

RESIDENTIAL SITE DEVELOPMENT PLAN SET

504 NORTH END BOULEVARD
SALISBURY, MASSACHUSETTS

NOTES

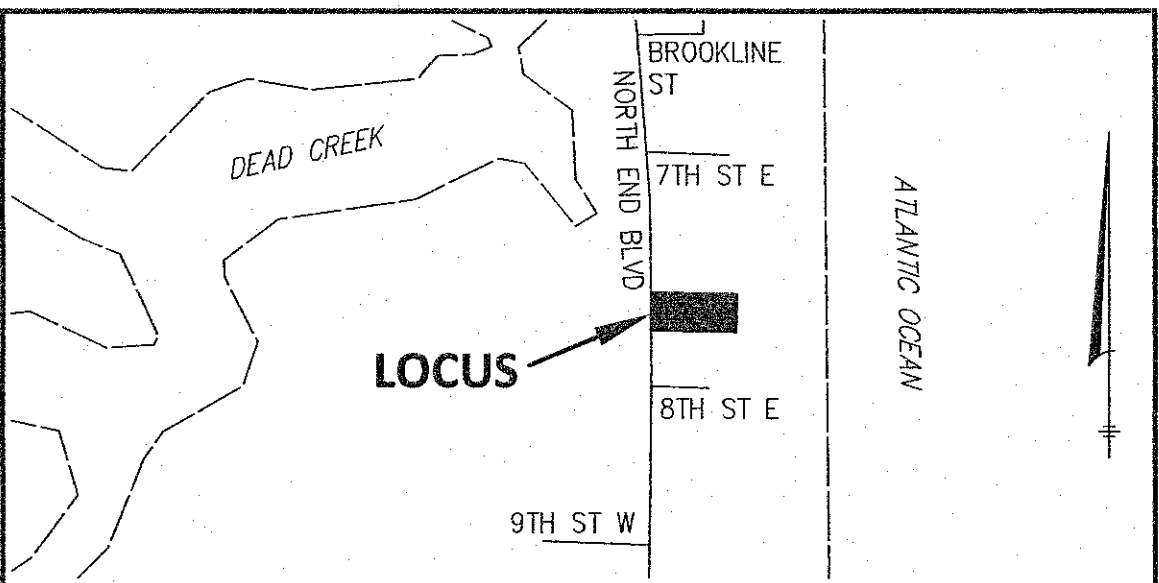
- EXISTING CONDITIONS AND BOUNDARY LOCATION SHOWN HEREON FROM AN INSTRUMENT SURVEY PERFORMED ON AUGUST 5, 2020. ELEVATIONS SHOWN HEREON REFER TO NAVD88 DATUM.
- PORTIONS OF THE PREMISES SHOWN HEREON ARE LOCATED WITHIN FLOOD HAZARD AREAS AS SHOWN ON DEPARTMENT H.U.D. FEDERAL INSURANCE ADMINISTRATION MAPS, PER COMMUNITY PANEL FM25009C0127F, EFFECTIVE DATE JULY 3, 2012, INCLUDING ZONE VE (ELEV=17), ZONE VE (ELEV=15), AND ZONE AO (2-FOOT DEPTH).
- UTILITIES OTHER THAN THOSE SHOWN MAY EXIST. CALL DIG-SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
- ALL WORK SHALL COMPLY WITH THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS AND ALL LOCAL REGULATIONS.

LEGEND

—○—○—○—○—○—	CHAINLINK FENCE
—●—●—●—●—●—	STONE WALL
□	STONE BOUND DRILL HOLE
---	2-FOOT CONTOUR
—○—○—○—○—○—	DRAIN PIPE
—○—○—○—○—○—	GAS PIPE
—○—○—○—○—○—	OVERHEAD WIRE
—S—S—S—S—S—	SEWER LINE
—W—W—W—W—W—	WATER LINE
⊙	SEWER MANHOLE
⊙	DRAIN MANHOLE
⊞	CATCH BASIN
⊞	HYDRANT
⊞	WATER GATE VALVE
⊞	GAS GATE VALVE
⊞	UTILITY POLE

ABBREVIATIONS

BIT.	BITUMINOUS
BOT.	BOTTOM
CB	CATCH BASIN
CCB	CAPE COD BERM
CLF	CHAINLINK FENCE
CONC.	CONCRETE
EL	ELEVATION
FF	FIRST FLOOR ELEVATION
GS	GARAGE SLAB ELEVATION
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HYD	HYDRANT
INV	INVERT
L= / S=	LENGTH= / SLOPE=
OS/LSA	OPEN SPACE/LANDSCAPED AREA
PROP.	PROPOSED
PVC	POLYVINYL CHLORIDE PIPE
SF	SQUARE FEET
SIS	SUBSURFACE INFILTRATION SYSTEM
SMH	SEWER MANHOLE
SWK	SIDEWALK
TBM	TEMPORARY BENCHMARK
TH	TEST HOLE
UP	UTILITY POLE
VGC	VERTICAL GRANITE CURB



LOCUS
1"=500'

SHEET INDEX

- TITLE SHEET
- EXISTING CONDITIONS PLAN
- LAYOUT, LIGHTING, & LANDSCAPING PLAN
- GRADING, UTILITIES, & EROSION CONTROL PLAN
- DETAILS

ASSESSORS ID

MAP 36, LOT 138A

PROPERTY OWNER

504 NORTH END BLVD, LLC
229 STEDMAN STREET
LOWELL, MASSACHUSETTS 01851

DEED REFERENCES

ESSEX COUNTY SOUTHERN DISTRICT REGISTRY OF DEEDS
BOOK 38806, PAGE 358

PLAN REFERENCES

ESSEX COUNTY SOUTHERN DISTRICT REGISTRY OF DEEDS
LAND COURT PLAN 3200-189-1

ZONING

DISTRICT: R-3, RESIDENTIAL-3

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	10,890 SF	22,498±SF	22,498±SF
MIN. FRONTAGE	40'	100.0'	100.00'
MIN. FRONT YARD	20'	126.5'	23.1'
MIN. SIDE YARD	10'	8.1' *	10.0'
MIN. REAR YARD	10'	25.8'	23.1'
MAX. LOT COVERAGE	60%	24.3%	33.8%
MAX. BUILDING HEIGHT	35'	30'	39' **

* PRE-EXISTING NON-CONFORMING
** VARIANCE GRANTED BY SALISBURY ZONING BOARD OF APPEALS

NOTE: SITE IS LOCATED IN THE FLOOD PLAIN OVERLAY.

TITLE SHEET

504 NORTH END BOULEVARD
SALISBURY, MASSACHUSETTS

PLAN PREPARED FOR:

DALY GROUP
229 STEDMAN STREET
LOWELL, MASSACHUSETTS

PLAN PREPARED BY:

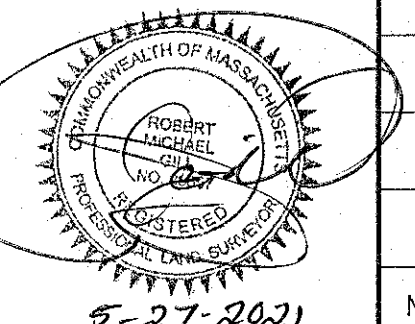
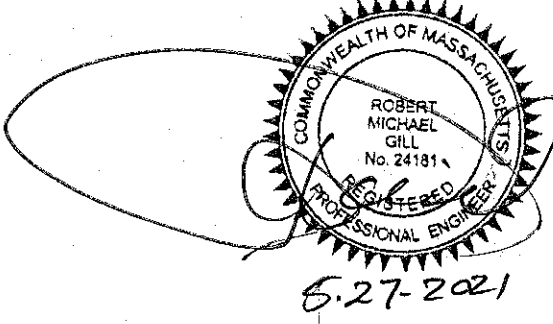
LANDPLEX
CIVIL ENGINEERING - SURVEYING
10 GEORGE STREET, UNIT 208
LOWELL, MASSACHUSETTS 01852
978-201-9390 - LANDPLEX.COM

SHEET: 1 OF 5

SCALE: AS NOTED

JANUARY 5, 2021

4	SEWER LINE & ELECTRIC LINE SHIFTED 1 FOOT	5/27/2021
3	PER ENGINEER REVIEW COMMENTS	5/10/2021
2	PER ENGINEER REVIEW COMMENTS	4/20/2021
1	ARCHITECTURAL REVISIONS & REVIEW COMMENTS	3/15/2021
NO.	REVISION DESCRIPTION	DATE



SOIL TESTING

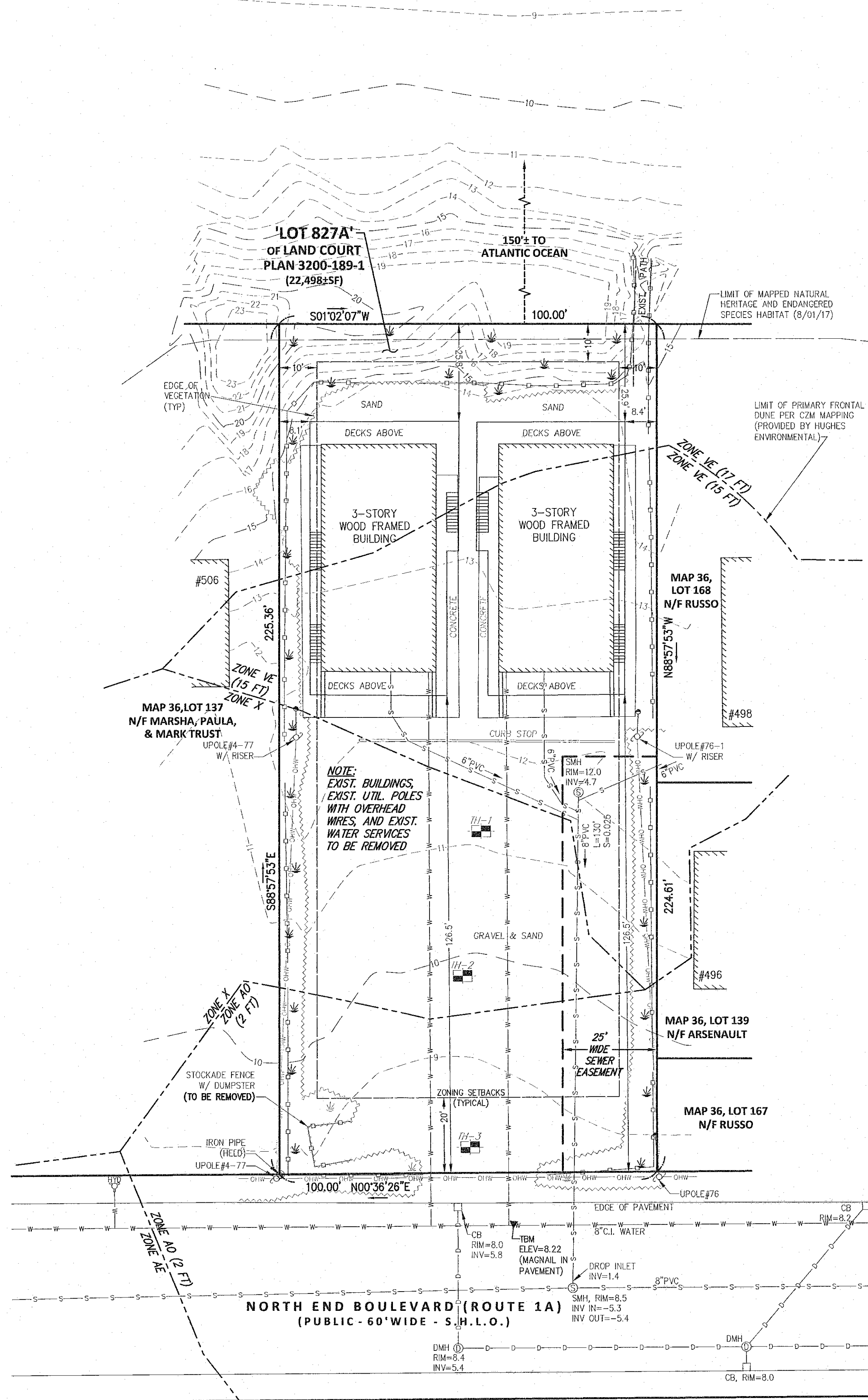
EVALUATOR: STEVE ERIKSEN
NORSE ENVIRONMENTAL
DATE: 12/15/20

TH-1
SURFACE ELEV = 11.2
0-96" C1, MEDIUM TO COARSE SAND, 2.5Y3/3
ESHWI AT 78"
ESHWI ELEV = 4.7

TH-2
SURFACE ELEV = 9.8
0-96" C1, MEDIUM TO COARSE SAND, 2.5Y3/3
ESHWI AT 84"
ESHWI ELEV = 2.8

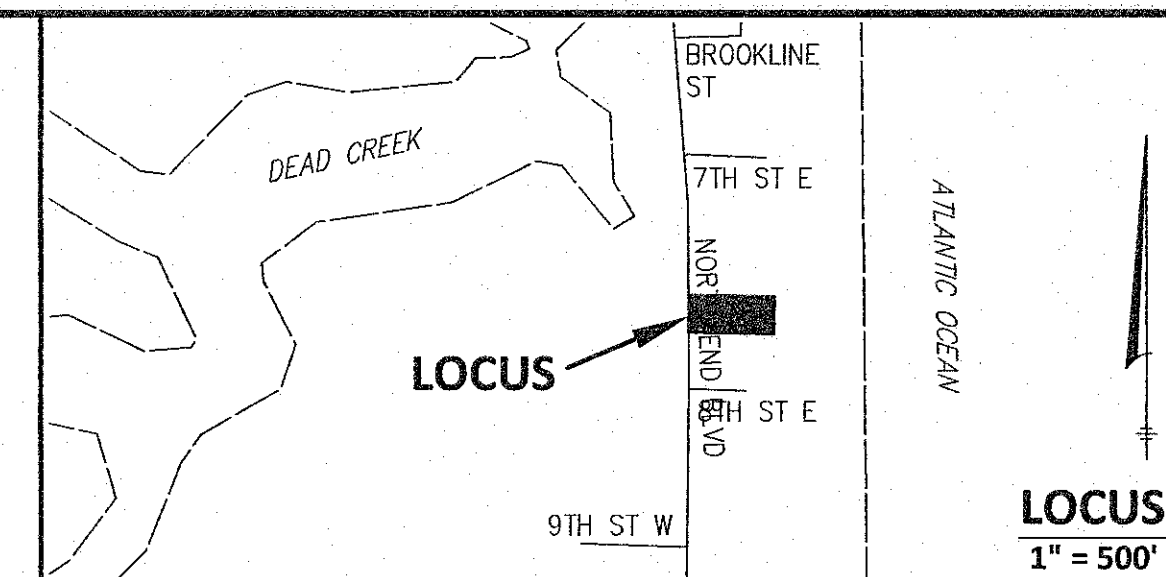
TH-3
SURFACE ELEV = 8.6
0-96" C1, MEDIUM TO COARSE SAND, 2.5Y3/3
ESHWI AT 96"
ESHWI ELEV = 0.6

ESSEX SOUTH REGISTRY OF DEEDS
LAND COURT PLAN 3200-189-1



LEGEND

12	1-FOOT CONTOUR
CHW	OVERHEAD WIRE LINE
CHW	UTILITY POLE
CHW	HYDRANT
CHW	PARKING SPACES
CB	CATCH BASIN
FT	FOOT
HYD	HYDRANT
PROP.	PROPOSED
SF	SQUARE FEET
SHLO	STATE HIGHWAY LAYOUT
TYP	TYPICAL
UPOLE	UTILITY POLE



ASSESSORS

MAP 36, LOT 138A

PROPERTY OWNER

504 NORTH END BLVD, LLC
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LOWELL, MASSACHUSETTS 01851

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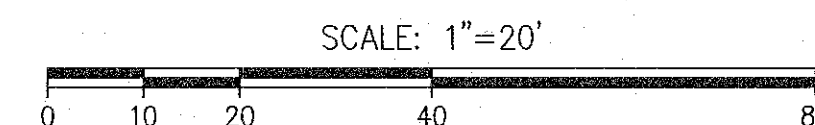
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ZONING INFORMATION

DISTRICT: R-3, RESIDENTIAL-3

DESCRIPTION	REQUIRED	EXISTING
MIN. LOT AREA	10,890 SF	22,498±SF
MIN. FRONTAGE	40'	100.0'
MIN. FRONT YARD	20'	126.5'
MIN. SIDE YARD	10'	8.1' **
MIN. REAR YARD	10'	25.8'
MAX. LOT COVERAGE	60%	24.3%

** PRE-EXISTING NON-CONFORMING



EXISTING CONDITIONS PLAN

504 NORTH END BOULEVARD SALISBURY, MASSACHUSETTS

PLAN PREPARED FOR:

DALY GROUP
229 STEDMAN STREET
LOWELL, MASSACHUSETTS

PLAN PREPARED BY:

LANDPLEX
CIVIL ENGINEERING - SURVEYING
10 GEORGE STREET, UNIT 208
LOWELL, MASSACHUSETTS 01852
978-201-9390 - LANDPLEX.COM

SHEET: 2 OF 5

SCALE: 1" = 20'

JANUARY 5, 2021

4	SEWER LINE & ELECTRIC LINE SHIFTED 1 FOOT	5/27/2021
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<u>WITHIN ZONE VE (ELEV=17)</u>	<u>EXISTING</u>	<u>PROPOSED</u>
AREA OF BUILDINGS	1,007±SF	513±SF
AREA OF DECKS & STAIRS	888±SF	58±SF
AREA OF CONCRETE	353±SF	0±SF
AREA OF GRAVEL SURFACES	0±SF	615±SF

<u>WITHIN ZONE VE (ELEV=15)</u>	<u>EXISTING</u>	<u>PROPOSED</u>
AREA OF BUILDINGS	2,667±SF	2,571±SF
AREA OF DECKS & STAIRS	1,039±SF	630±SF
AREA OF CONCRETE	1,974±SF	0±SF
AREA OF GRAVEL SURFACES	1,744±SF	1,427±SF

<u>WITHIN ZONE X</u>	<u>EXISTING</u>	<u>PROPOSED</u>
AREA OF BUILDINGS	0±SF	2,359±SF
AREA OF DECKS & STAIRS	0±SF	534±SF
AREA OF CONCRETE	0±SF	0±SF
AREA OF GRAVEL SURFACES	3,270±SF	1,182±SF

<u>WITHIN_ZONE_A0</u>	<u>EXISTING</u>	<u>PROPOSED</u>
AREA OF BUILDINGS	0±SF	1,223±SF
AREA OF DECKS & STAIRS	0±SF	320±SF
AREA OF CONCRETE	3±SF	48±SF (APRON)
AREA OF GRAVEL SURFACES	4,519±SF	1,259±SF

<u>TOTAL</u>	<u>EXISTING</u>	<u>PROPOSED</u>
AREA OF BUILDINGS	3,674±SF	6,666±SF
AREA OF DECKS & STAIRS	1,792±SF	1,542±SF
AREA OF CONCRETE	2,329±SF	48±SF (APRON)
AREA OF GRAVEL SURFACES	9,533±SF	4,483±SF

-----12-----	1-FOOT CONTOUR
CHW CHW CHW	OVERHEAD WIRE LINE
	UTILITY POLE
	HYDRANT
②	PARKING SPACES
CB	CATCH BASIN
FT	FOOT
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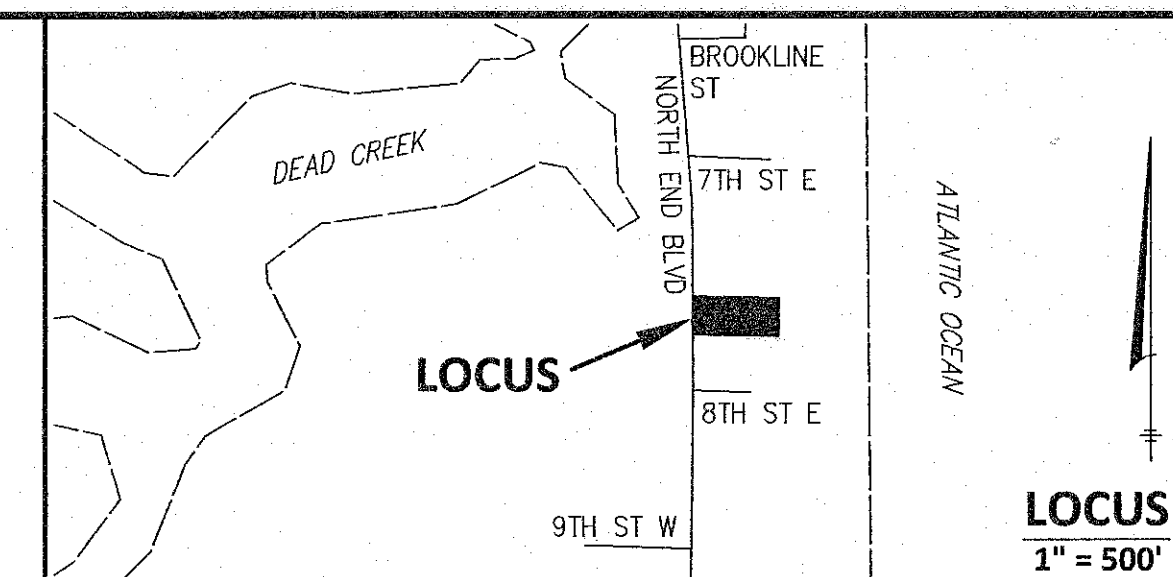


SIGHT DISTANCE TO NORTH AND SOUTH OF PROJECT ENTRANCE EXCEEDS FIVE HUNDRED (500) LINEAR FEET. POSTED SPEED LIMIT ON NORTH END BOULEVARD IS 40 MPH. ASSHTO REQUIREMENTS FOR SIGHT DISTANCE IN A 40 MPH SPEED LIMIT IS THREE HUNDRED FIVE (305) LINEAR FEET.

IN ADDITION TO THE PROP. SNOW STORAGE LOCATIONS SHOWN HEREON,
DURING TIMES OF EXCESSIVE SNOWFALL, THE PROP. VISITOR PARKING
SPACES CAN BE USED AS SNOW STORAGE AS WELL.

REFER TO STANDALONE LANDSCAPING PLAN BY OTHERS FOR MORE
INFORMATION REGARDING PROPOSED VEGETATION.

REFER TO STANDALONE PHOTOMETRIC PLAN BY OTHERS FOR MORE
INFORMATION REGARDING PROPOSED LIGHTING.



MAP 36, LOT 138A

504 NORTH END BLVD, LLC
229 STEDMAN STREET
LOWELL, MASSACHUSETTS 01851

ESSEX COUNTY SOUTHERN DISTRICT REGISTRY OF DEEDS
BOOK 38806, PAGE 358

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LAND COURT PLAN 3200-189-1

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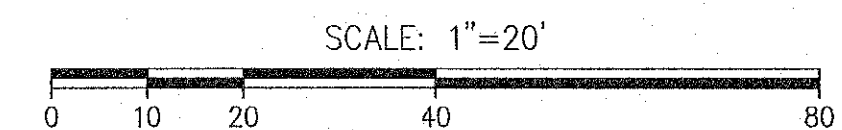
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MAX. LOT COVERAGE	60%	24.3%	33.8%
MAX. BUILDING HEIGHT	35'	30'	39' **

* PRE-EXISTING NON-CONFORMING
** VARIANCE GRANTED BY SALISBURY ZONING BOARD OF APPEALS

REQUIRED PARKING
= 2 SPACES PER DWELLING UNIT
= 2 SPACES x 9 PROPOSED UNITS
= 18 SPACES REQUIRED

PROPOSED PARKING
= 2 GARAGE SPACES UNDER PER DWELLING
= 18 SPACES PROPOSED



LAYOUT, LIGHTING, & LANDSCAPING PLAN

504 NORTH END BOULEVARD
SALISBURY, MASSACHUSETTS

PLAN PREPARED FOR:

DALY GROUP
229 STEDMAN STREET
LOWELL, MASSACHUSETTS

PLAN PREPARED BY:

LANDPLEX

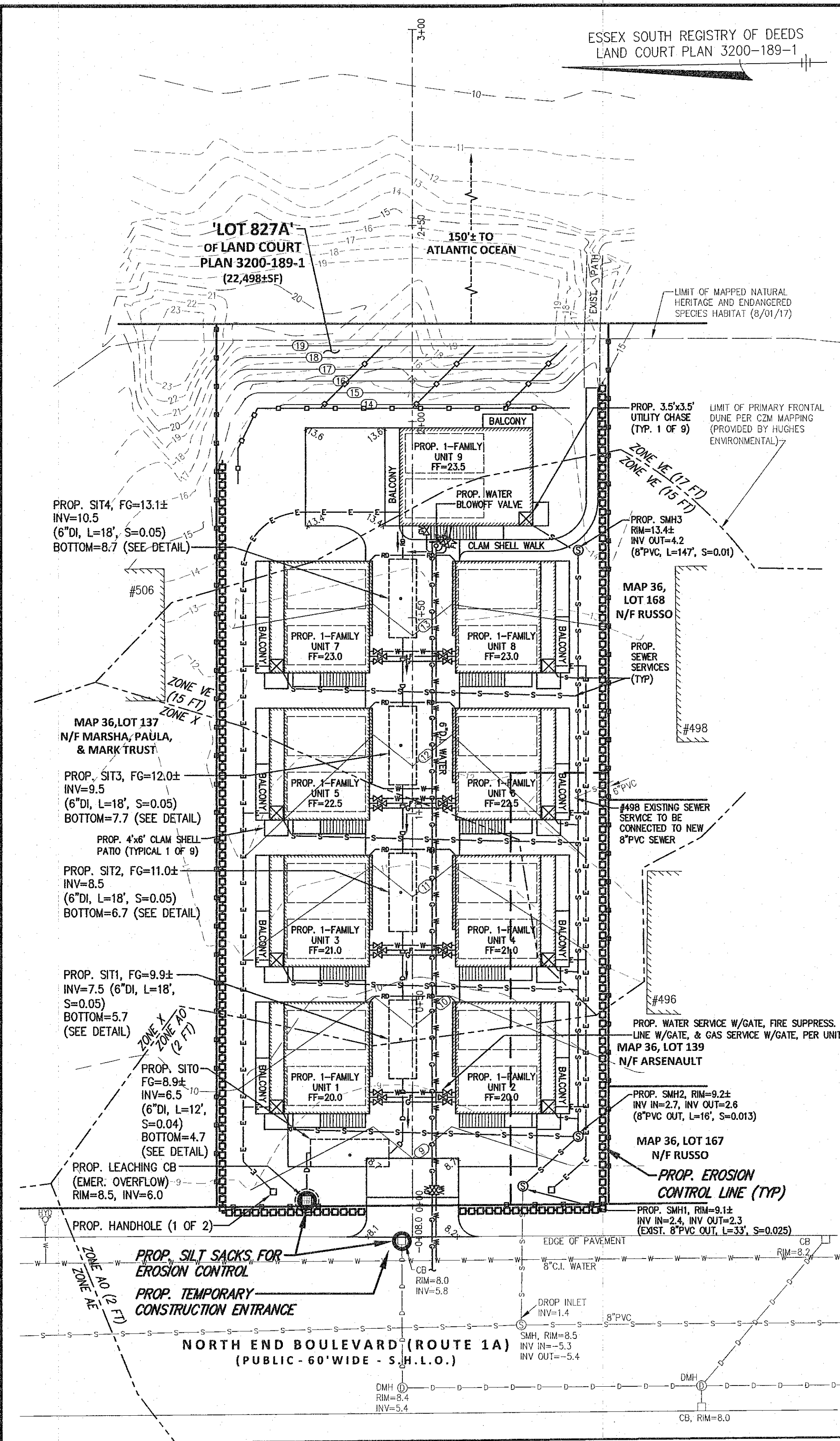
CIVIL ENGINEERING - SURVEYING
10 GEORGE STREET, UNIT 208
LOWELL, MASSACHUSETTS 01852
978-201-9390 - LANDPLEX.COM

SHEET: 3 OF 5

SCALE: 1" = 20'

JANUARY 5, 2021

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LEGEND

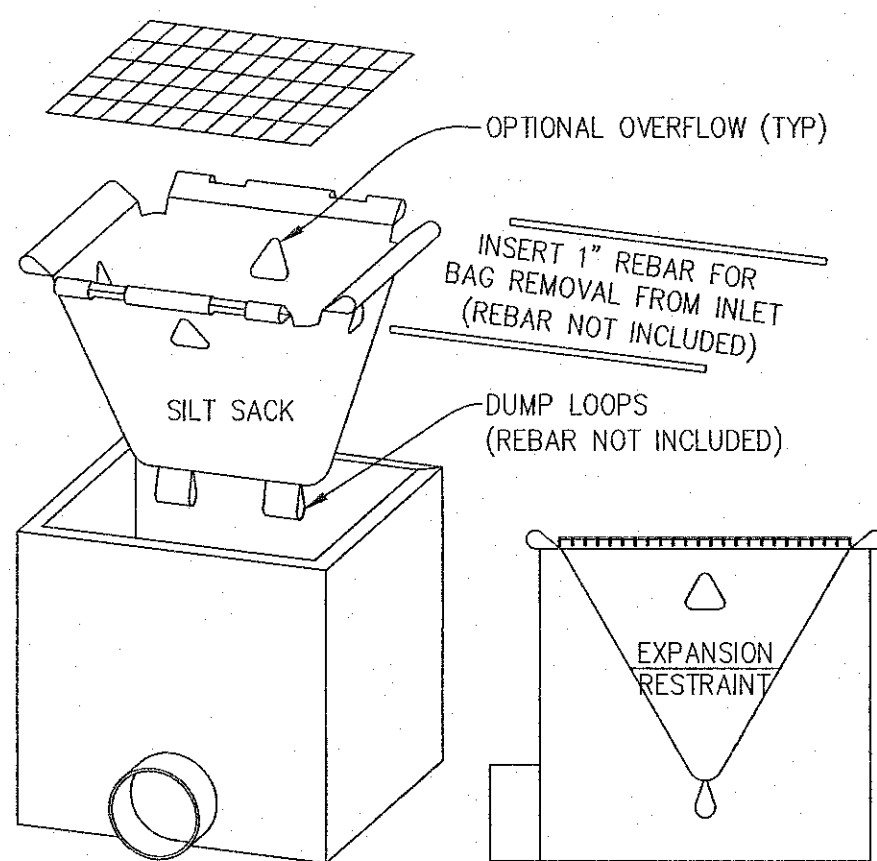
- 1-FOOT CONTOUR
- DRAIN PIPE
- SEWER PIPE
- FEMA LINE
- NHESP LINE
- STATIONING CENTER LINE
- DRAIN MANHOLE
- SEWER MANHOLE
- HYDRANT

ABBREVIATIONS

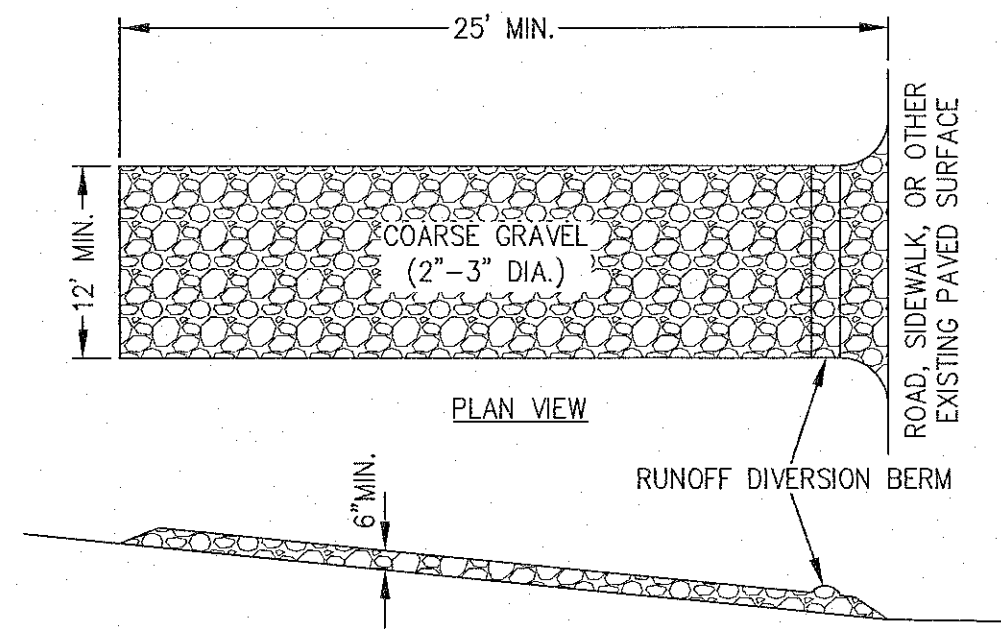
- | | | | |
|------|-----------------------|-----------|----------------------|
| 2F | 2ND FLOOR ELEVATION | HYD | HYDRANT |
| CB | CATCH BASIN | INV | INVERT |
| C.I. | CAST IRON | MIN./MAX. | MINIMUM/MAXIMUM |
| D.I. | DUCTILE IRON | PROP. | PROPOSED |
| DMH | DRAIN MANHOLE | SF | SQUARE FEET |
| FF | FIRST FLOOR ELEVATION | SHLO | STATE HIGHWAY LAYOUT |
| FT | FEET | SMH | SEWER MANHOLE |
| GAR. | GARAGE | TYP | TYPICAL |

CONSERVATION INFORMATION

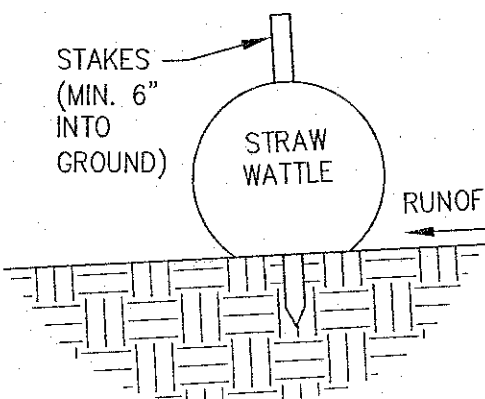
WITHIN ZONE VE (ELEV=17)			WITHIN ZONE X			TOTAL		
EXISTING	PROPOSED		EXISTING	PROPOSED		EXISTING	PROPOSED	
AREA OF BUILDINGS	1,007±SF	513±SF	AREA OF BUILDINGS	0±SF	2,359±SF	AREA OF BUILDINGS	3,674±SF	6,666±SF
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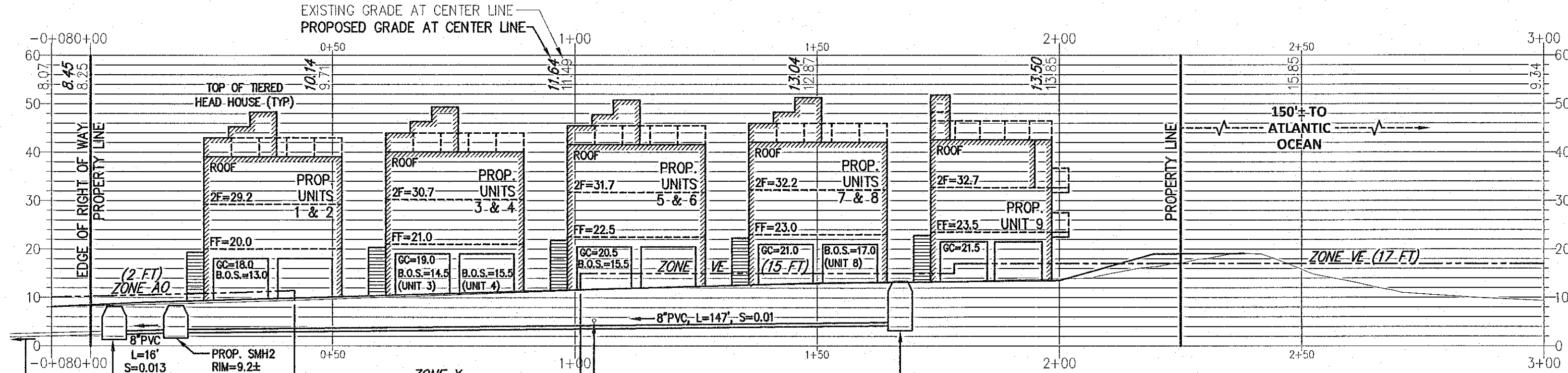
SILT SACK DETAIL



TEMPORARY CONSTRUCTION ENTRANCE

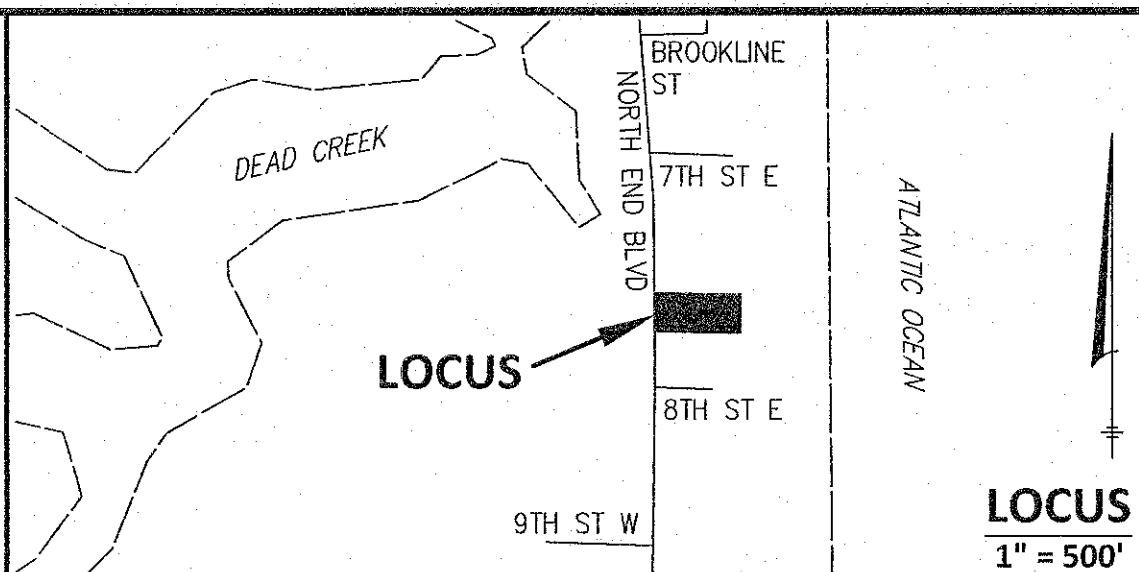


STRAW WATTLE EROSION CONTROL DETAIL



PROFILE VIEW

ELEVATION TABLE				
	Highest Flood Level	Bottom of Starting	Height of Expected Grade	Lowest Horizontal Member
Unit 1	Elev. 12.6	Elev. 13	Elev. 10.5±	Elev. 13
Unit 2	Elev. 12.6	Elev. 13	Elev. 10.5±	Elev. 13
Unit 3	N/A	Elev. 14.5	Elev. 12.0	Elev. 13
Unit 4	Elev. 15	Elev. 15.5	Elev. 12.0	Elev. 17
Unit 5	Elev. 15	Elev. 15.5	Elev. 12.75	Elev. 17
Unit 6	Elev. 15	Elev. 15.5	Elev. 12.75	Elev. 17
Unit 7	Elev. 17	N/A	Elev. 13.4	Elev. 19
Unit 8	Elev. 15	Elev. 17	Elev. 13.75	Elev. 17
Unit 9	Elev. 17	N/A	Elev. 13.75	Elev. 19



ASSESSORS

MAP 36, LOT 138A

PROPERTY OWNER

504 NORTH END BLVD, LLC
229 STEDMAN STREET
LOWELL, MASSACHUSETTS 01851

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ZONING INFORMATION

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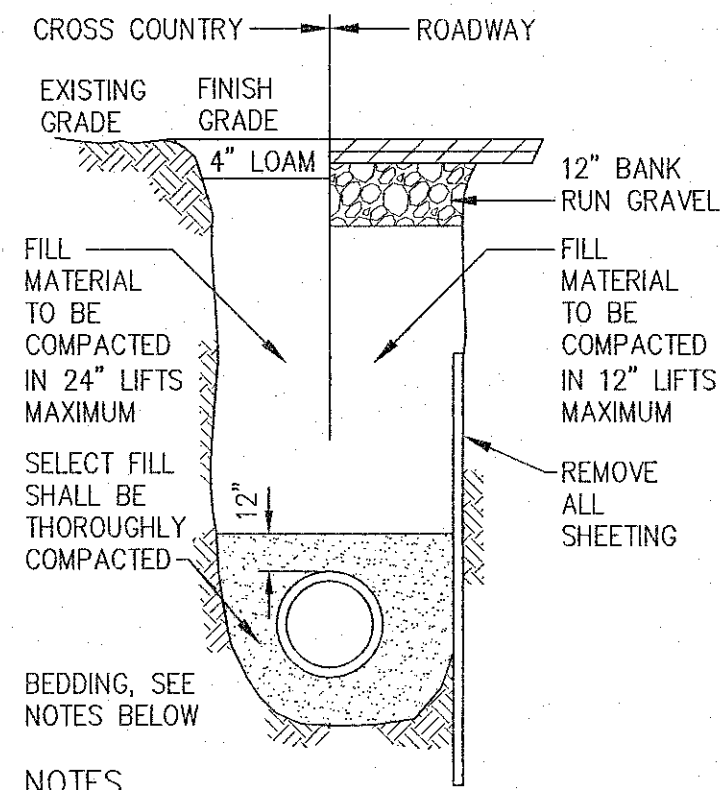
PARKING INFORMATION

- REQUIRED PARKING
- = 2 SPACES PER DWELLING UNIT
 - = 2 SPACES x 9 PROPOSED UNITS
 - = 18 SPACES REQUIRED
- PROPOSED PARKING
- = 2 GARAGE SPACES UNDER PER DWELLING + 4 VISITOR SPACES
 - = 18 SPACES + 4 VISITOR SPACES
 - = 22 SPACES PROPOSED

GRADING, UTILITIES, & EROSION CONTROL PLAN

504 NORTH END BOULEVARD
SALISBURY, MASSACHUSETTS

PLAN PREPARED FOR:		PLAN PREPARED BY:	
DALY GROUP 229 STEDMAN STREET LOWELL, MASSACHUSETTS		LANDPLEX CIVIL ENGINEERING - SURVEYING 10 GEORGE STREET, UNIT 208 LOWELL, MASSACHUSETTS 01852 978-201-8390 - LANDPLEX.COM	
SHEET: 4 OF 5	SCALE: 1" = 20'	JANUARY 5, 2021	
NO.	REVISION DESCRIPTION	DATE	
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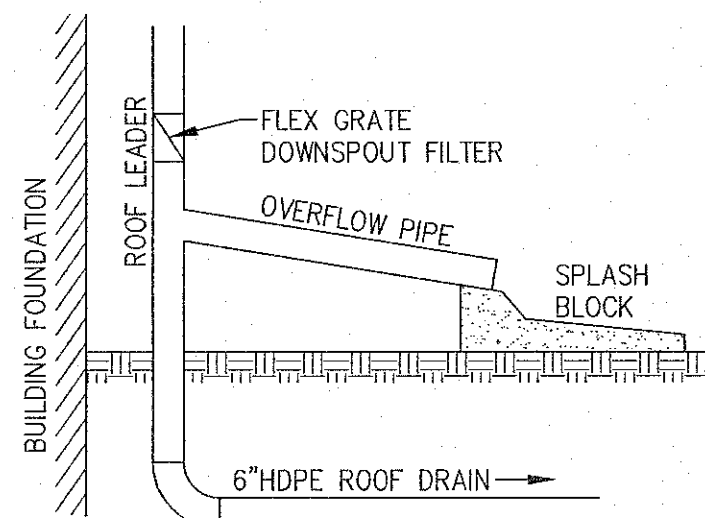


NOTES

- 5'-0" MINIMUM COVER.
- MUNICIPALITY MAY REQUIRE FLOWABLE FILL AT ITS DISCRETION.
- FOR LOCATIONS WHERE LEDGE IS NOT ENCOUNTERED IN TRENCH, PIPE CAN LAY ON UNDISTURBED EARTH, OR ON SAND BEDDING CONSISTENT WITH AWWA GUIDELINES.
- FOR LOCATIONS WHERE LEDGE IS ENCOUNTERED, SAND BEDDING SHALL BE MINIMUM OF 12" THICK UNDER PIPE.
- FILL MATERIAL SHALL BE COMPACTED TO 95% PROCTOR DENSITY.

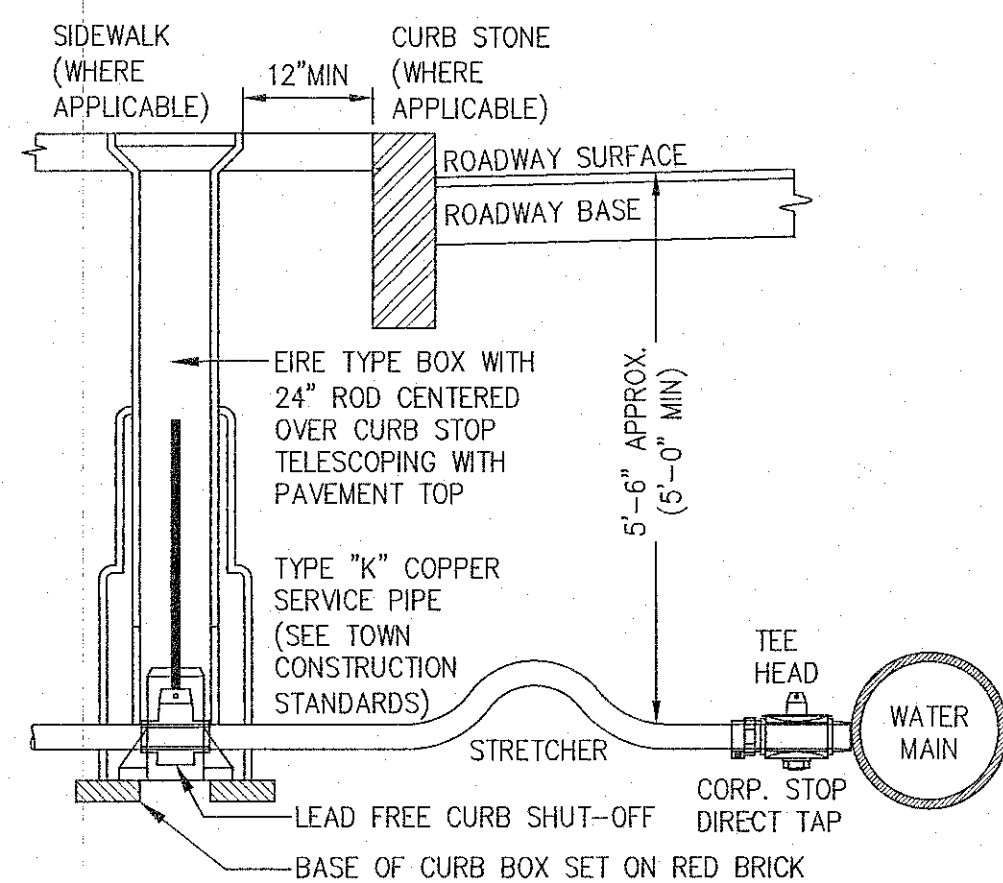
WATER MAIN TRENCH DETAIL

CROSS SECTION
NOT TO SCALE



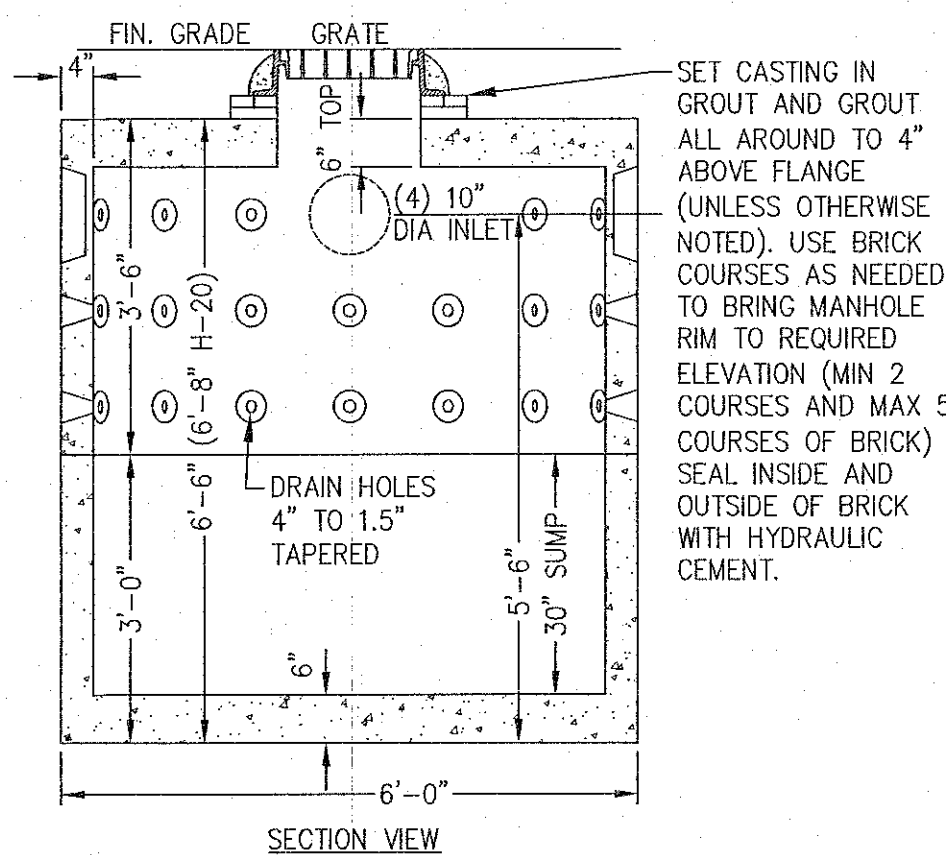
ROOF DRAIN DETAIL

NOT TO SCALE



TYPICAL WATER SERVICE CONNECTION

CROSS SECTION
NOT TO SCALE

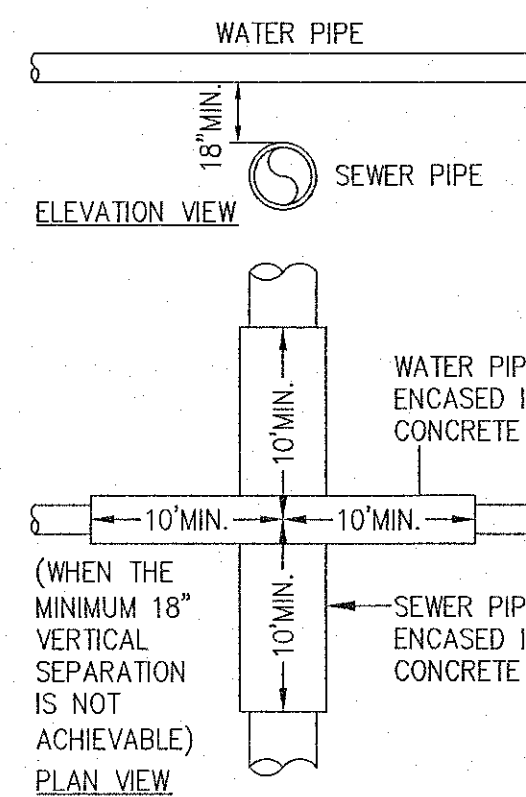


NOTES:

- CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 - AVAILABLE IN H-20 LOADING.
 - CAPACITY INCREASES IN INCREMENTS OF 500 GALLONS FOR EACH 3' SECTION ADDED.
 - ITEMS TO BE SHEA CONCRETE AS LISTED BELOW (OR APPROVED EQUIVALENT):
- | ITEM NO. | DESCRIPTION | WEIGHT |
|----------|-------------------------|--------|
| DW-SSS | 30" SUMP | 6,409# |
| DW-3SS | 3' STACKABLE (NO COVER) | 2,008# |

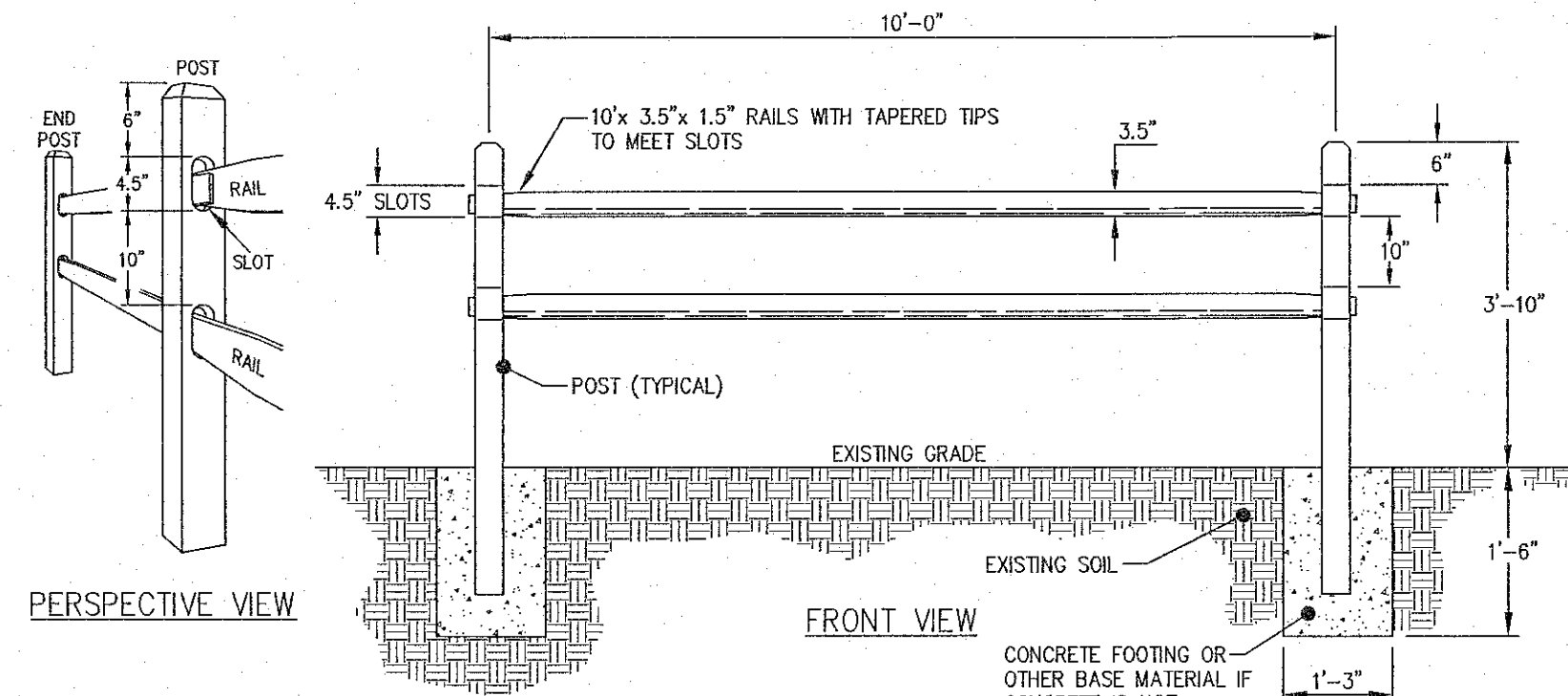
LEACHING CATCH BASIN

NOT TO SCALE



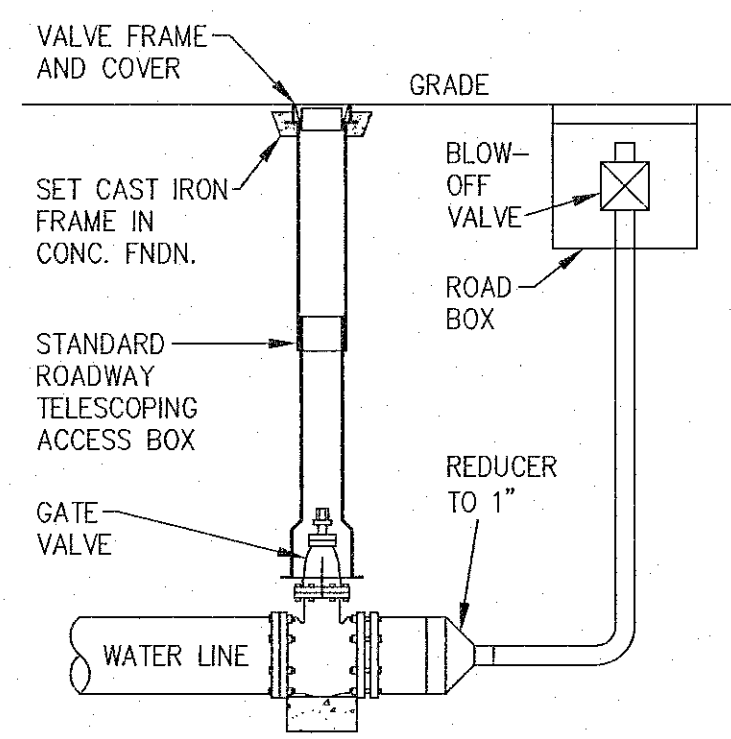
PIPE CROSSING DETAIL

NOT TO SCALE



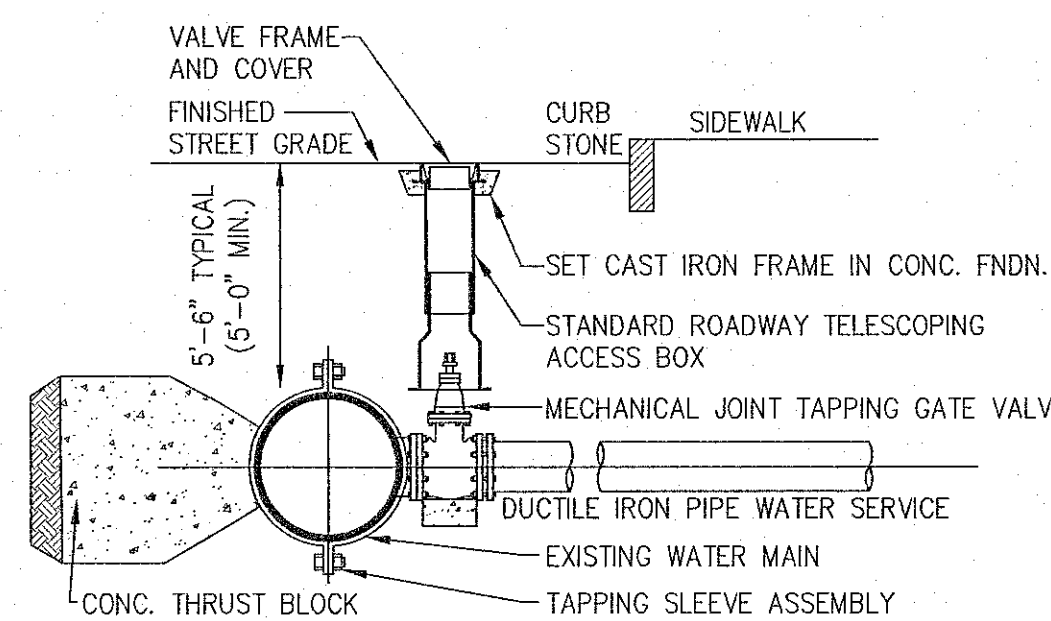
STANDARD SPLIT-RAIL FENCE

NOT TO SCALE



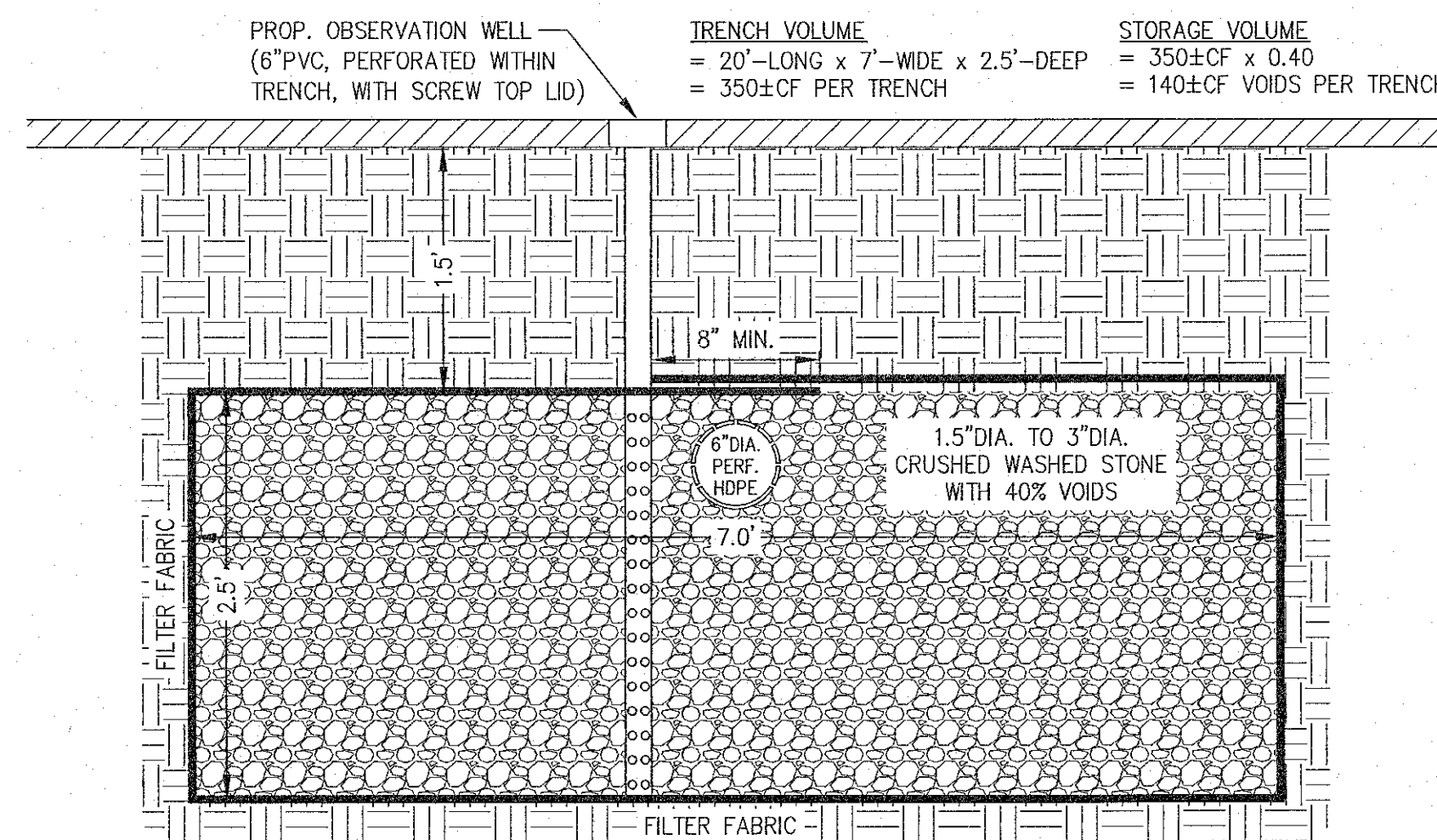
WATER LINE BLOW-OFF VALVE

CROSS SECTION
NOT TO SCALE



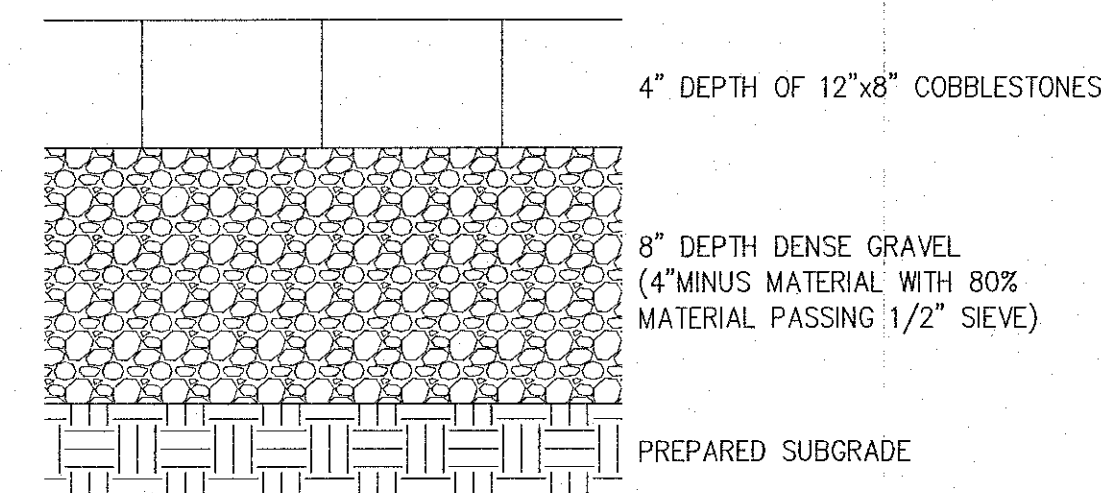
TAPPING SLEEVE DETAIL

CROSS SECTION
NOT TO SCALE



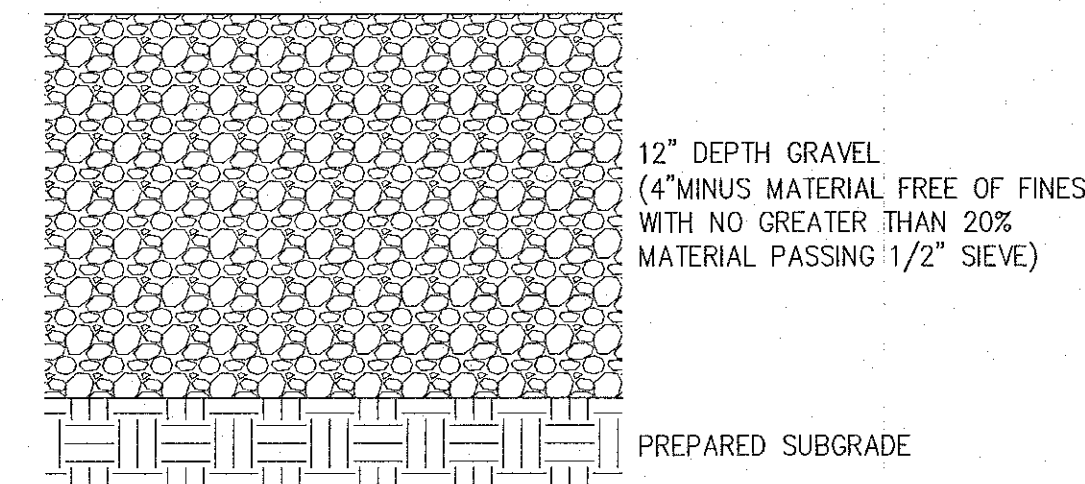
SUBSURFACE INFILTRATION TRENCH CROSS-SECTION

NOT TO SCALE



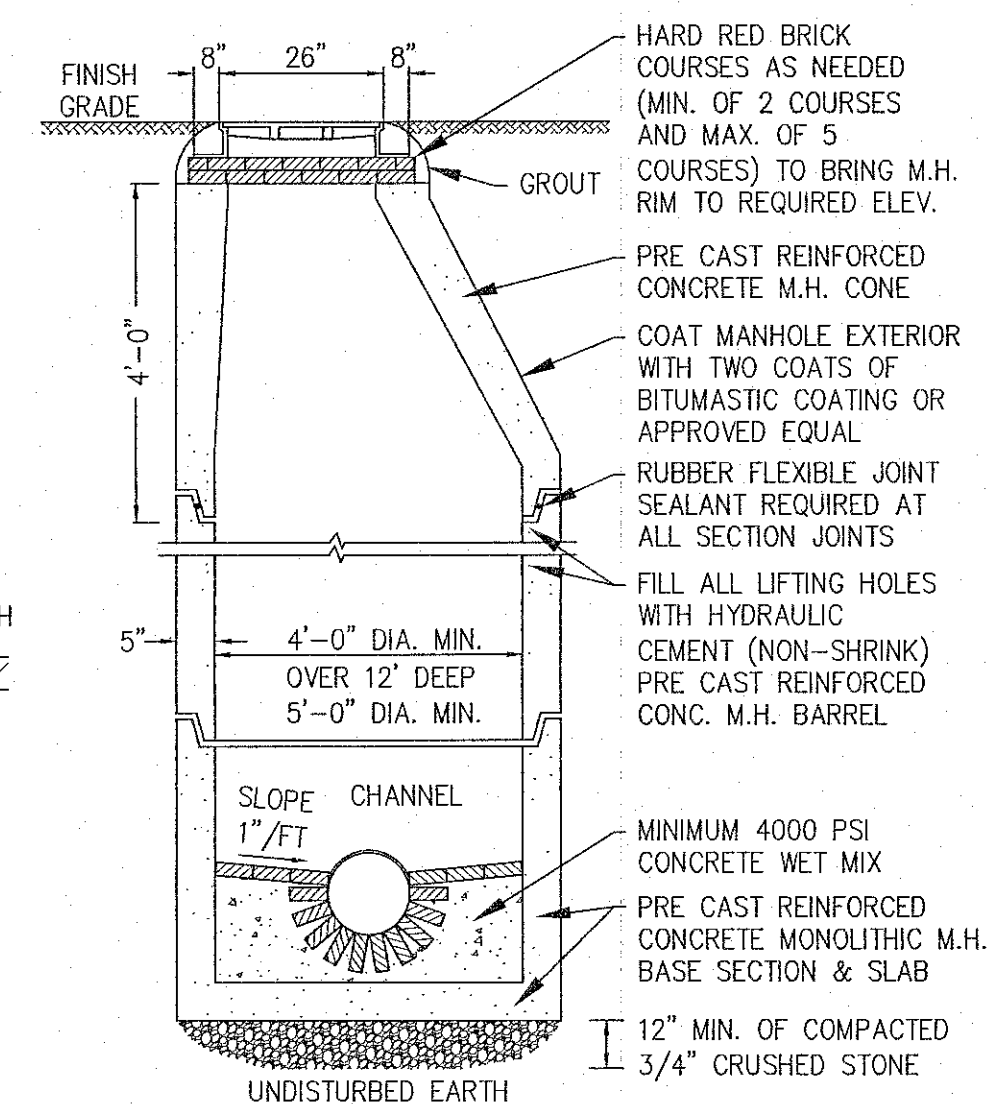
TYPICAL COBBLESTONES DETAIL

CROSS SECTION
NOT TO SCALE



TYPICAL GRAVEL DRIVE

CROSS SECTION
NOT TO SCALE

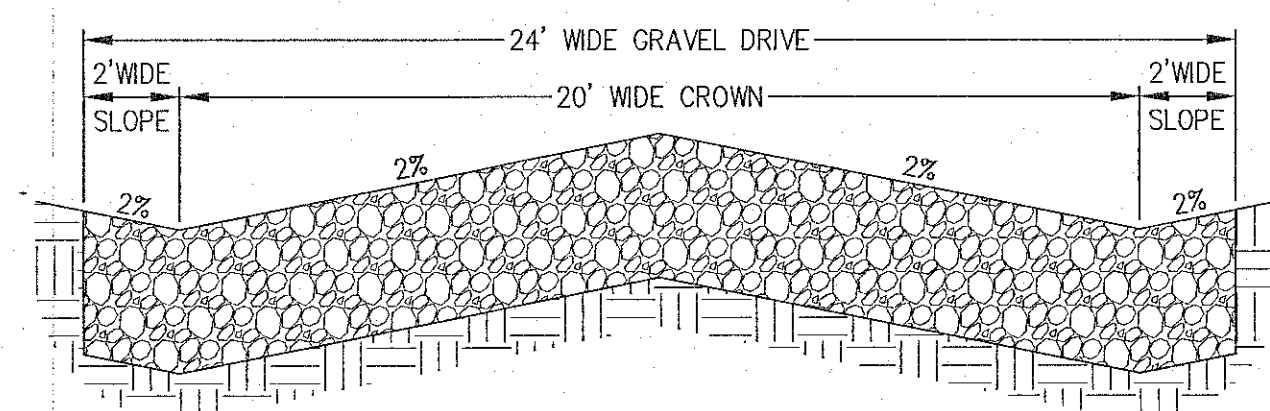


NOTES:

- TYPICAL SANITARY MANHOLE TO BE 4 FEET IN DIAMETER.
- 5'-0" DIAMETER FOR ALL MANHOLE DEPTHS GREATER THAN 12 FEET OR WHEN ORDERED BY THE ENGINEER.
- 6" MIN. WALL THICKNESS AND 7" MIN. BASE THICKNESS WITH 5'-0" DIAMETER MANHOLES.
- INNER EDGE OF BRICK TABLE TO BE AT ELEVATION OF CROWN OF TOP OF PIPE.
- DESIGN LOAD-HS20.
- ALL INVERTS SHALL BE 4,000 PSI CEMENT CONCRETE IN VOID AREAS AND RED SEWER BRICK CONSTRUCTION.
- INVERTS SHALL NOT BE BUILT ABOVE GRADE. ALL INVERTS SHALL BE BUILT IN PLACE AFTER ALL PIPES HAVE BEEN INSTALLED.

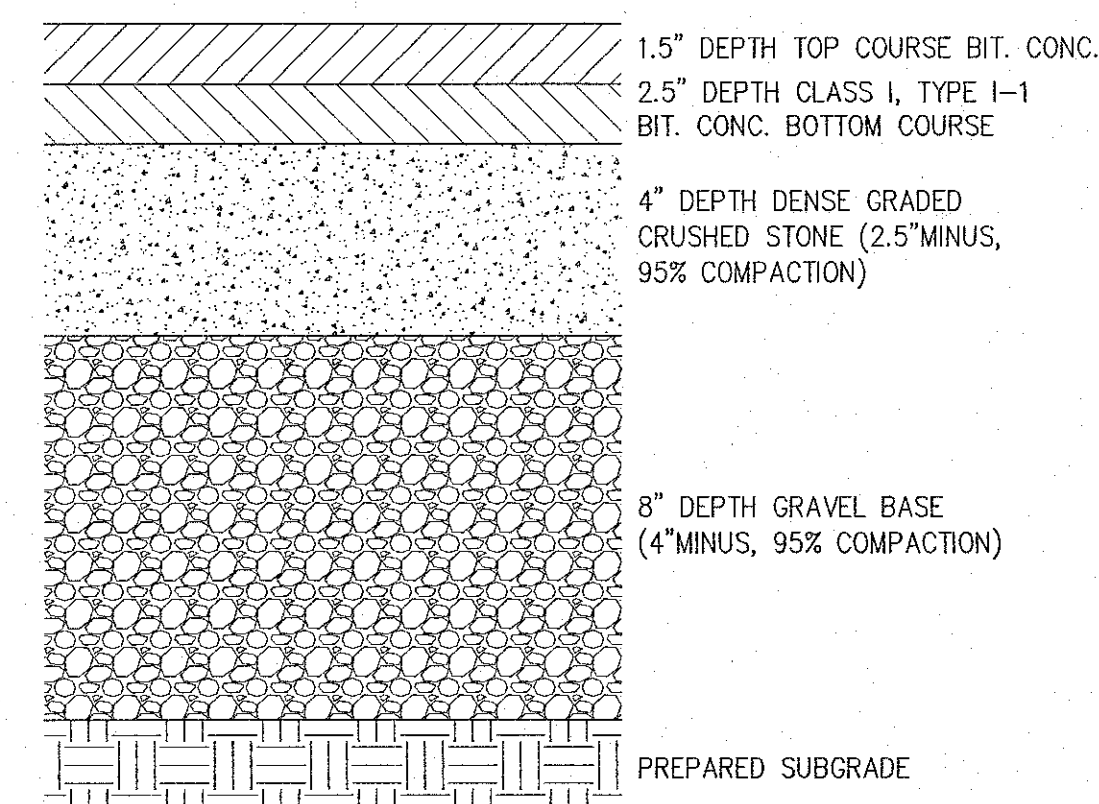
TYPICAL SEWER MANHOLE DETAIL

CROSS SECTION
NOT TO SCALE



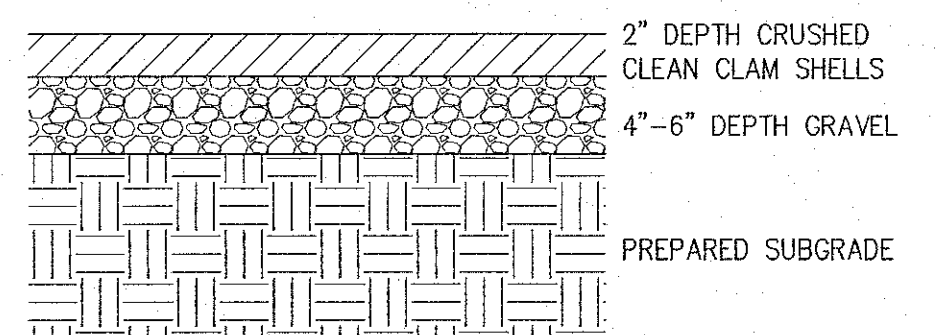
GRAVEL DRIVE CROSS-SECTION

NOT TO SCALE



TYPICAL BITUMINOUS CONCRETE PAVEMENT

CROSS SECTION
NOT TO SCALE



NOTE:
FOUR (4) TO SIX (6) INCHES OF CLEAN CLAM SHELLS SHALL BE PLACED AND SUBSEQUENTLY COMPACTED UNTIL A DEPTH OF TWO (2) INCHES OF CRUSHED CLEAN CLAM SHELLS IS ACHIEVED. CLAM SHELLS SHALL BE ADDED AS NEEDED POST CONSTRUCTION.

TYPICAL CRUSHED CLAM SHELLS

CROSS SECTION
NOT TO SCALE

DETAILS

504 NORTH END BOULEVARD
SALISBURY, MASSACHUSETTS

PLAN PREPARED FOR:
DALY GROUP
229 STEDMAN STREET
LOWELL, MASSACHUSETTS

PLAN PREPARED BY:
LANDPLEX
CIVIL ENGINEERING - SURVEYING
10 GEORGE STREET, UNIT 208
LOWELL, MASSACHUSETTS 01852
978-201-9390 - LANDPLEX.COM

SHEET: 5 OF 5

SCALE: AS NOTED

JANUARY 5, 2021

4	SEWER LINE & ELECTRIC LINE SHIFTED 1 FOOT	5/27/2021
3	PER ENGINEER REVIEW COMMENTS	5/10/2021
2	PER ENGINEER REVIEW COMMENTS	4/20/2021
1	ARCHITECTURAL REVISIONS & REVIEW COMMENTS	3/15/2021
NO.	REVISION DESCRIPTION	DATE

