDRESSED TOWN STAFF COMMENTS 03/23/23
2	ADDRESSED TOWN STAFF COMMENTS 06/07/23
3	ADDRESSED TOWN STAFF COMMENTS 06/21/23



LIGHTING NOTES:

1. LIGHTING LOCATIONS SUBJECT TO CHANGE BASED ON FINAL ARCHITECTURAL DRAWINGS AND FINAL UTILITY DRAWINGS.
2. VALUES REPRESENTED ARE AN APPROXIMATION GENERATED FROM DATA SUPPLIED BY LAMP MANUFACTURER AND TESTING LABS.
3. PHOTOMETRIC DATA PROVIDED BY OMNILITE ILLUMINATE NE, REP: STEVE JOHNSON 603-490-2446.

LUMINAIRE SCHEDULE				
QTY	LABEL	ARR. WATTS	ARRANGEMENT	LLF
33	D1	7.8	SINGLE	0.900
17	W1	8	SINGLE	0.900

CALCULATION SUMMARY						
LABEL	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
SITE	Fc	0.94	10.2	0.0	N.A.	N.A.
STAIR_1_PLANAR	Fc	1.24	2.3	0.3	4.13	7.67
STAIR_2_PLANAR	Fc	1.23	2.8	0.2	6.15	14.00
STAIR_3_PLANAR	Fc	1.25	2.5	0.3	4.17	8.33
STAIR_4_PLANAR	Fc	1.24	2.5	0.3	4.13	8.33
STAIR_PLANAR	Fc	1.24	2.2	0.3	4.13	7.33

LED wall luminaires - directed

BEGA

Application
LED wall mounted luminaires with directed light designed to be mounted at various heights for general purpose illumination or glare free illumination when below eye level.

Materials
Luminaire housing constructed of die-cast marine grade, copper free ($\leq 0.3\%$ copper content) A360.0 aluminum alloy
Matte safety glass
Silicone applied robotically to casting, plasma treated for increased adhesion
High temperature silicone gasket
Mechanically captive stainless steel fasteners
NRTL listed to North American Standards, suitable for wet locations
Protection class IP65
Weight: 3.1 lbs

Electrical
Operating voltage 120-277VAC
Minimum start temperature -40°C
LED module wattage 6.1 W
System wattage 8.0 W
Controllability 0-10V, TRIAC, and ELV dimmable
Color rendering index Ra > 90
Luminaire lumens 504 lumens (3000K)
Lifetime at Ta=15°C >500,000 h (L70)
Lifetime at Ta=35°C 322,000 h (L70)

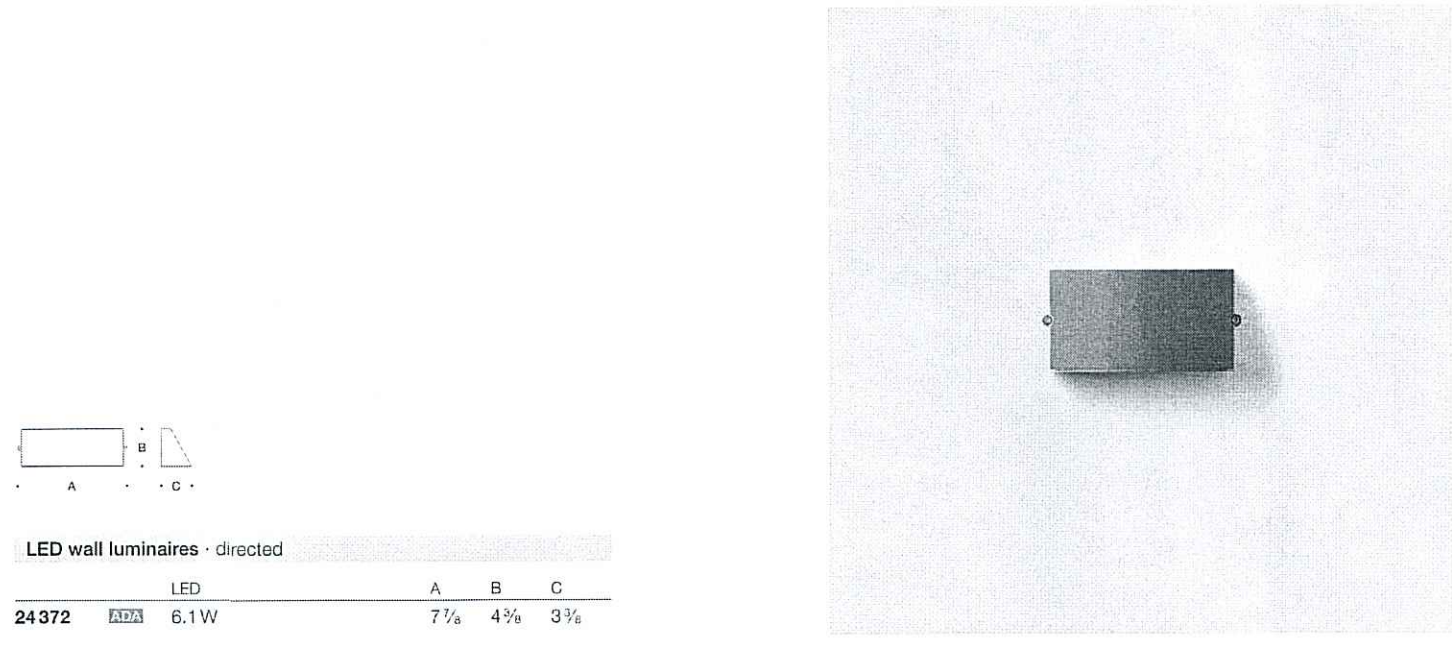
LED color temperatures
☐ 4000K - Product number + K4
☐ 3500K - Product number + K35
☐ 3000K - Product number + K3
☐ 2700K - Product number + K27

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

Finish
All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.

Available colors ☐ Black (BLK) ☐ White (WHT) ☐ RAL:
☐ Bronze (BRZ) ☐ Silver (SLV) ☐ CUS:

Type:
BEGA Product:
Project:
Modified:



BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0833 info@bega-us.com
Due to the rapid pace of lighting products and the associated technologies, luminaire data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to bega-us.com
© copyright BEGA 2018 Updated 01/20/18

prescolite

LTR-4RD
LITEISTRY 4" ROUND DOWNLIGHT

FEATURES

- 4" architectural LED downlight delivering 600 – 4000 lm
- Five beam distributions from 0.3 to 12 Spacing Criteria
- Quiet reflector appearance with superior 50° optical cutoff
- 2700K – 5000K, 80+ and 90+ CRI options
- Available for New Construction (non-IC), IC and Chicago Plenum applications
- Variety of dimming protocol options including 0-10V, DALI, DMX, and Lutron EcoSystem
- NX Lighting Controls wired and wireless controls capability available



CONTROL TECHNOLOGY

NX LIGHTING CONTROLS

SPECIFICATIONS

- CONSTRUCTION**
- Chip-on-board LED with 2 SDCM
 - Multiple CCTs, 80+ or 90+ CRI
 - Long LED life: L90 at >55,000 hours (TM-21)
 - Universal voltage 120V–277V driver, 347V optional
 - UL Class 2, inherent short circuit and overload protection
 - Flicker free 0-10V dimming with 1% or <1% performance
 - DALI, DMX, and Lutron EcoSystem options
 - Integral and remote emergency controller and battery pack options available
 - NX or Lutron Vive control options available
- OPTICS**
- Visually pleasing 50° cutoff to source and source image
 - The light distribution is free of distracting bright spots or pixelation and the perimeter has a smooth transition
 - Optical grade silicone lens integral to light engine
 - High purity spun aluminum reflector, self-flanged
 - Flush Mount flange option with mud-in ring available
 - Large selection of anodized finishes and colors
 - Painted cones and flange options available

- ELECTRICAL**
- Chip-on-board LED with 2 SDCM
 - Multiple CCTs, 80+ or 90+ CRI
 - Long LED life: L90 at >55,000 hours (TM-21)
 - Universal voltage 120V–277V driver, 347V optional
 - UL Class 2, inherent short circuit and overload protection
 - Flicker free 0-10V dimming with 1% or <1% performance
 - DALI, DMX, and Lutron EcoSystem options
 - Integral and remote emergency controller and battery pack options available
 - NX or Lutron Vive control options available
- INSTALLATION**
- Accommodates ceiling thickness up to 2" (See DIMENSIONS section for details)
 - Universal adjustable mounting brackets also accept 0.5" EMT conduit or 1.5" or 0.75" latching channel (by others) or Prescolite accessory bar hangers (B24 or B6)
 - Light Engine/Driver fully serviceable from above or below the ceiling

- CERTIFICATIONS**
- cCSAus certified to UL 1598
 - Suitable for wet locations, covered ceiling, EMI/EMF: Suitable for damp locations
 - ENEC: Certified under UL 924 standard for emergency lighting and power equipment
 - When used with CE Bezel Trim Accessories: IP66/IP69K rating; also meets IK10 per IEC 60068-2-75 impact testing
 - Approved for B (4 in/4 out) No. 12AWG conductors rated for 90°C through wiring
 - ENERGY STAR® certified models available (For list and additional information, visit <http://www.energystar.gov>)
 - This product qualifies as a "designated country construction material" per FAR 25.225-II Buy American-Construction Materials under Trade Agreements effective 6/6/2020.

WARRANTY

- 5 year warranty

KEY DATA	
Lumen Range	600-4000
Wattage Range	8-52
Efficacy Range (LPW)	90-99*
Reported Life (Hours)	L90 / >55,000
Input Current (mA)	65-433 (20V)

*Based on Spec. 391, 80 CRI

The
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P: 978-373-0310, W: WWW.MORINCAMERON.COM



SURVEY BY: MCG
DRAFTED BY: LNO
CHECKED BY: SPC
APPROVED BY: SPC
SCALE: 1"=20'
DATE: FEBRUARY 1, 2023

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03/23/23	
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SITE DEVELOPMENT PLANS
IN
SAUSBURY, MASSACHUSETTS
14,16 & 18 NORTH END BOULEVARD
(ASSESSOR'S MAP 33, LOTS 248, 249 & 250)
PREPARED FOR:
18 NE BLVD LLC

LIGHTING PLAN
DRAWING NO.
L-2