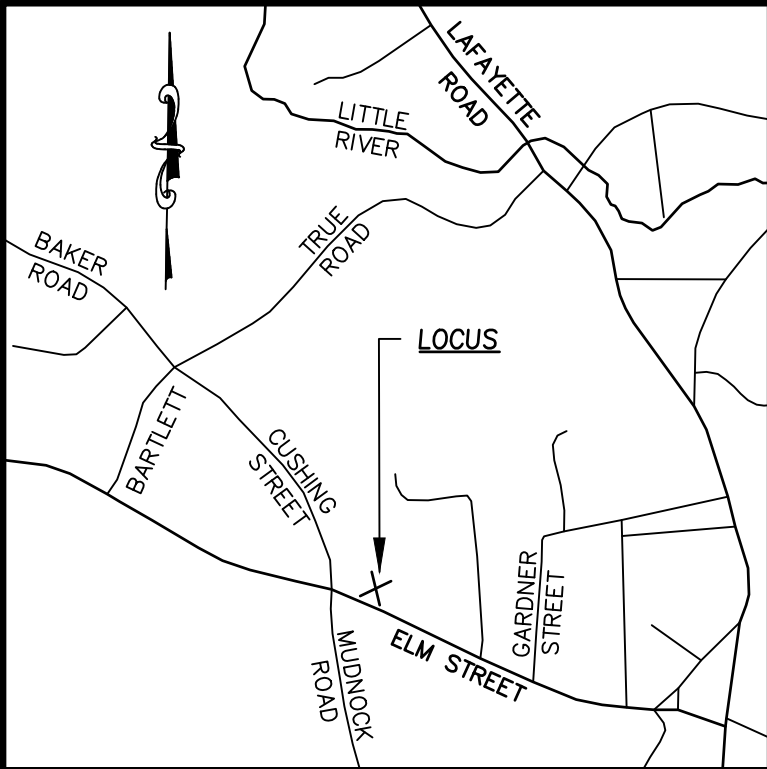




LOCUS MAP
N.T.S.

SITE PLAN FOR 66 ELM STREET IN SALISBURY, MA AUGUST 2022

SALISBURY PLANNING BOARD

DATE

PLAN INDEX

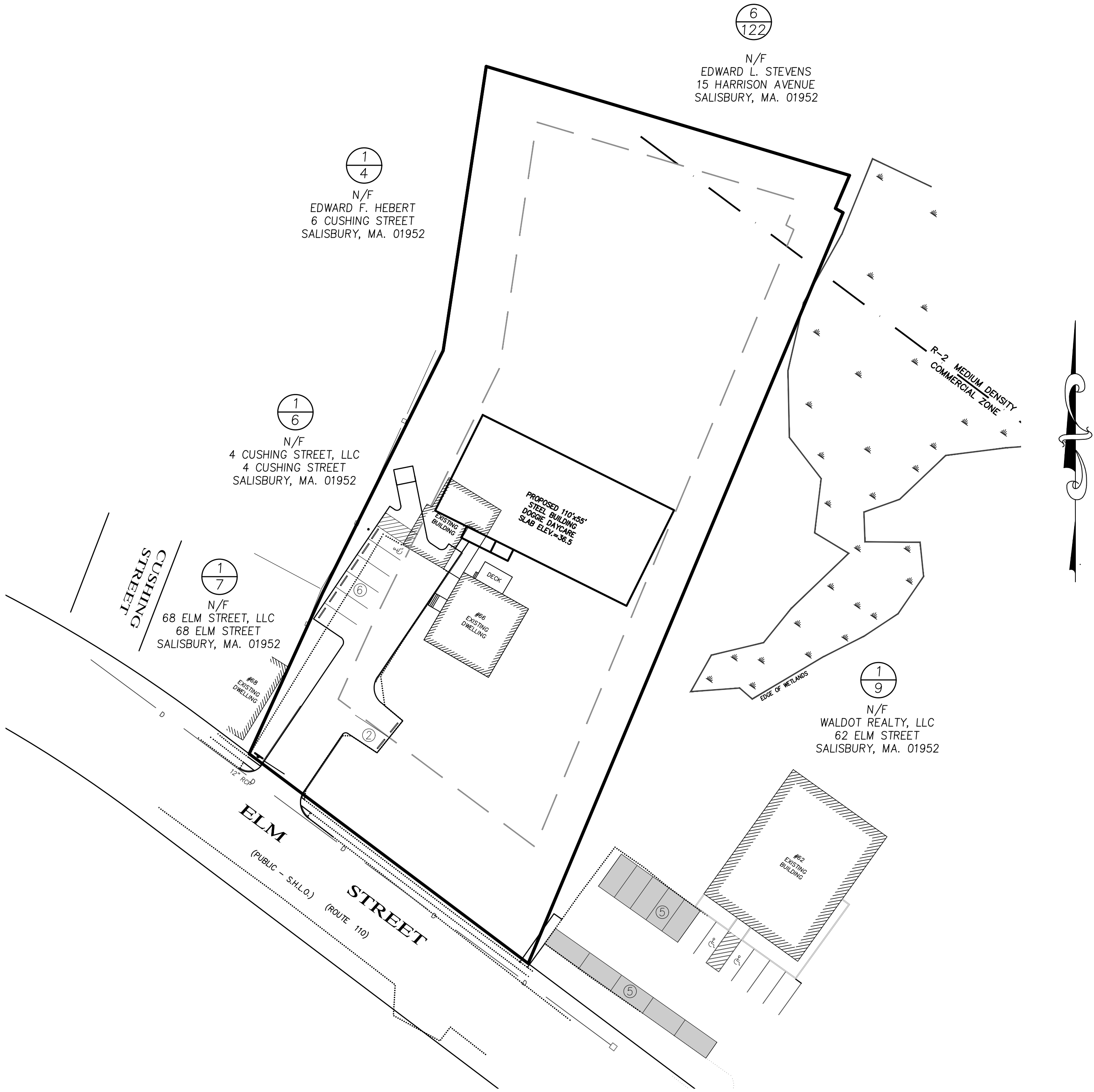
SHEET NO.	TITLE
1	COVER SHEET
2	LEGEND
3	EXISTING CONDITIONS
4	SITE PLAN
5	GRADING AND DRAINAGE PLAN
6	UTILITIES PLAN
7	EROSION AND SEDIMENTATION PLAN
8-9	CONSTRUCTION DETAILS

RECORD OWNER/APPLICANT:

CARLYN CAPOLUPO
66 ELM STREET
SALISBURY, MA 01952

CIVIL ENGINEER:

MILLENNIUM ENGINEERING, INC.
62 ELM STREET
SALISBURY, MA 01952

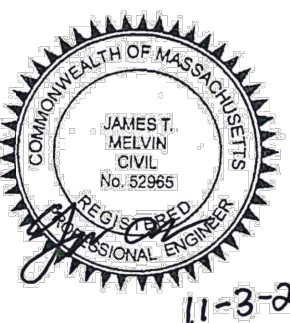
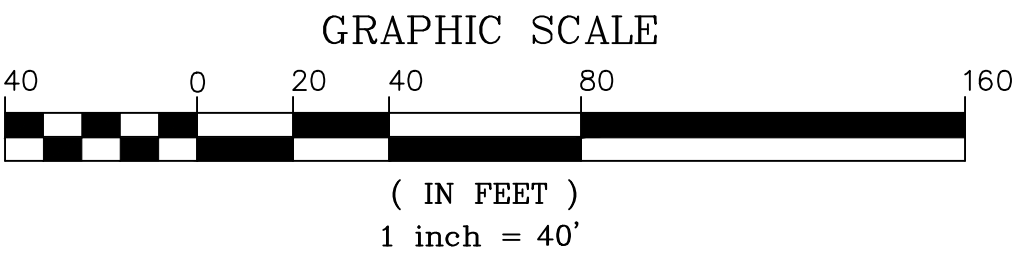


ZONING TABLE

66 ELM STREET - ASSESSORS MAP 1 LOT 8 ZONING DISTRICT - COMMERCIAL (C1)			
	REQUIRED	EXISTING	PROPOSED
LOT AREA:	21,780 S.F.	70,604 S.F.	70,604 S.F.
LOT FRONTAGE:	100'	179.59'	179.59'
FRONT SETBACK:	50'	100.8'	100.8'
SIDE SETBACK:	20' COM. / 30' RES.	70.4' / *25.9'	21.0' / 31.0'
REAR SETBACK:	20'	208.1'	171.9'
LOT COVERAGE:	25%	4.1%	11.3%
BLDG HEIGHT:	< 35'	< 35'	<35'

* REPRESENTS A PRE-EXISTING NON-CONFORMITY

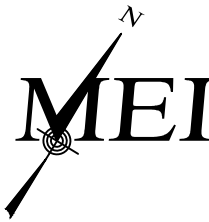
** FOR ADDITIONAL INFORMATION ON THE PROPOSED STRUCTURE SEE ARCHITECTURAL PLAN SET SUBMITTED WITH THE BUILDING PERMIT APPLICATION



PREPARED FOR

CARLYN CAPOLUPO
66 ELM STREET
SALISBURY, MA 01952

NO.	DATE	DESCRIPTION	BY
5	11/3/22	ADD COVERED PORCH	J.T.M.
4	10/19/22	DUMPSTER LOCATION	J.T.M.
3	10/6/22	RESPONSE TO PEER REVIEW	J.T.M.
2	9/28/22	RESPONSE TO PEER REVIEW	J.T.M.
1	9/8/22	RESPONSE TO TOWN COMMENTS	J.T.M.



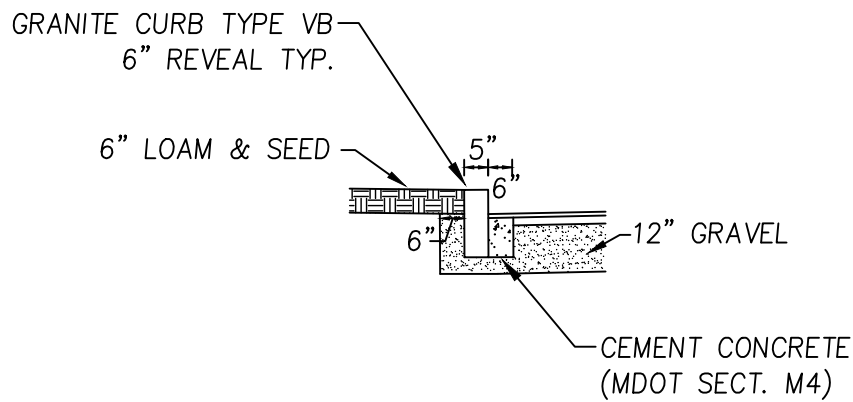
MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=40'	CALC. BY: J.T.M.	PROJECT: M203703
DATE: AUG. 12, 2022	CHKD. BY: E.W.B.	

SITE PLAN
IN
SALISBURY, MA
AT
66 ELM STREET

COVER
SHEET

SHEET: 1 OF 9



TYPICAL GRANITE CURBING
INSTALLATION DETAIL

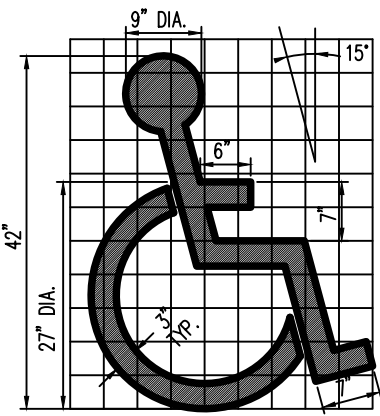
N.T.S.

DATE

LEGEND

EXISTING PROPOSED

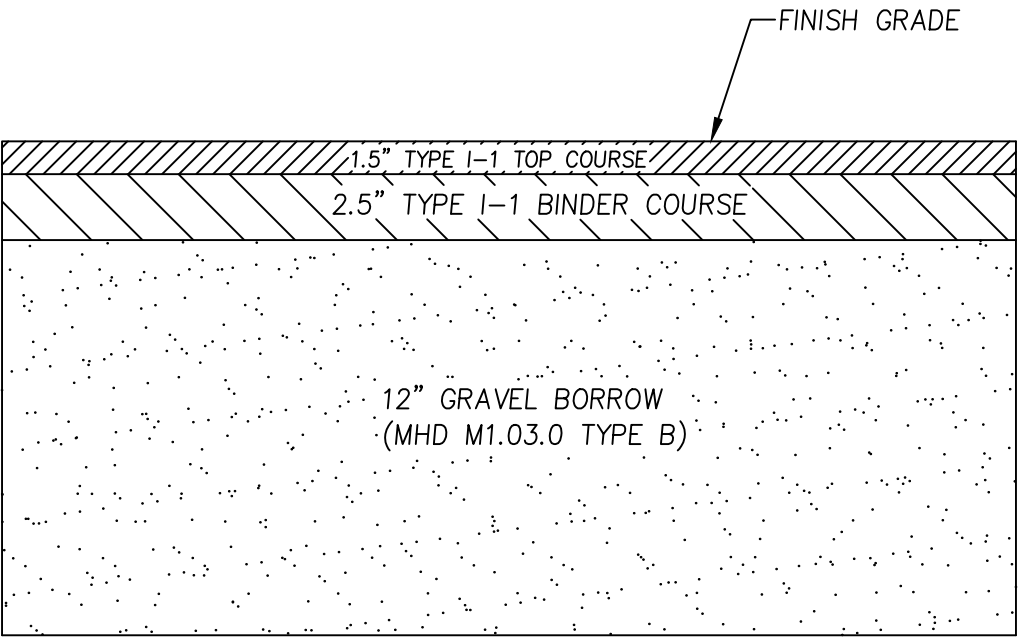
- EXISTING: Catch Basin (or Gutter Inlet, or Leaching Basin), Catch Basin (or Gutter Inlet) with Curb Inlet, Edge of Road, Contour, Sewer Manhole, Drainage Manhole, Gas Gate, Water Gate, Septic Tank, Hydrant, Fire Alarm Box, Post Mounted Pedestrian Light, Utility Pole, Drain Pipe, Sewer Main, Sewer Force Main, Underground Electric, Water Main, Mail Box, Highway Guard (Type Noted), Fence (Size and Type Noted), Easement Line, Property Line, 100 FT Buffer Zone.
- PROPOSED: CB, CBCI (OR GCI), 108, Sewer Manhole, Drainage Manhole, Gas Gate, Water Gate, Septic Tank, Hydrant, Fire Alarm Box, Post Mounted Pedestrian Light, Utility Pole, Drain Pipe, Sewer Main, Sewer Force Main, Underground Electric, Water Main, Mail Box, Highway Guard (Type Noted), Fence (Size and Type Noted), Easement Line, Property Line, 100 FT Buffer Zone.



NOTE: SYMBOL SHALL BE WHITE
GRID FOR LAYOUT ONLY
ONE SQUARE EQUALS 4'x4'

PAINTED HANDICAP
PARKING SYMBOL

N.T.S.



PAVEMENT
DETAIL

N.T.S.

PAVEMENT NOTES

- ALL STUMPS, ROCKS AND LEDGE WITHIN THE LIMITS OF THE PROPOSED PAVED WAY SHALL BE REMOVED. ALL LEDGE SHALL BE REMOVED TO A MINIMUM DEPTH OF 2' BELOW FINISHED PAVEMENT GRADE.
- PAVEMENT SHALL NOT BE CONSTRUCTED DURING FREEZING WEATHER OR ON WET OR FROZEN SUBGRADE.
- GRADING AND ROLLING SHALL BE REQUIRED TO PROVIDE A SMOOTH, EVEN, AND UNIFORM COMPACTED BASE WHICH IS COMPACTED TO A MINIMUM DRY DENSITY OF 95 PERCENT.
- ALL UNSUITABLE MATERIAL SHALL BE EXCAVATED AND REPLACED WITH SATISFACTORY MATERIAL AND BROUGHT UP TO GRADE WITH GRAVEL BORROW CONTAINING NO STONES GREATER THAN 6" DIAMETER.
- AT ALL TIMES DURING CONSTRUCTION, THE SUB-GRADE AND ALL DITCHES SHALL BE CONSTRUCTED AND MAINTAINED SO THAT THE TRACK WILL EFFECTIVELY BE DRAINED.
- THE CONTRACTOR SHALL REFER TO THE SALISBURY PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, SECTIONS I – VII.

MATERIAL NOTES

ALL MATERIALS OF THE ELEMENTS IN THE SITE PLAN MUST CONFORM TO THE FOLLOWING STANDARDS:

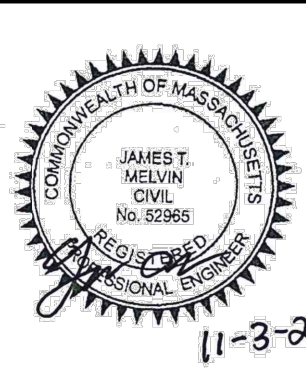
- COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES (LATEST EDITION)
- 521 CMR RULES AND REGULATIONS OF THE ARCHITECTURAL ACCESS BOARD (AAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA)
- SPECIFICATIONS BY THE TOWN OF SALISBURY AS SET FORTH BY SECTION 7 DESIGN STANDARDS IN THE PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, DATED NOVEMBER 1, 2013
- UTILITIES INSTALLED PER TOWN OF SALISBURY WATER DIVISION CONSTRUCTION DETAILS

GENERAL NOTES

- THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS. ANY PROPOSED REVISIONS TO THE WORK SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND REGULATING CITY AND/OR STATE AGENCIES.
- THE CONTRACTOR SHALL INSTALL ALL SYSTEM COMPONENTS IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND ALL APPLICABLE ELECTRICAL, PLUMBING, AND SANITARY CODES.
- ALL WORK SHALL CONFORM TO; THE SALISBURY PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, THE WETLANDS PROTECTION ACT (310 CMR 10.00), THE ORDER OF CONDITIONS ISSUED BY THE SALISBURY CONSERVATION COMMISSION, TOWN OF SALISBURY ZONING CODE, CHAPTER 300. ZONING; ARTICLE III. USE REGULATIONS; ARTICLE IV. DIMENSIONAL REGULATIONS; TABLE C-4 OFF STREET PARKING STANDARDS; ARTICLE XVIII. SITE PLAN REVIEW; CHAPTER 465. PLANNING BOARD, §465 10-13; AND PLANNING BOARD RULES AND REGULATIONS, III. SITE PLAN REVIEW.
- THE LOCATION OF ALL UTILITIES, AS SHOWN ON THESE PLANS, ARE BASED UPON PLANS AND RECORD INFORMATION PROVIDED BY MUNICIPAL AND PRIVATE UTILITY COMPANIES AND ARE CONSIDERED APPROXIMATE BOTH AS TO SIZE AND LOCATION. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UTILITIES ARE SHOWN. THE CONTRACTOR SHALL NOT RELY ON THESE PLANS FOR SUCH INFORMATION AND WILL MAKE EXAMINATIONS IN THE FIELD BY VARIOUS AVAILABLE RECORDS, UTILITY COMPANIES AND INDIVIDUALS, AS TO THE LOCATION OF ALL SUBSURFACE STRUCTURES.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES BY CONTACTING "DIG-SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION. DIG-SAFE TELEPHONE NUMBER: 1-888-344-7233.
- THE CONTRACTOR SHALL FIELD CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE NEW WORK. HE/SHE SHALL EXCAVATE TO VERIFY PERTINENT DRAINAGE INVERTS AND POTENTIAL UTILITY CONFLICTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
- ALL EXISTING STRUCTURES AND SURFACES, UNLESS OTHERWISE SHOWN, SHALL BE COMPLETELY REMOVED FROM THE AREAS OF WORK. ALL TREES SCHEDULED FOR REMOVAL SHALL BE FIELD MARKED AND APPROVED FOR REMOVAL BY THE OWNER. TOWN APPROVAL IS REQUIRED PRIOR TO TREE REMOVAL OR CUTTING OPERATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF THE PUBLIC, EMPLOYEES, AND ALL OTHER PERSONS ASSOCIATED WITH THE PROJECT. HE/SHE SHALL COORDINATE AND BE RESPONSIBLE FOR ALL SAFETY SIGNING, BARRIERS AND TEMPORARY PAVEMENT MARKINGS NECESSARY TO PROVIDE A SMOOTH AND PROPER TRANSITION FOR TRAFFIC FLOW.
- IF REQUIRED BY THE CONTRACTOR, OVERHEAD LINES SHALL BE RELOCATED BY THE UTILITY COMPANY AT THE CONTRACTORS EXPENSE.
- ALL SEWER MAINS AND SERVICES SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY OR 18 INCHES VERTICALLY FROM PROPOSED WATER MAINS AND SERVICES AND SHALL MAINTAIN 5 FEET OF COVER OVER THE TOP OF THE PIPING, UNLESS OTHERWISE SHOWN OR APPROVED. PIPES SHALL BE ENCASED IN CONCRETE WHERE THIS SEPARATION CANNOT BE OBTAINED.
- ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 5 FEET OF COVER OVER THE TOP OF THE PIPE, UNLESS OTHERWISE SHOWN OR APPROVED.
- WHENEVER SEWER MAINS MUST CROSS WATER MAINS, THE SEWER SHALL BE CONSTRUCTED AS FOLLOWS; A) JOINTS SHALL BE MECHANICAL TYPE WATER PRESSURE RATED WITH ZERO LEAKAGE WHEN TESTED AT 25 PSI FOR GRAVITY SEWERS AND 1.5 TIMES WORKING PRESSURE FOR FORCE MAINS AND JOINTS NOT TO BE LOCATED WITHIN 9 FEET OF THE CROSSING; B) SEWER SERVICES SHOULD BE INSTALLED A MINIMUM OF 18 INCHES BELOW WATER MAINS. IF SEPARATION IS LESS THAN 18 INCHES, SEWER SERVICE SHALL BE CONCRETE ENCASED OR CONSTRUCTED WITH PRESSURE CLASS PVC FOR A DISTANCE OF 10 FEET EACH SIDE OF THE WATER MAIN. 10-FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE SHALL BE MAINTAINED.
- INDIVIDUAL BUILDING OWNERS ARE RESPONSIBLE FOR MAINTENANCE OF THEIR SEWER SERVICE FROM THE BUILDING TO THE CONNECTION TO THE SEWER MAIN.
- ALL SIGNS AND PAVEMENT MARKINGS TO BE INSTALLED WITHIN THE PROJECT SITE SHALL CONFORM TO THE APPLICABLE SPECIFICATIONS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- 14 DAYS PRIOR TO COMMENCING CONSTRUCTION, THE OWNER/DEVELOPER SHALL PRESENT A CONSTRUCTION SCHEDULE TO THE PLANNING DEPARTMENT.
- THE OWNER/DEVELOPER SHALL SUBMIT TWO HARD COPIES OF AS-BUILT DRAWINGS TO THE PLANNING BOARD PRIOR TO FINAL OCCUPANCY. AS BUILTS SHALL INCLUDE ALL LANDBASE AND UTILITIES INFORMATION.
- ONSITE BURIAL OF STUMPS OR ANY OTHER DEBRIS IS PROHIBITED.
- ALL ELEVATIONS ARE BASED ON N.A.V.D. 1988.

SURVEY

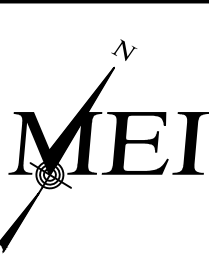
- 120' WETLAND DELINEATION FLAG
- C.B. CONCRETE BOUND
- S.B. STONE BOUND
- D.H. DRILL HOLE
- PK MASONRY NAIL
- I.P. IRON PIPE
- I ROD IRON ROD
- FND FOUND
- N/FND NOT FOUND
- 0.00 ASSESSORS MAP AND PARCEL



PREPARED FOR

CARLYN CAPOLUPO
66 ELM STREET
SALISBURY, MA 01952

NO.	DATE	DESCRIPTION	BY
5	11/3/22	ADD COVERED PORCH	J.T.M.
4	10/19/22	DUMPSTER LOCATION	J.T.M.
3	10/6/22	RESPONSE TO PEER REVIEW	J.T.M.
2	9/28/22	RESPONSE TO PEER REVIEW	J.T.M.
1	9/8/22	RESPONSE TO TOWN COMMENTS	J.T.M.

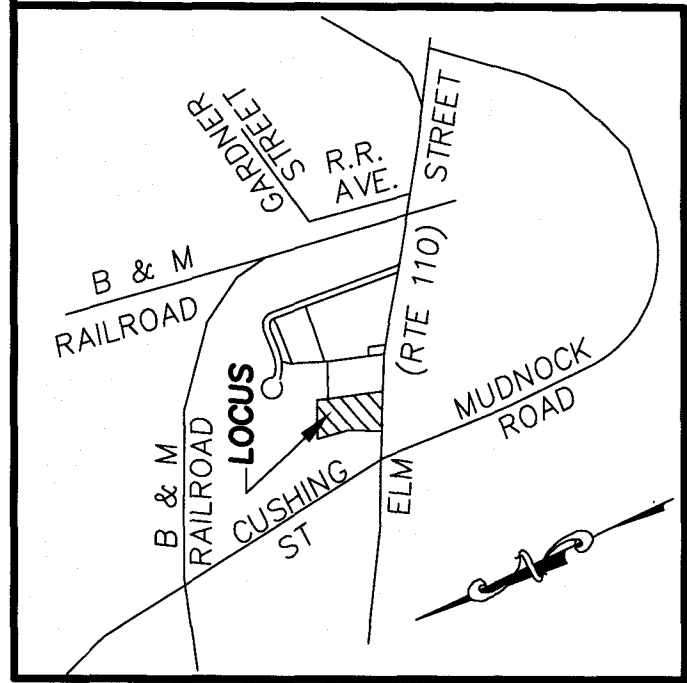


MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=30'	CALC. BY: J.T.M.	PROJECT: M203703
DATE: AUG. 12, 2022	CHKD. BY: E.W.B.	

SITE PLAN
IN
SALISBURY, MA
AT
66 ELM STREET

TYPICAL
SECTIONS/
LEGEND/
GENERAL
NOTES
SHEET: 2 OF 9



ZONING TABLE				
66 ELM STREET - ASSESSORS MAP 1 LOT 8				
ZONING DISTRICT COMMERCIAL (& R-2)				
	REQUIRED	EXISTING	PROPOSED	
LOT AREA:	21,780 S.F.	70,604 S.F.	70,604 S.F.	
LOT FRONTAGE:	100 FT	179.59 FT.	179.59 FT.	
FRONT SETBACK:	50 FT	100.8 FT.	100.8 FT.	
SIDE SETBACK:	20 FT, 30 FT	25.9 FT, 70.4 FT.		
REAR SETBACK:	20 FT	208.1 FT.		
LOT COVERAGE:	25 %	3.8 %		
BLDG HEIGHT:	35 FT	87.9 %		

LOCUS MAP
N.T.S.

WETLANDS NOTE

WETLANDS DELINEATED BY WEST ENVIRONMENTAL, INC., NOTTINGHAM, NH

BASIS OF BEARINGS

1927 STATE HIGHWAY LAYOUT

OWNER OF RECORD

CARLYN CAPOLUPO
66 ELM STREET
SALISBURY, MA 01952
BK. 35616 PG. 390

PLAN REFERENCES

1912 & 1920 STATE HIGHWAY LAYOUTS
PLAN 73 OF 1929
PLAN 957 OF 1956
PLAN 502 OF 1966
PLAN BOOK 143 PLAN 9
PLAN BOOK 158 PLAN 14
PLAN BOOK 308 PLAN 14

DATUM NOTE

N.A.V.D. - 1988

N/F
EDWARD L. STEVENS
CLARA E. STEVENS
BK. 13590 PG. 304-18
1952-18-573-18-14-E

N/F
EDWARD F. HEBERT
BK. 33168 PG. 527

1
N/F
SPIKE MARKER
IN GROUND
ELEV. = 36.20
(DATUM=NAVD88)

N/F
4. CUSHING STREET, LLC
BK. 37506 PG. 390

N/F
66 ELM STREET, LLC
BK. 37506 PG. 388

1
N/F
WALDOT REALTY, LLC
BK. 16877 PG. 169

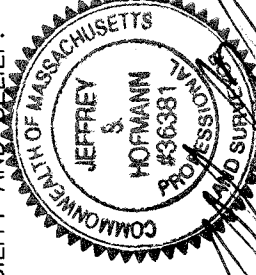
LEGEND

- M.H.B. MASS. HIGHWAY BOUND
- E.P.L.P. ESCUTCHEON PIN IN LEAD PLUG
- TBM TEMPORARY BENCH MARK
- I.P. EXISTING CONTOUR
- I.P. IRON PIPE
- FND. FOUND
- FND. NOW OR FORMERLY
- G.M. GAS METER
- E.M. ELECTRIC METER
- U.P. UTILITY POLE
- D. DRAINAGE
- W. WATER
- S. SEWER
- G. GAS
- O.H.W. OVERHEAD WIRE
- A.S. ASSESSORS MAP#
- P. PARCEL#

NOTES:
THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE PROPERTY AND ADJACENT PROPERTIES. THE SURVEYOR MAKES NO GUARANTEE THAT NO SUCH EASEMENTS EXIST.

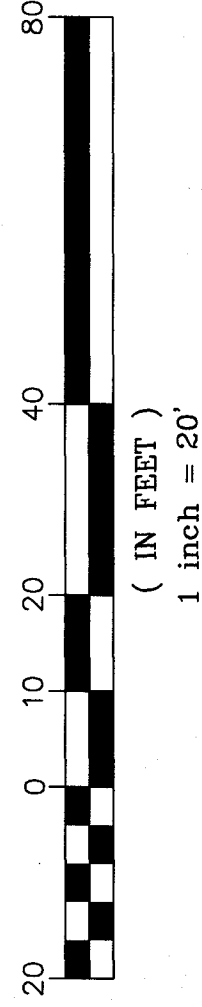
THE CERTIFICATIONS SHOWN HEREON ARE NOT INTENDED AS CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN OF SALISBURY ASSESSORS RECORDS.

I CERTIFY:
THAT THIS ACTUAL SURVEY WAS MADE ON THE 20TH DAY OF APRIL 2022; AND THAT THE PHYSICAL FEATURES ARE LOCATED AS SHOWN TO THE BEST OF MY ABILITY AND BELIEF.



PROFESSIONAL LAND SURVEYOR
DATE 4/24/22

GRAPHIC SCALE
(IN FEET)
1 inch = 20'



WETLAND DELINEATED BY:
WEST ENVIRONMENTAL, INC.
48 STEVENS HILL ROAD
NOTTINGHAM, NH. 03290
(603) 734-4298
(DELINEATED ON: APRIL, 2020)

NO.	DATE	RESPONSE TO PEER REVIEW	BY
1	9/28/22	RESPONSE TO PEER REVIEW	J.T.M.

PREPARED FOR
CARLYN CAPOLUPO
66 ELM STREET
SALISBURY, MA

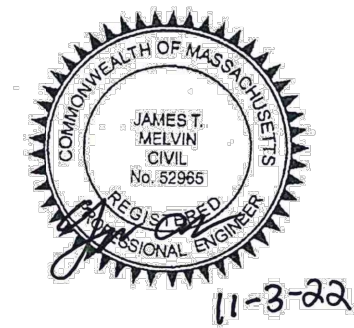
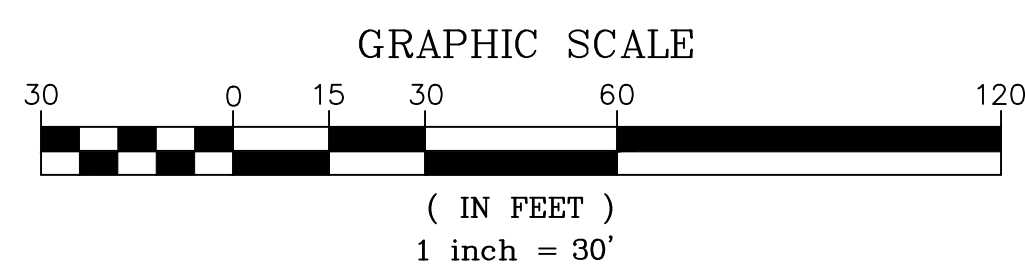
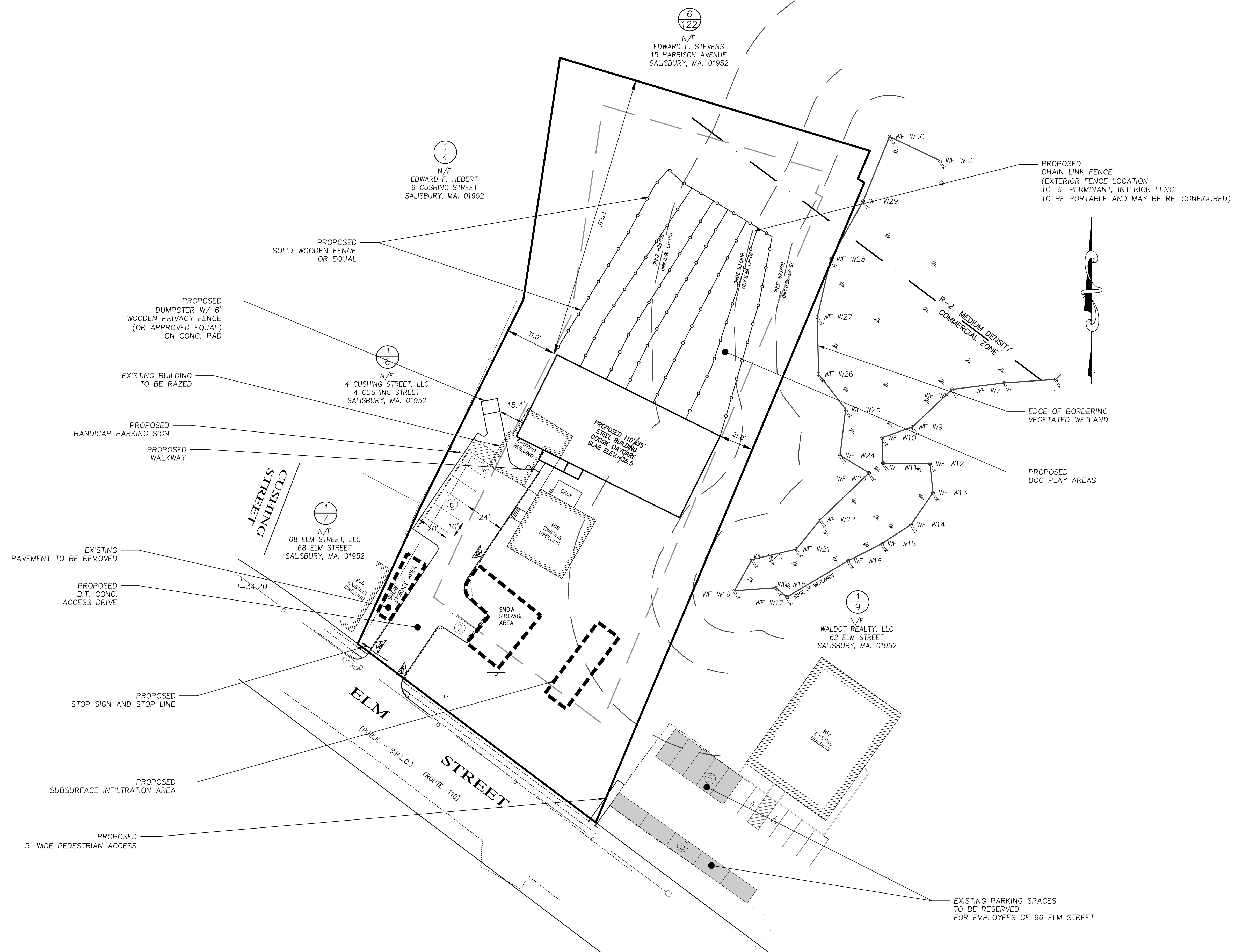
PLAN OF LAND
IN
SALISBURY, MA
SHOWING
EXISTING CONDITIONS
AT
66 ELM STREET
(MAP 1 - LOT 8)

MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

EXISTING
CONDITIONS

SCALE: 1"=20'
DATE: AUG. 16, 2022
CALC. BY: P.D.B.
CHECK. BY: J.S.H.
PROJECT: M203703

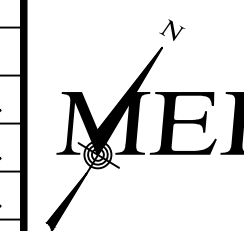
SHEET: 3 OF 9



PREPARED FOR

CARLYN CAPOLUPO
66 ELM STREET
SALISBURY, MA 01952

5	11/3/22	ADD COVERED PORCH	J.T.M.	
4	10/19/22	DUMPSTER LOCATION	J.T.M.	
3	10/6/22	RESPONSE TO PEER REVIEW	J.T.M.	
2	9/28/22	RESPONSE TO PEER REVIEW	J.T.M.	
1	9/8/22	RESPONSE TO TOWN COMMENTS	J.T.M.	
NO.	DATE	DESCRIPTION	BY	



MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=30'

DATE: AUG. 12, 2022

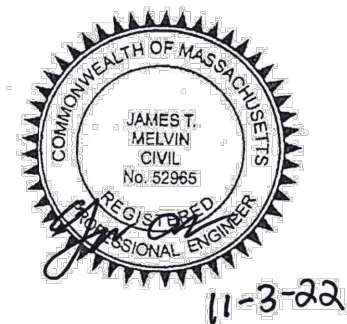
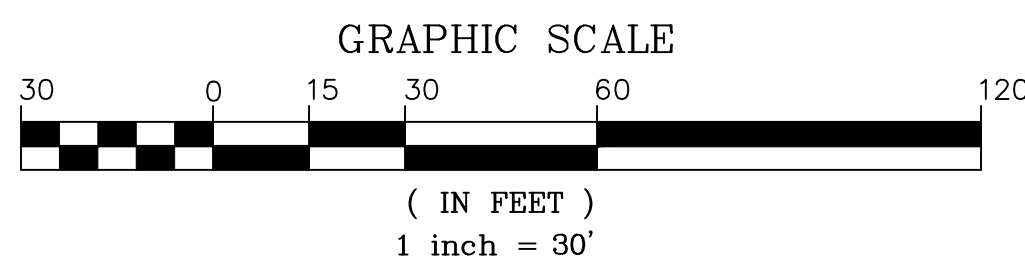
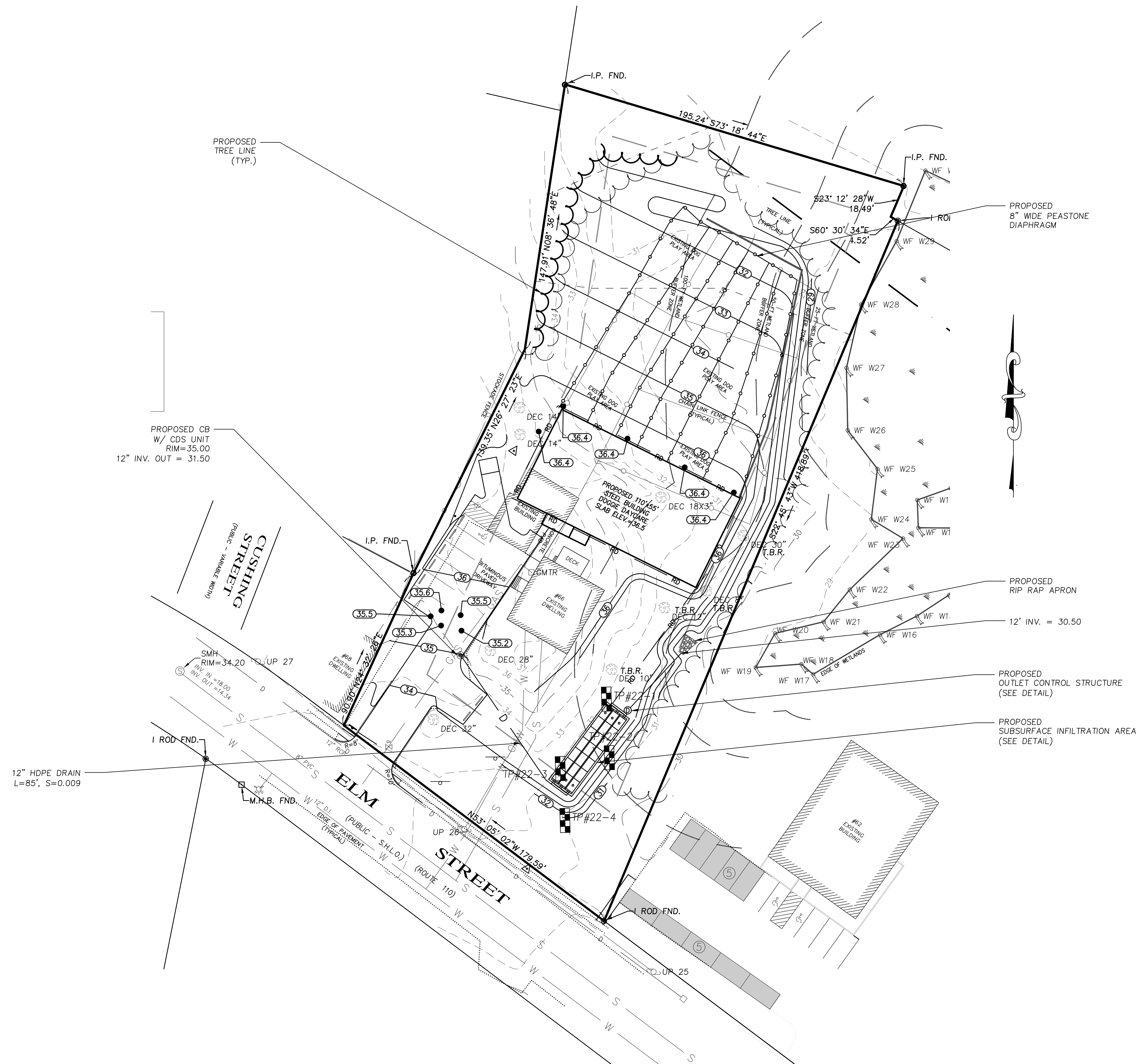
CALC. BY: J.T.M.

CHKD. BY: E.W.B.

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SITE PLAN
IN
SALISBURY, MA
AT
66 ELM STREET

SITE PLAN



PREPARED FOR

CARLYN CAPOLUPO

66 ELM STREET
SALISBURY, MA 01952

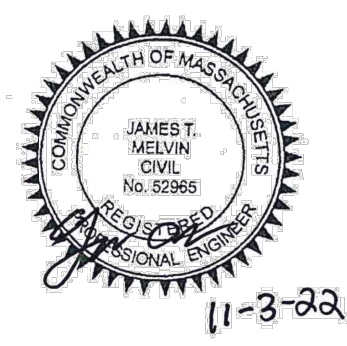
NO.	DATE	DESCRIPTION	BY
5	11/3/22	ADD COVERED PORCH	J.T.M.
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MEI **MILLENNIUM ENGINEERING, INC.**
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=30'	CALC. BY: J.T.M.	PROJECT: M203703
DATE: AUG. 12, 2022	CHKD. BY: E.W.B.	

SITE PLAN
IN
SALISBURY, MA
AT
66 ELM STREET

**GRADING
&
DRAINAGE**

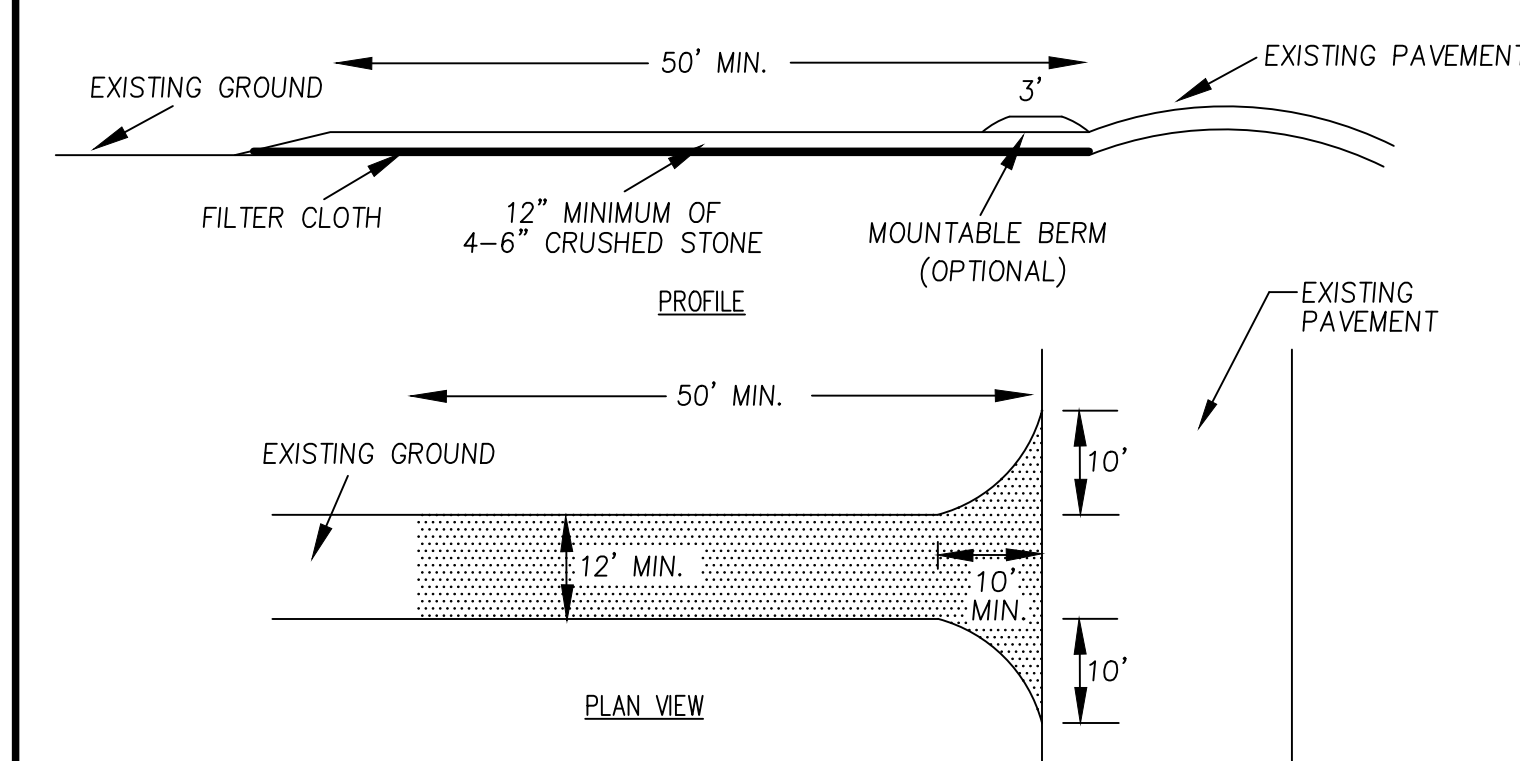


CARLYN CAPOLUPO
66 ELM STREET
SALISBURY, MA 01952



SCALE: 1"=30'	CALC. BY: J.T.M.	PROJECT: M203703
DATE: AUG. 12, 2022	CHKD. BY: E.W.B.	

UTILITIES PLAN



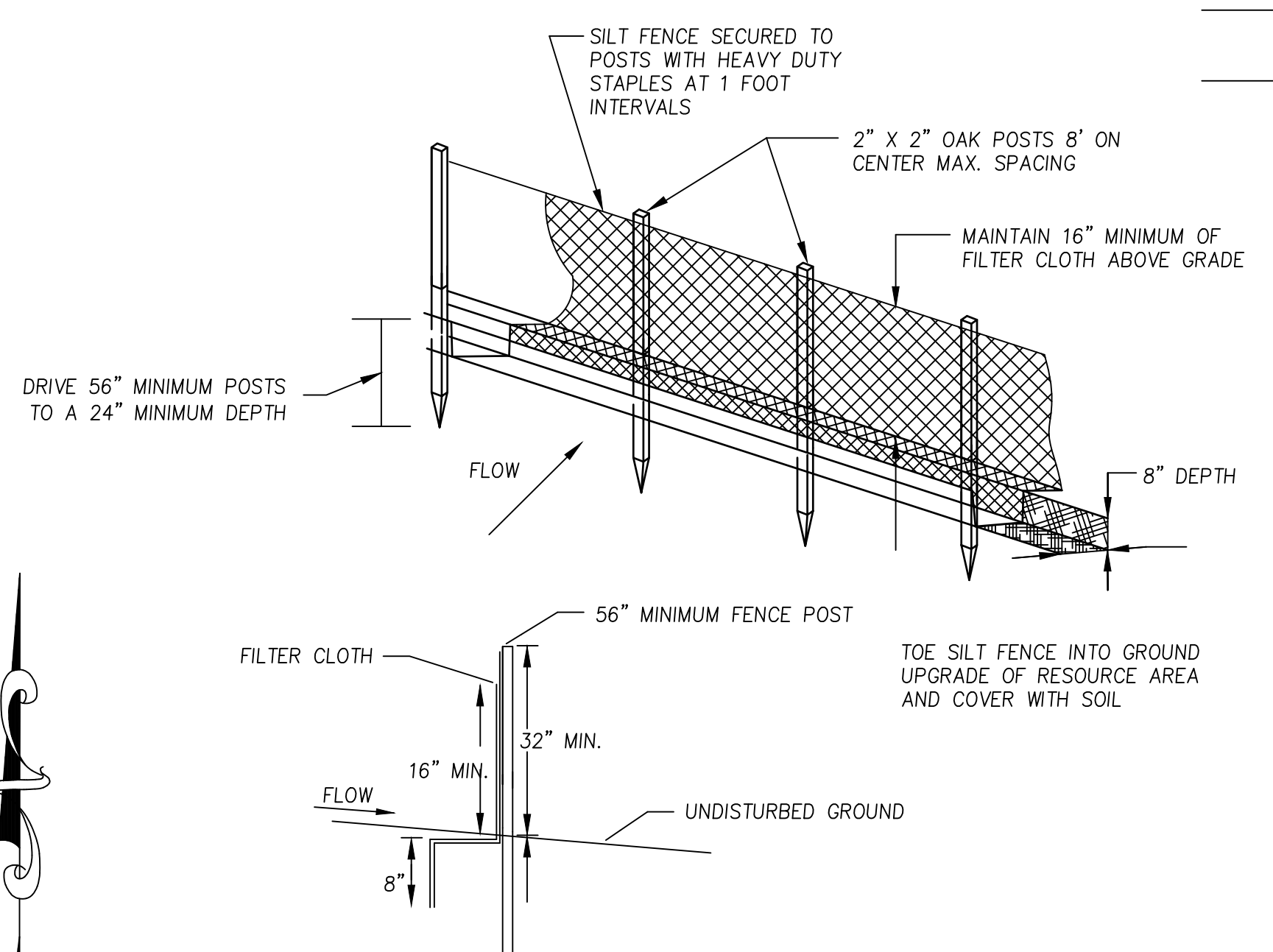
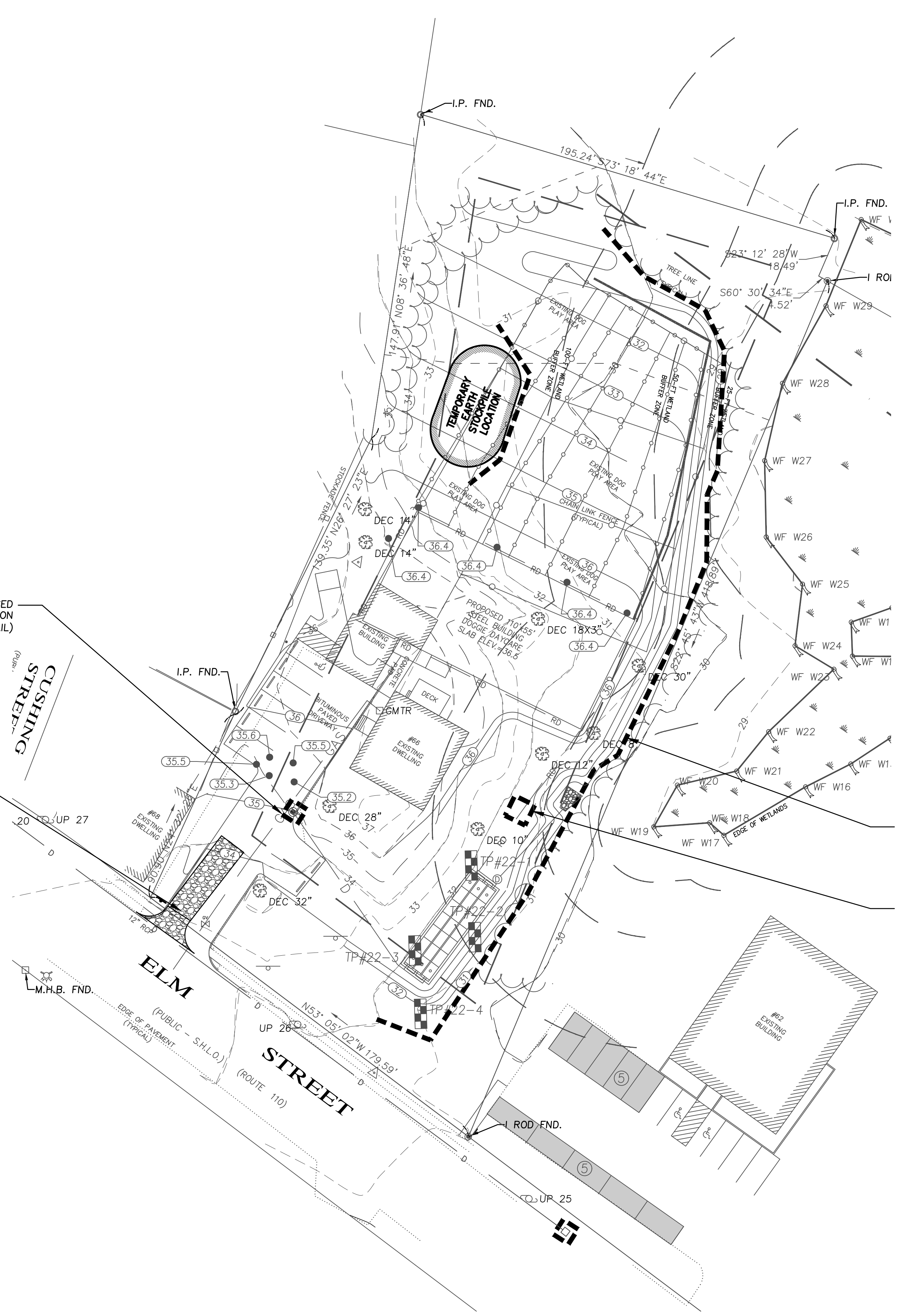
- NOTES**
- STONE SHALL BE 4"-6" STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
 - THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50'.
 - THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 12".
 - GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
 - ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP-DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED PROMPTLY.
 - WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

**CONSTRUCTION ENTRANCE
DETAIL**

N.T.S.

**GENERAL EROSION
CONTROL NOTES**

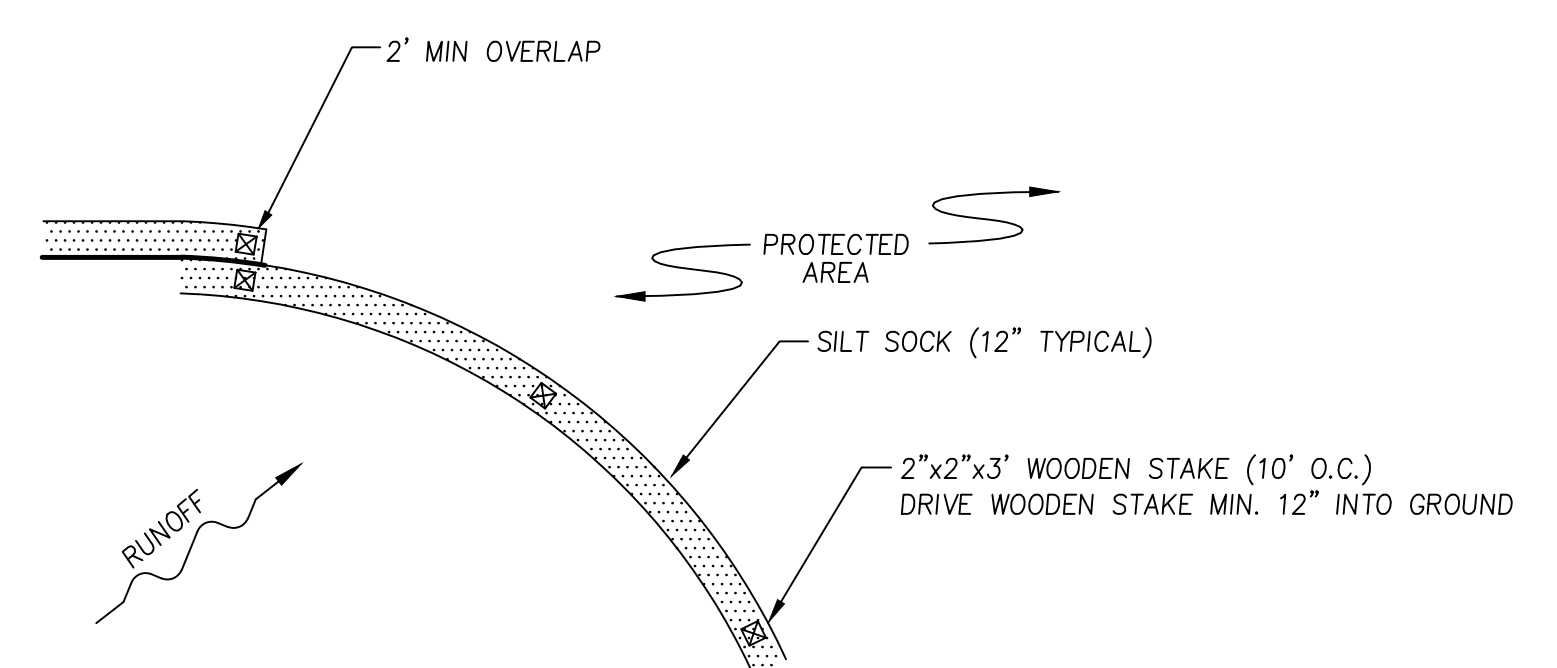
- ALL SILT FENCE SHALL BE INSTALLED BEFORE THE START OF CONSTRUCTION. SILT FENCE SHALL BE REMOVED UPON COMPLETION OF THE PROJECT AND STABILIZATION OF ALL SOIL.
- ALL FILL SHALL BE FREE OF STUMPS AND LARGE STONES.
- ANY STANDING BODIES OF WATER CREATED DURING EXCAVATION SHALL BE ELIMINATED.
- EROSION CONTROL BARRIERS SHALL BE INSPECTED WEEKLY AND AFTER EVERY 0.5" OF RAINFALL AND PROMPTLY REPAIRED OR REPLACED AS NECESSARY.
- ACCUMULATED SEDIMENT DEPOSITS UPSTREAM OF BARRIERS SHALL BE PROPERLY DISPOSED OF ON A REGULAR BASIS.
- AREAS OUTSIDE THE LIMITS OF WORK (EROSION CONTROL/SILT FENCE LOCATIONS) DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EROSION AND/OR SEDIMENT CONTROLS DURING CONSTRUCTION. HE/SHE SHALL INSPECT CONTROLS WEEKLY AND AFTER ALL STORM EVENTS. REPAIRS, IF REQUIRED, SHALL BE MADE IMMEDIATELY.
- TEMPORARY GROUND COVER SHALL BE ESTABLISHED IN AREAS OF CONSTRUCTION WHERE REQUIRED BY THE SALISBURY PLANNING BOARD AND CONSERVATION COMMISSION.
- ANY DISTURBED AREAS OF THE SITE NOT USED FOR ROADWAY OR UTILITY CONSTRUCTION SHALL BE STABILIZED WITH LOAM AND SEED UNTIL FURTHER DISTURBANCE IS REQUIRED FOR BUILDING CONSTRUCTION.
- THE CONTRACTOR SHALL IDENTIFY TO THE TOWN HIS/HER TOPSOIL STOCKPILING OPERATIONS AND LOCATIONS.
- PROVIDE GRAVEL AND WIRE MESH SEDIMENT FILTER AT ALL CATCH BASINS.
- A MINIMUM OF 6" OF LOAM SHALL BE INSTALLED ON ALL DISTURBED UNPAVED SURFACES.
- SEED MIX SHALL BE NO LESS THAN 4 LBS./1000 S.F. OF LAND AREA. SEED SHALL CONSIST OF A MAXIMUM OF 10% RYE GRASS AND A MINIMUM OF 90% PERMANENT BLUEGRASS AND/OR FESCUE. LIME SHALL BE APPLIED AT A RATE OF 2 TONS/ACRE.
- NO MORE THAN 3 ACRES SHALL BE DISTURBED AT ONE TIME. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- WHERE PLACEMENT OF FILL IS REQUIRED FOR STORM WATER CONTROL, FILL SHALL BE PLACED IN AN UNFROZEN STATE UPON UNFROZEN GROUND. UNDER NO CIRCUMSTANCES SHALL FILL BE PLACED FROM NOVEMBER THROUGH JANUARY.
- SILT SACKS SHALL BE INSTALLED IN ALL PROPOSED CATCH BASINS AND IN DOWNSTREAM CATCH BASINS IN BEACH ROAD AS SHOWN ON THE EROSION AND SEDIMENTATION CONTROL PLAN.



- POSTS SHALL BE DOUBLED AND COUPLED AT FILTER CLOTH SEAMS.
- FILTER CLOTH TO BE FASTENED SECURELY TO SUPPORT NETTING WITH TIES SPACED EVERY 24" AT TOP, MID SECTION, AND BOTTOM.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

**SILT FENCE
INSTALLATION**

N.T.S.

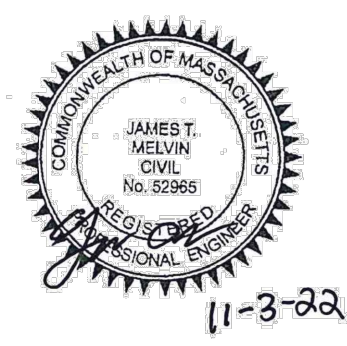
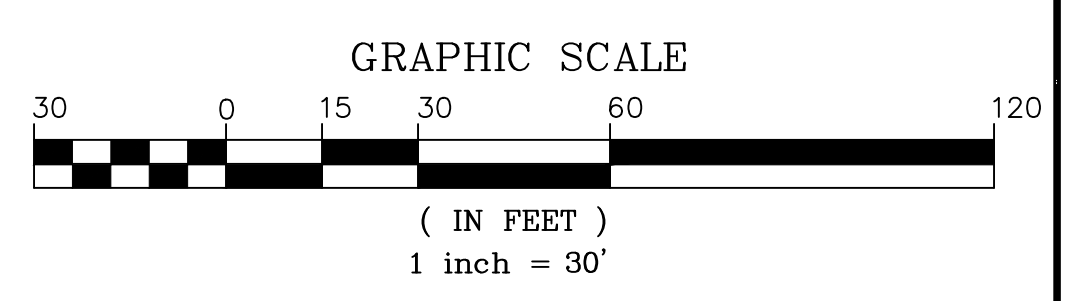


NOTES

- ALL MATERIAL SHALL MEET SPECIFICATIONS BY FILTREXX OR APPROVED EQUAL.
- SILT SOCK SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- THE CONTRACTOR SHALL REMOVE SEDIMENT AT THE BASE OF THE UPSLOPE SIDE OF THE SILT SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE SILT SOCK.
- SILT SOCK SHALL BE MAINTAINED UNTIL DISTURBED AREA ABOVE THE DEVICE HAS BEEN PERMANENTLY STABILIZED AND CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
- SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE SOCK HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.
- SILT SOCK SHALL BE INSPECTED DAILY BY THE GENERAL CONTRACTOR.

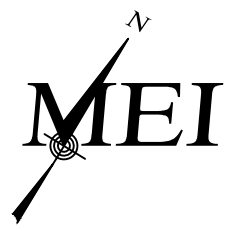
**SILT SOCK
INSTALLATION**

N.T.S.



PREPARED FOR
CARLYN CAPOLUPO
66 ELM STREET
SALISBURY, MA 01952

NO.	DATE	DESCRIPTION	BY
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1	9/8/22	RESPONSE TO TOWN COMMENTS	J.T.M.

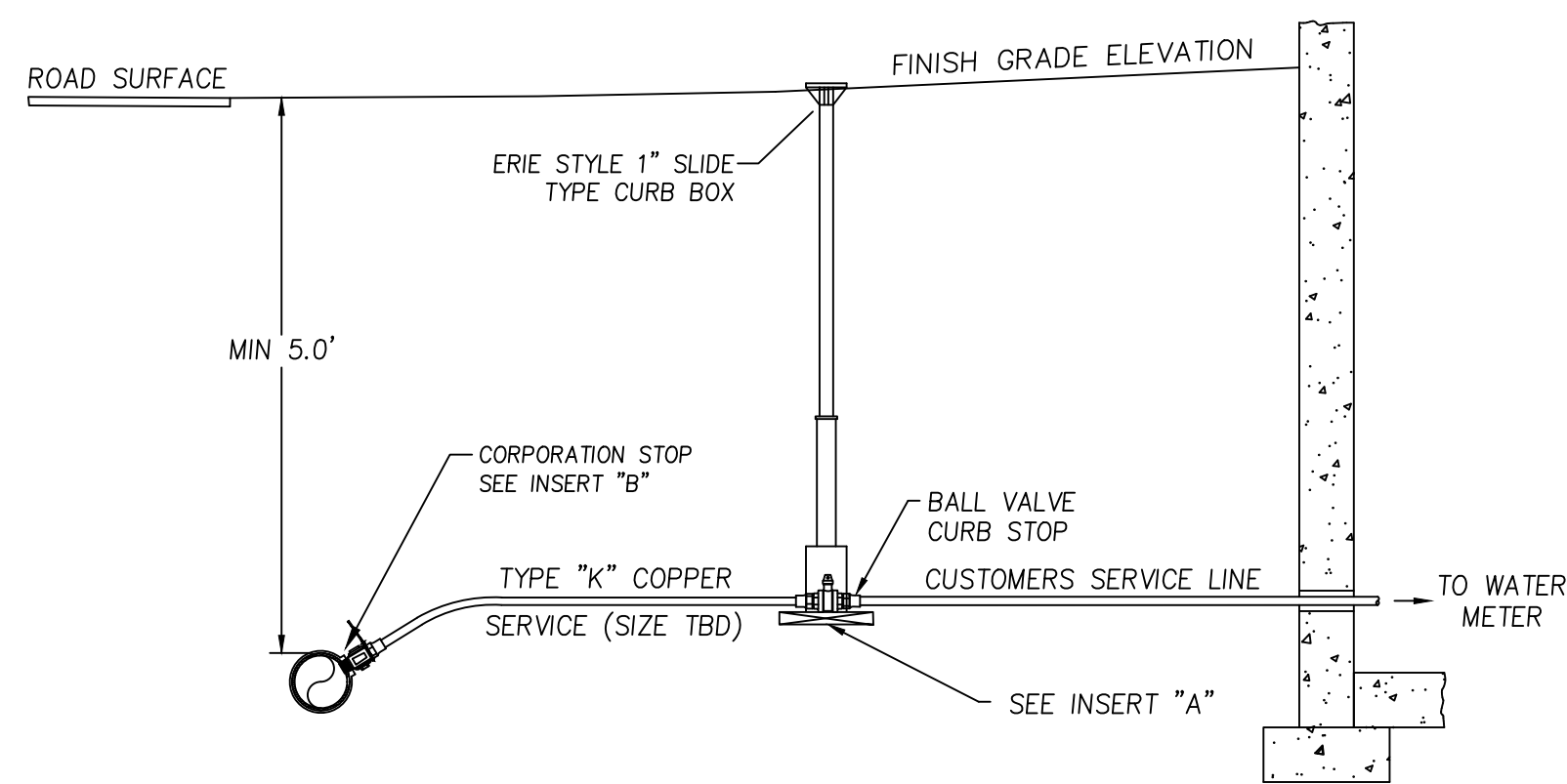


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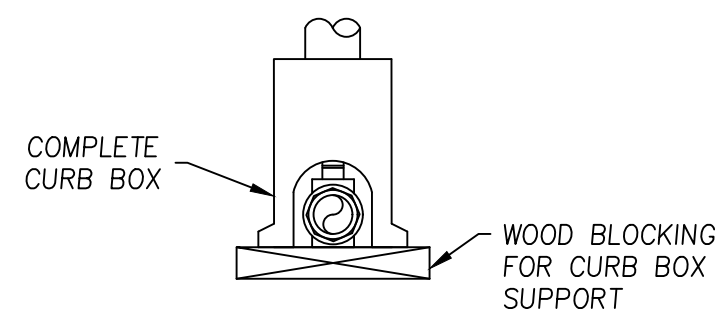
SCALE: 1"=30'	CALC. BY: J.T.M.	PROJECT: M203703
DATE: AUG. 12, 2022	CHKD. BY: E.W.B.	

SITE PLAN
IN
SALISBURY, MA
AT
66 ELM STREET

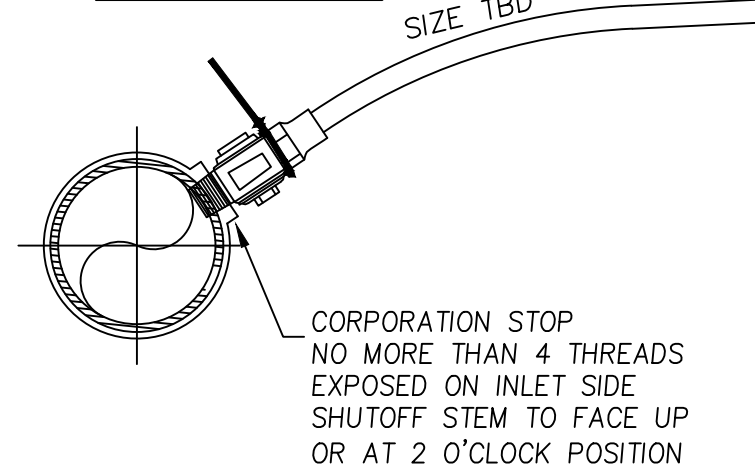
**EROSION
AND
SEDIMENTATION
CONTROL
PLAN**
SHEET: 7 OF 9



INSERT "A"

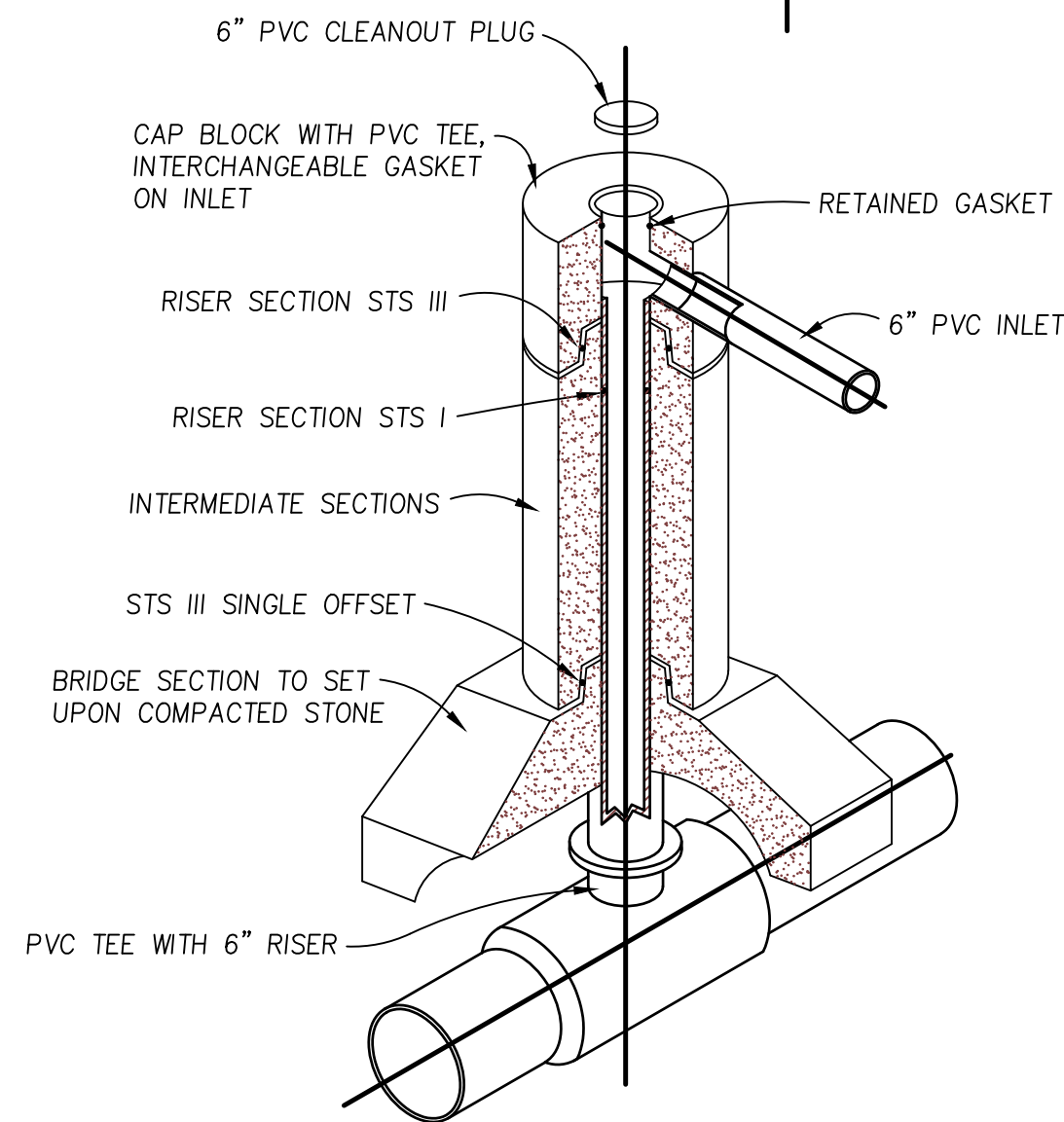
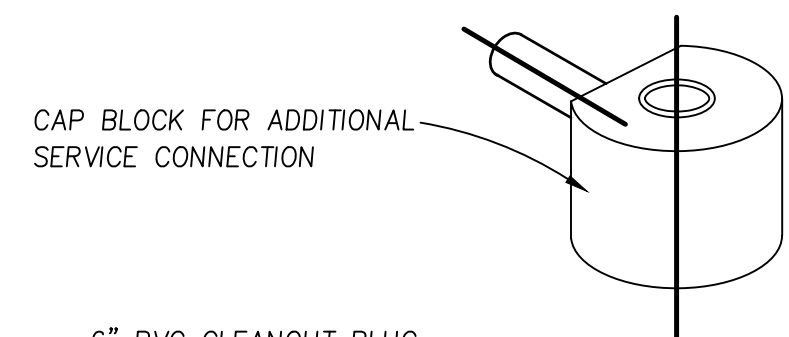


INSERT "B"



TYPICAL COPPER SERVICE CONNECTION

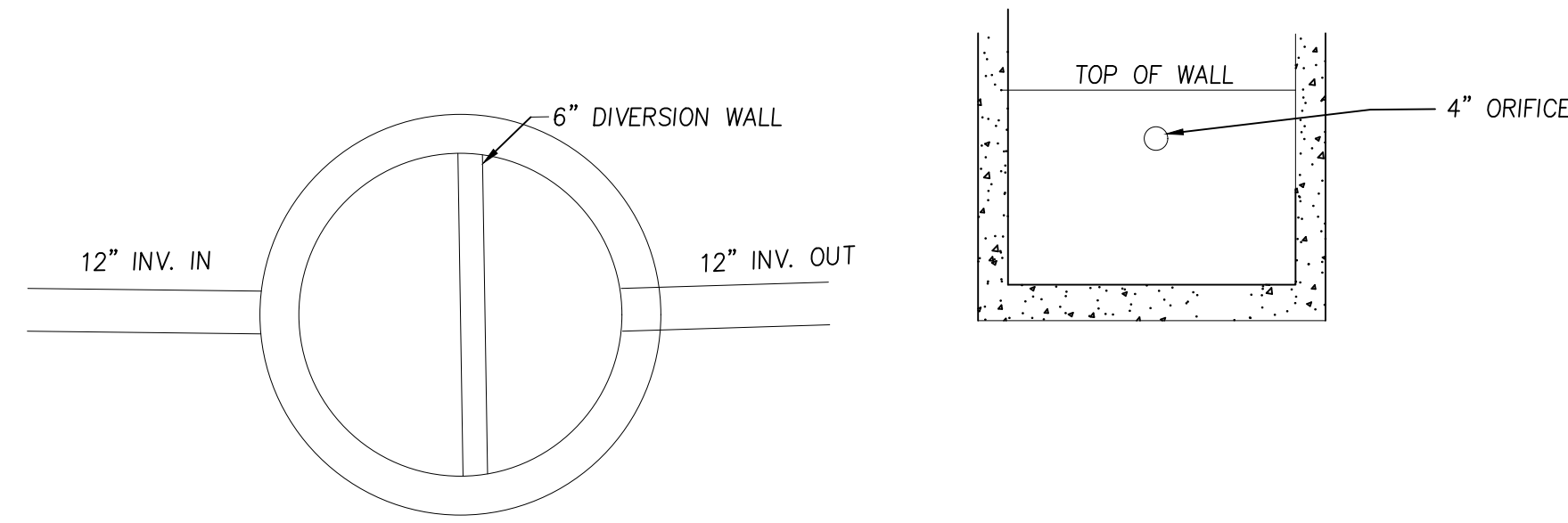
N.T.S.



- NOTES:
1. ALL CHIMNEYS TO BE PRECAST.
 2. CONCRETE STRENGTH TO BE 5000 PSI.
 3. RUBBERMAN STS I AND STS III TO BE PER ASTM 443.
 4. TO BE DESIGNED FOR H-20 LOADING.

SEWER CHIMNEY DETAIL

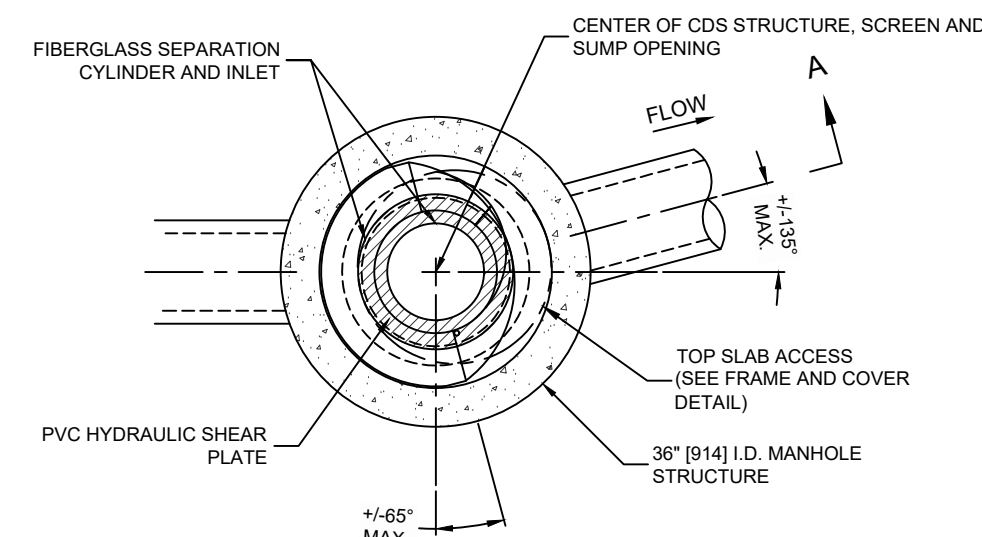
N.T.S.



INFILTRATION AREA	INV. OUT ELEV.	INV. IN ELEV.	4" ORIFICE ELEV.	TOP OF WALL ELEV.	RIM ELEV.
	31.00	30.70	31.75	33.00	34.7

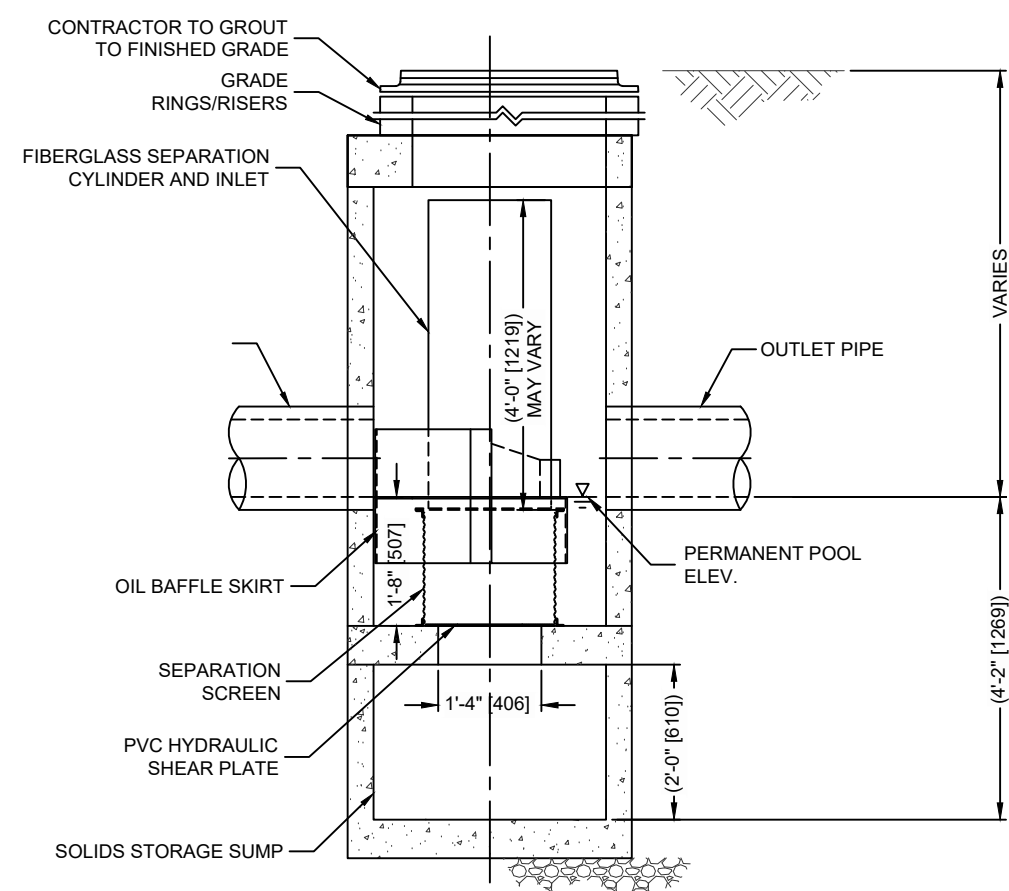
OUTLET CONTROL STRUCTURE DETAIL

N.T.S.



PLAN VIEW B-B

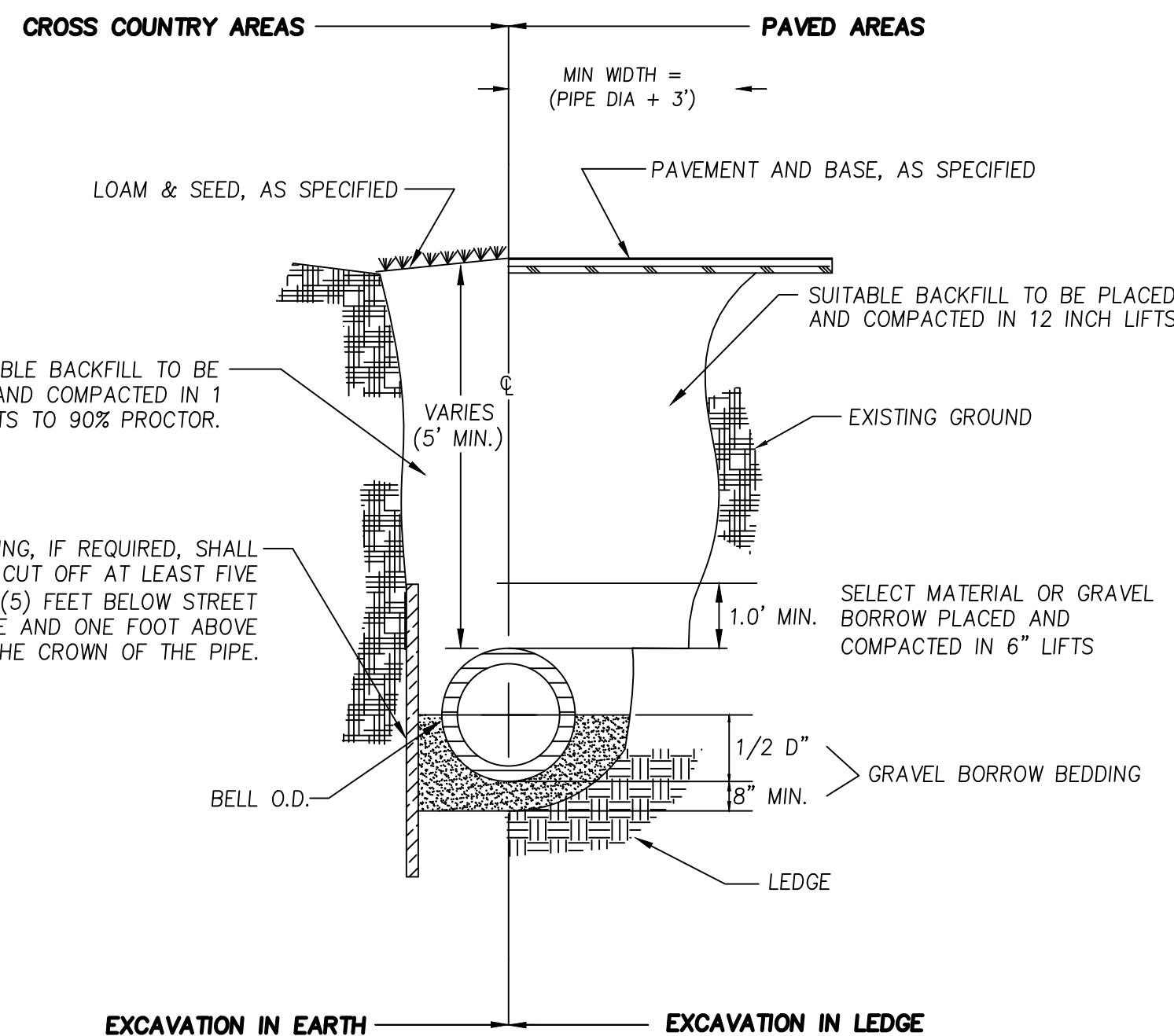
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ELEVATION A-A

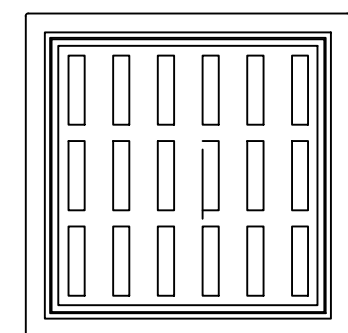
CONTECH CDS DETAIL

N.T.S.



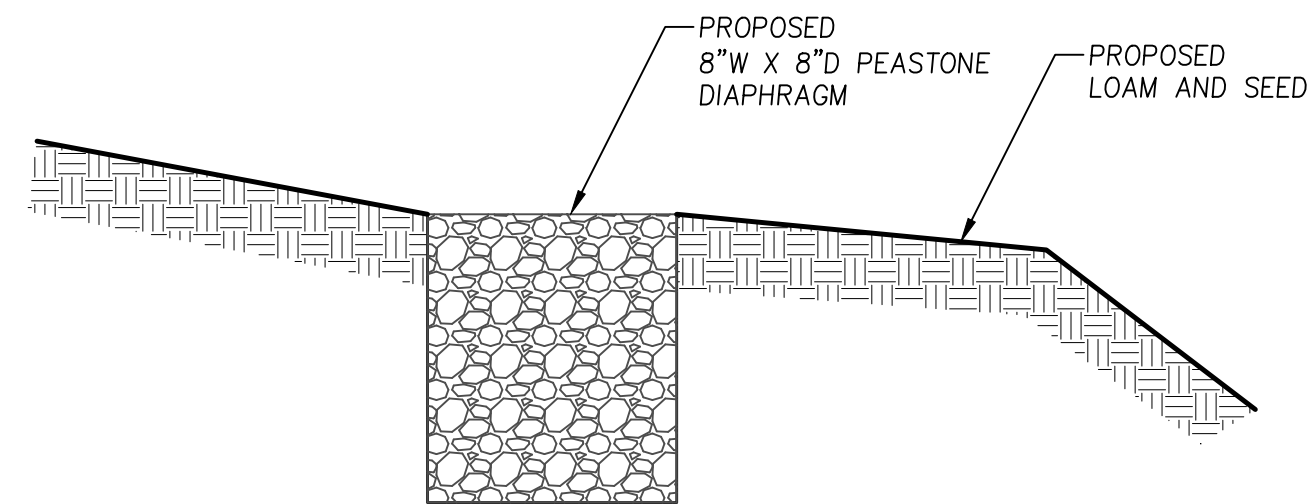
TYPICAL TRENCH DETAIL

N.T.S.



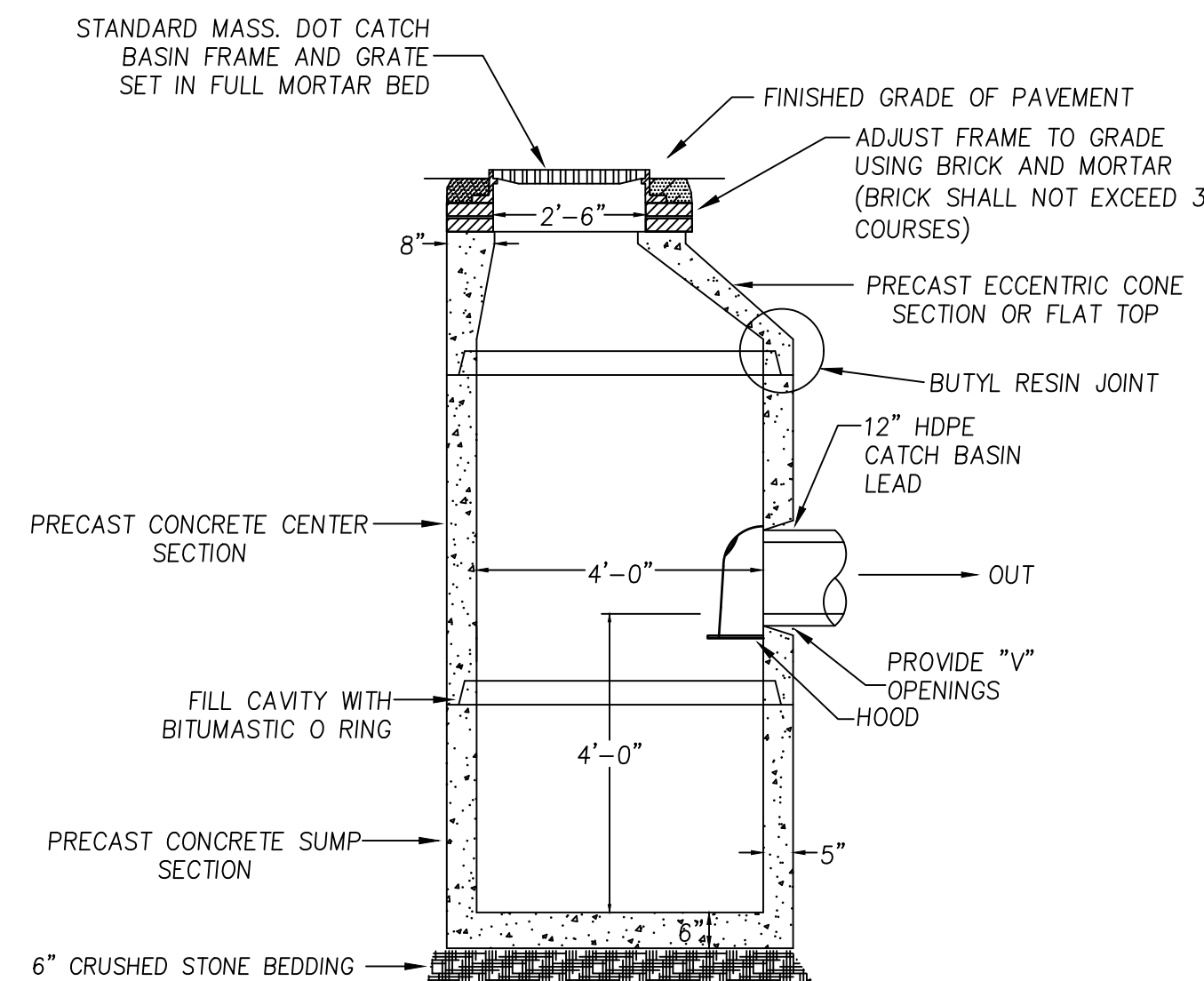
FRAME AND GRATE (24" SQUARE)

N.T.S.



PEASTONE DIAPHRAGM DETAIL

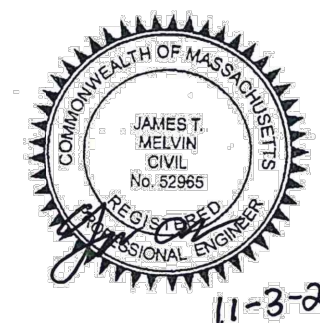
N.T.S.



- NOTES:
- 1) CATCH BASINS SHALL CONFORM TO ASTM C478 AND ASTM C185
 - 2) FLAT TOP STRUCTURES SHALL BE PRECAST SECTIONS AND HAVE A 28 DAY COMPRESSIVE STRENGTH OF 5000 PSI REINFORCED FOR AASHTO H-20 LOADING.
 - 3) CONICAL SECTIONS MAY BE SUBSTITUTED FOR FLAT-TOP STRUCTURES IN AREAS WHERE MORE THAN 4 FEET OF COVER IS PROVIDED FOR DRAIN PIPE.

PRECAST DEEP SUMP CATCH BASIN DETAIL

N.T.S.



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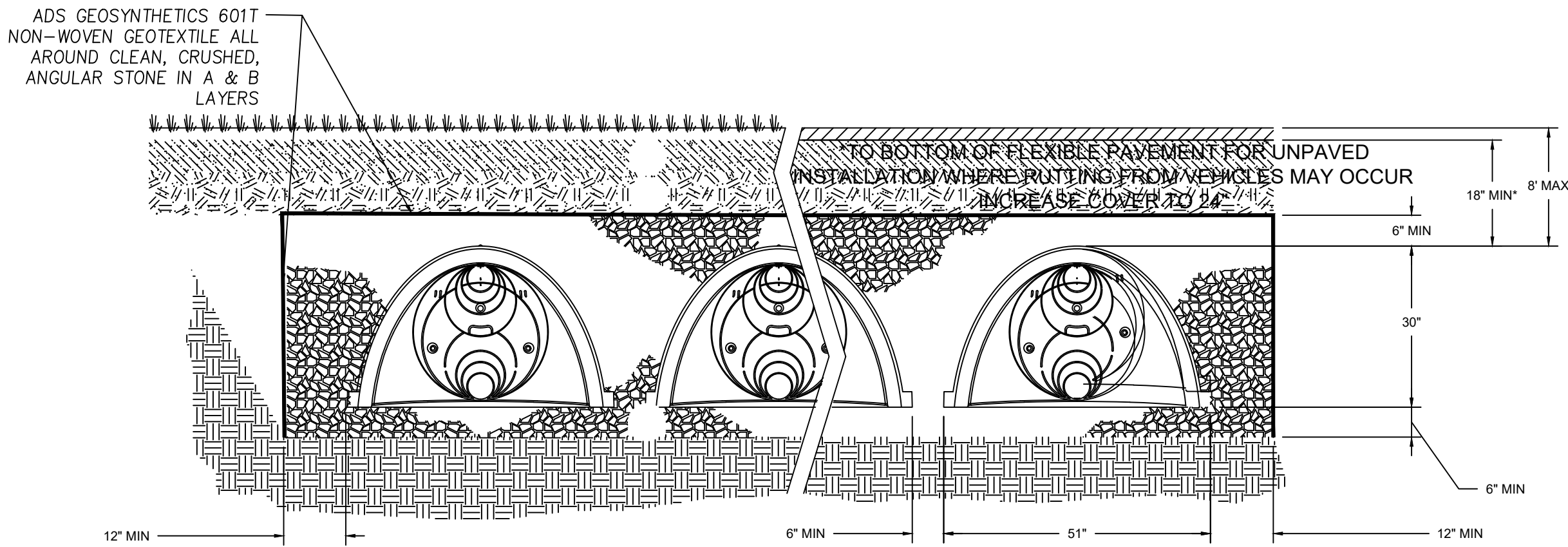


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SCALE: AS SHOWN	CALC. BY: J.T.M.	PROJECT: M203703
DATE: AUG. 12, 2022	CHKD. BY: E.W.B.	

SITE PLAN
IN
SALISBURY, MA
AT
66 ELM STREET

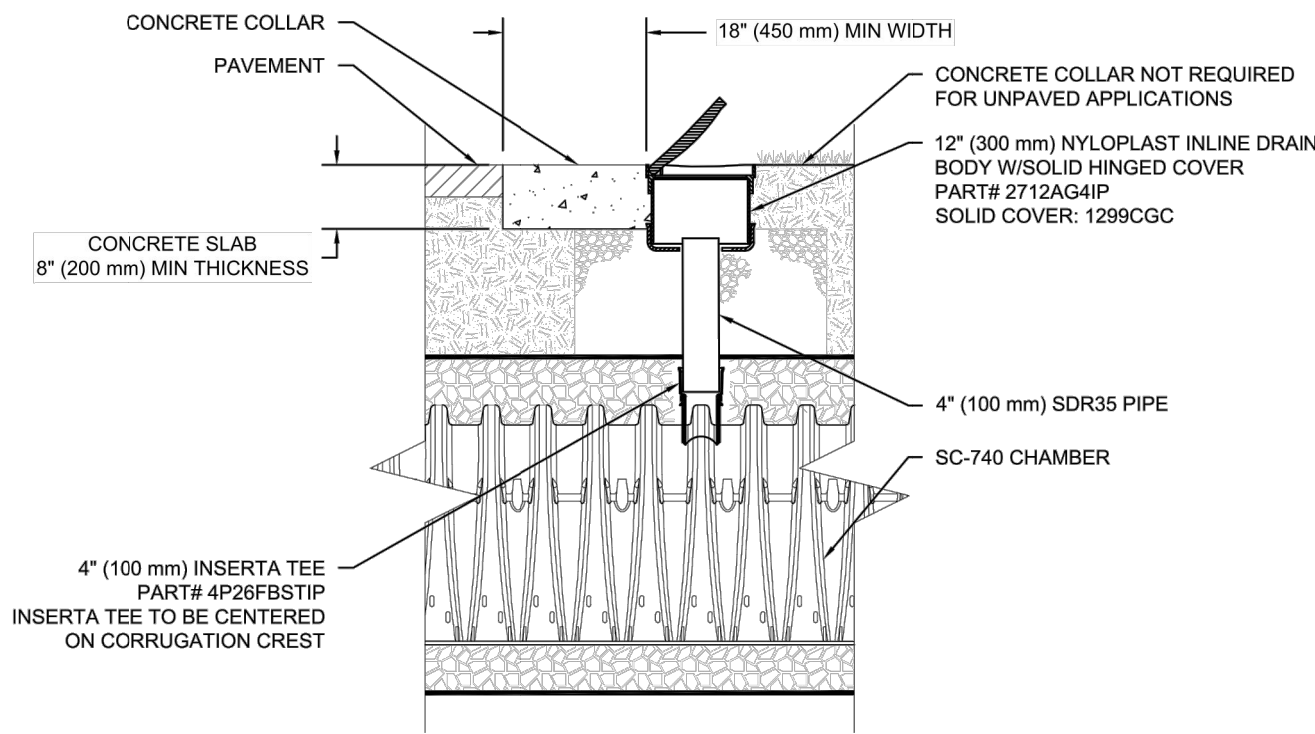
CONSTRUCTION DETAILS



SUBSURFACE AREA	BOT. STONE ELEV.	BOT. CHAMBER ELEV.	TOP CHAMBER ELEV.	TOP STONE ELEV.	100 YR STORM ELEV.
ROOF DRYWELL	30.20	30.70	33.20	33.70	32.80

SUBSURFACE
INFILTRATION AREA

N.T.S.



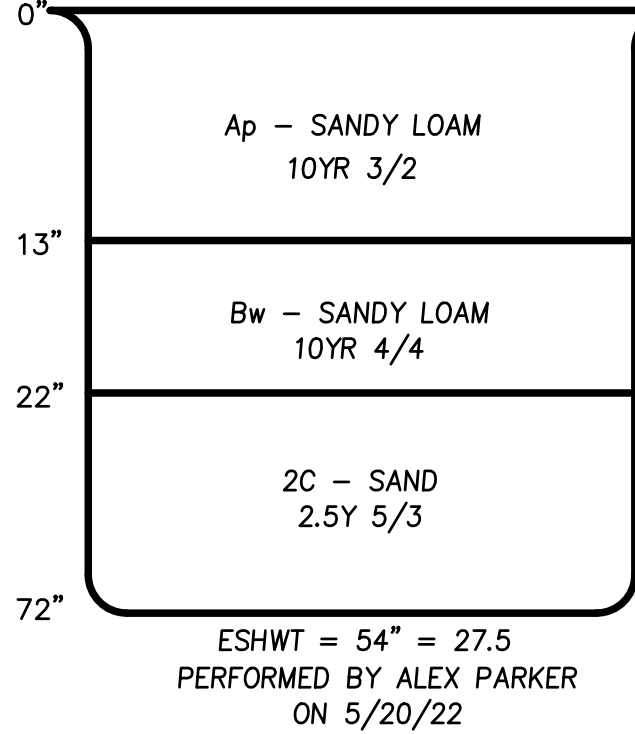
SC-740 4" (100 mm) INSPECTION PORT DETAIL

N.T.S.

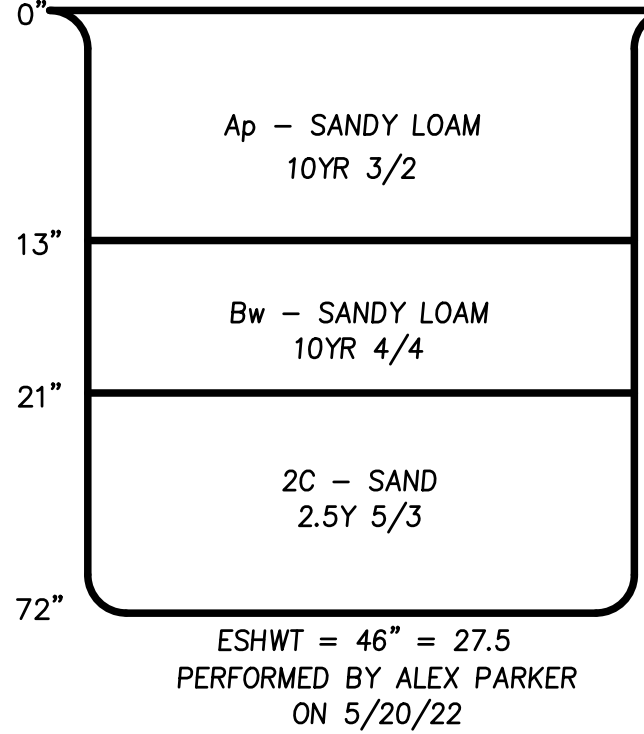
INSPECTION PORT
DETAIL

N.T.S.

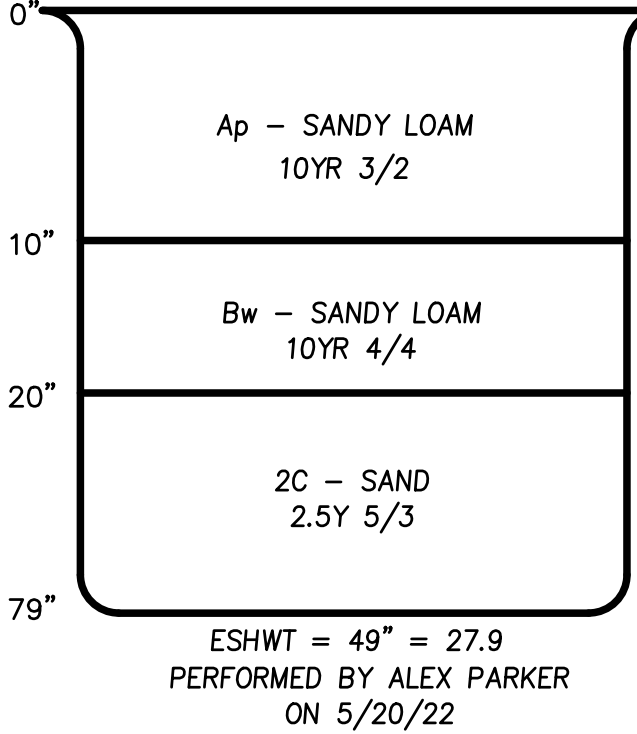
TEST PIT#22-1
ELEV. = 32.0



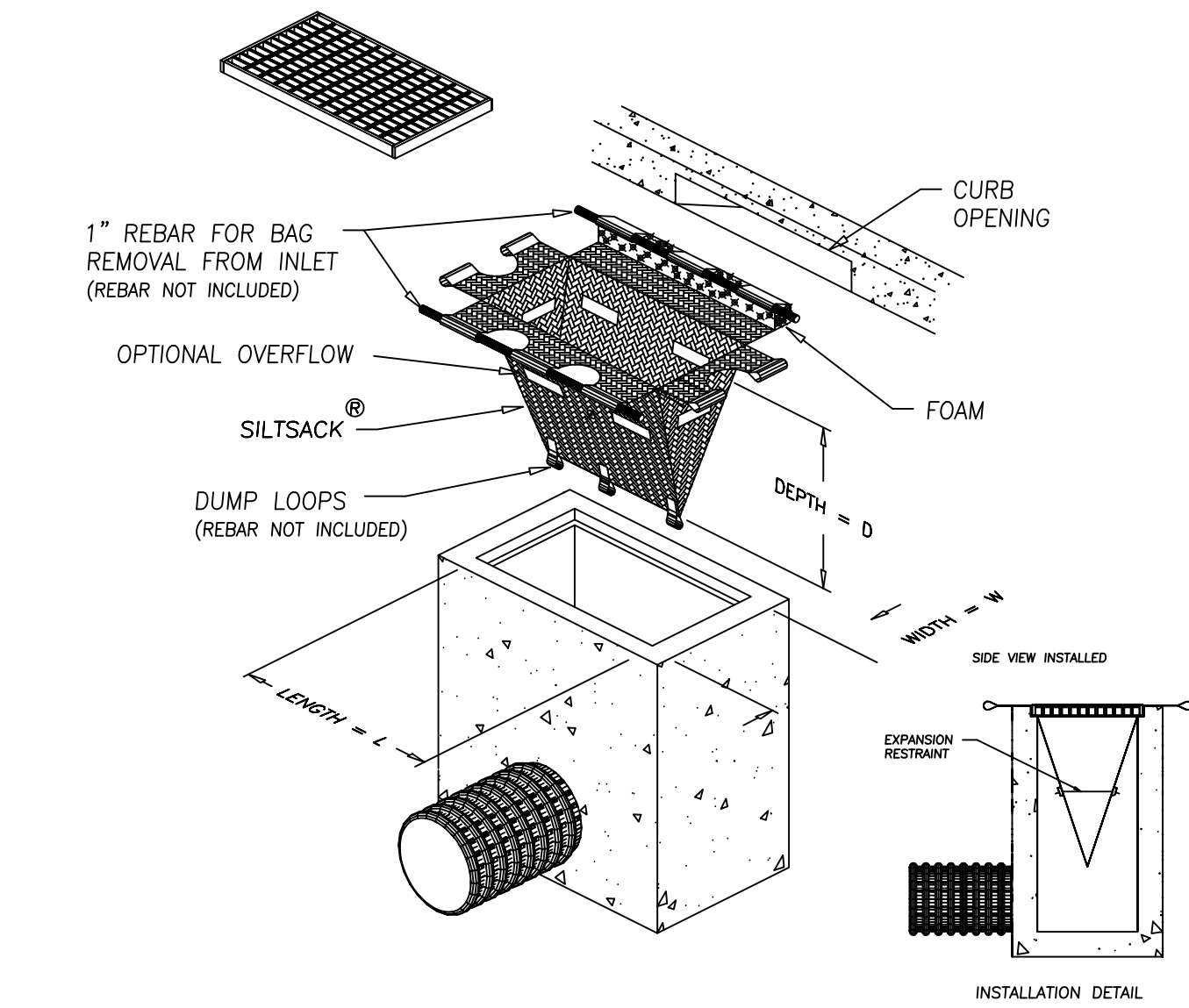
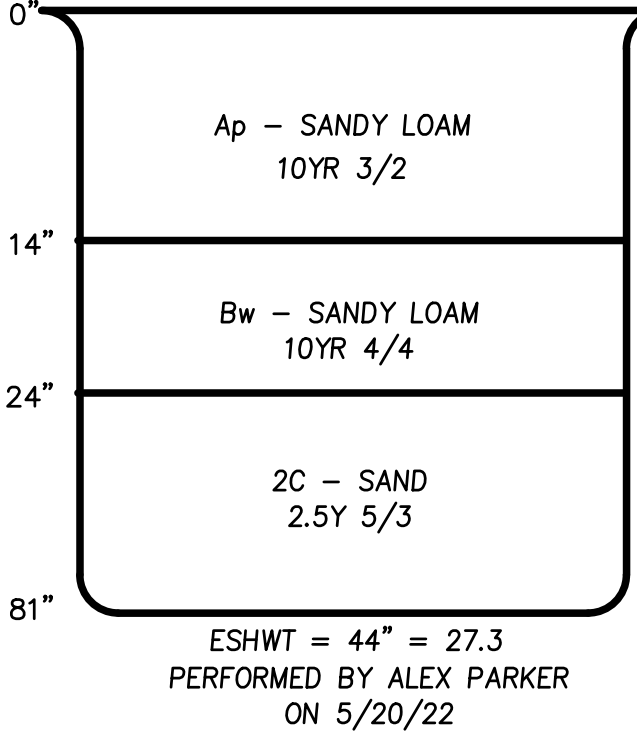
TEST PIT#22-2
ELEV. = 31.3



TEST PIT#22-3
ELEV. = 32.0



TEST PIT#22-4
ELEV. = 31.0

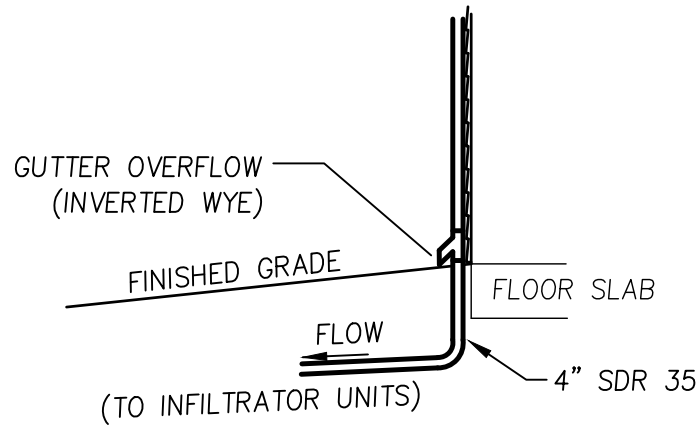


NOTES

1. TO INSTALL SILTSACK IN THE CATCH BASIN, REMOVE THE GRATE AND PLACE THE SACK IN THE OPENING. HOLD APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME. THIS IS THE AREA OF THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
2. WHEN THE RESTRAINT CORD IS NO LONGER VISIBLE, SILTSACK IS FULL AND SHOULD BE EMPTIED.
3. TO REMOVE SILTSACK, TAKE TWO PIECES OF 1" DIAMETER REBAR AND PLACE THROUGH THE LIFTING LOOPS ON EACH SIDE OF THE SACK TO FACILITATE THE LIFTING OF SILTSACK.
4. TO EMPTY SILTSACK, PLACE UNIT WHERE THE CONTENTS WILL BE COLLECTED. PLACE THE REBAR THROUGH THE LIFT STRAPS (CONNECTED TO THE BOTTOM OF THE SACK) AND LIFT. THIS WILL LIFT SILTSACK FROM THE BOTTOM AND EMPTY THE CONTENTS. CLEAN OUT AND RINSE. RETURN SILTSACK TO ITS ORIGINAL SHAPE AND PLACE BACK IN THE BASIN.
5. SILTSACK IS REUSABLE. ONCE THE CONSTRUCTION CYCLE IS COMPLETE, REMOVE SILTSACK FROM THE BASIN AND CLEAN. SILTSACK SHOULD BE STORED OUT OF SUNLIGHT UNTIL NEXT USE.

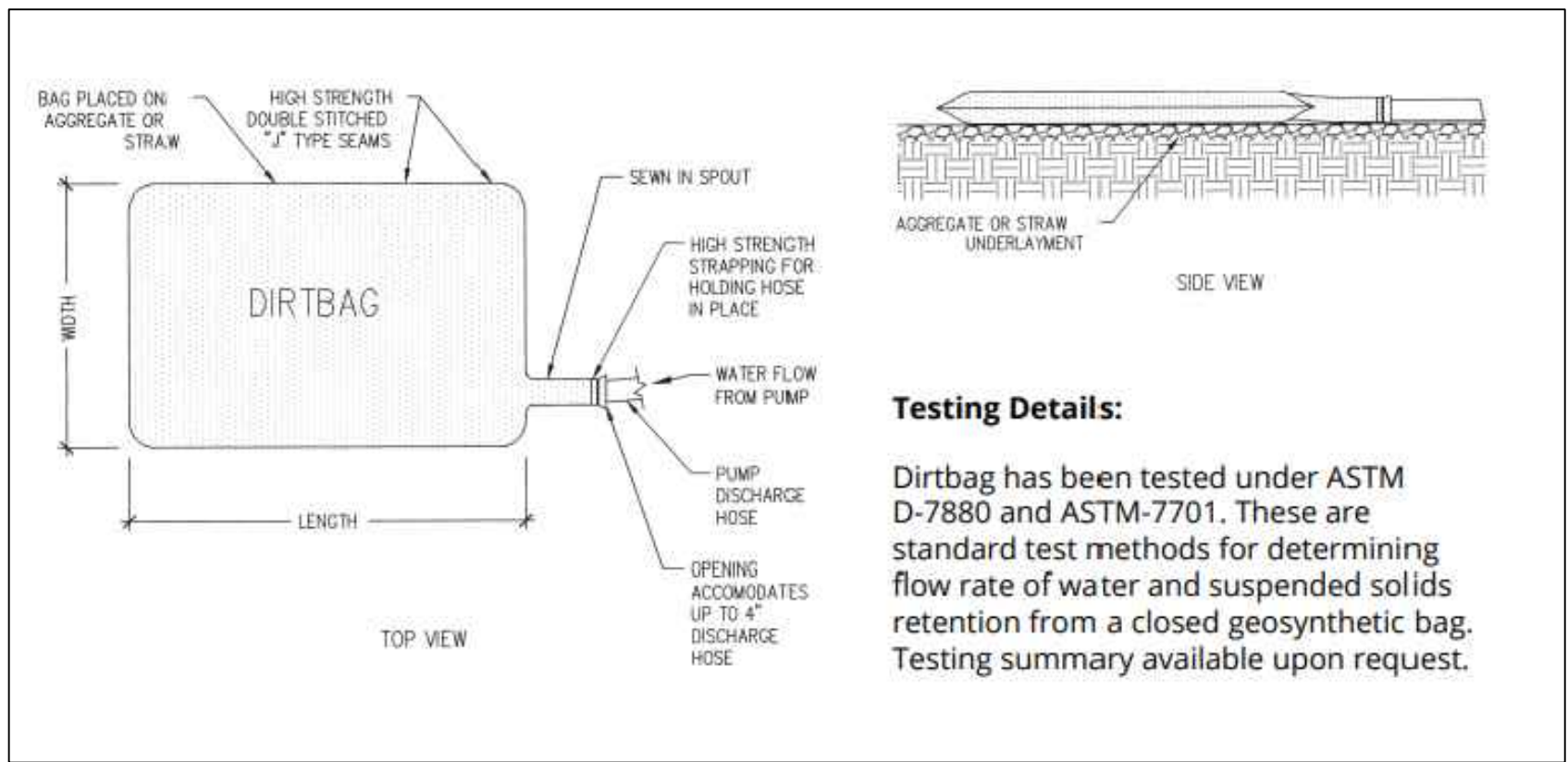
SILT SACK
DETAIL

N.T.S.



GUTTER DOWN
SPOUT DETAIL

N.T.S.



NOTE

1. "DIRTBAG" DEWATERING BAG BY ACF ENVIRONMENTAL OR APPROVED EQUAL.

TYPICAL DEWATERING
DETAIL

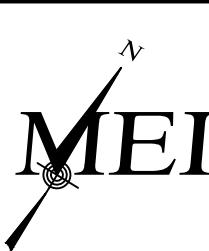
N.T.S.



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SITE PLAN
IN
SALISBURY, MA
AT
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**CONSTRUCTION
DETAILS**