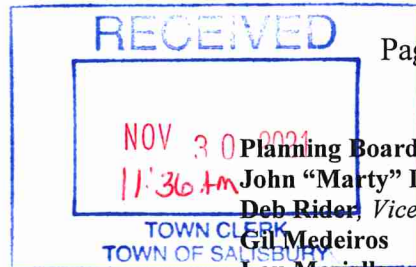


Lisa Pearson
Director of Planning and
Development
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Sue Johnson
Planning Board Secretary
planningdept@salisburyma.gov
Phone: 978-463-2266
Fax: 978-462-3915



Planning Board
Town of Salisbury
5 Beach Road
Salisbury, MA 01952



Page 1 of 2

Planning Board:
John "Marty" Doggett, Chair
Deb Rider, Vice Chair
Gil Medeiros
Lou Masiello
Don Egan
John Schillizzi, Alternate & Clerk

MODIFICATION OF APPROVAL FOR MINOR SITE PLAN

November 18, 2021

Town Clerk
5 Beach Road
Salisbury, MA 01952

Applicant: **504 North End Blvd, LLC c/o Lisa Mead, Mead Talerman & Costa, LLC**
Address: **30 Green St., Newburyport, MA 01950**
Project Address & Map & Lot #: **504 North End Blvd. (Map 36, Lots 138A-138L)**

To the Town Clerk:

This is to certify, at a public meeting of the Salisbury Planning Board regarding a Minor Site Plan modification application that was opened on November 10, 2021, and closed on November 10, 2021 by a motion duly made and seconded, it was voted:

"We, the Salisbury Planning Board, as proposed by applicant's agent, Attorney Lisa Mead under the provisions of Articles XVIII "Site Plan Review" of the Zoning By-Laws of the Town of Salisbury, MA, considered the following requests for modification for a Minor Site Plan at the property addressed as **504 North End Blvd. (Assessors Map 36, Lots 138A-138L):**

1. Additional egress added to each unit.
2. The originally approved cantilevered balcony will be pile supported not cantilevered.
3. The originally approved utility chase for each unit was 3.5'x3.5'. The dimensions of the utility chases were reduced to 2'x2'.

as noted on plans ("The Plans") entitled: Residential Site Development Plan Set (5 sheets) for 504 North End Blvd (Map 36, Lots 138A-138L) for 504 North End Blvd, LLC, dated 3/15/2021, revised thru 10/14/2021, prepared by Landplex, LLC, Gateway Center One, 10 George St., Suite 208 Lowell, MA 01852 and plans from Graf Architects, 2 Liberty St., Newburyport Ma 01950 sheets A01, A02, A03 & A04 dated 10/13/21 hereby **vote**,

**This is to certify that twenty (20) days
have elapsed from date of decision filed
without filing of an appeal.**

Minor Site Plan Modification – 504 North End Blvd.

Town Clerk

Dynne R. Harpenke
Date December 23, 2021

I.
SITE PLAN MODIFICATION APPROVAL

To approve the proposed minor site plan modification pursuant to §300-114 of the Zoning By-Laws of the Town of Salisbury, MA Board member, **Gil Medeiros**, motioned to approve the application for minor modification.

Board member **Lou Masiello** seconded.

John "Marty" Doggett Chairperson – Yes
Deborah Rider, Vice Chairperson – Yes
Gil Medeiros, Clerk – Yes
Louis Masiello - Yes
Don Egan– Yes

Vote on motion, 5 – 0 passed unanimous.

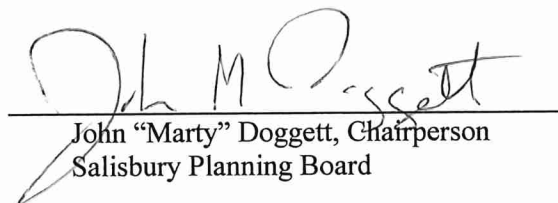
II.
MATERIALS

Hereinbelow, but not limited to, are the materials submitted to the Planning Board during the Public Hearings:

1. Residential Site Development Plan Set (5 sheets) for 504 North End Blvd (Map 36, Lots 138A-138L) for 504 North End Blvd, LLC, dated 3/15/2021, revised thru 10/14/2021, prepared by Landplex, LLC, Gateway Center One, 10 George St., Suite 208 Lowell, MA 01852
2. Plans from Graf Architects, 2 Liberty St., Newburyport Ma 01950 sheets A01, A02, A03 & A04 dated 10/13/21
3. Letter of Request for Minor Modification for Site Plan Approval dated October 28, 2021 submitted by Attorney Lisa Mead, Mead, Talerman & Costa, LLC 30 Green Street, Newburyport, MA 01950 on behalf of 504 North End Blvd, LLC;

RECEIVED
TOWN CLERK
TOWN OF SALISBURY

2021 NOV 30 A 11:30


John "Marty" Doggett, Chairperson
Salisbury Planning Board

Date: 11/30/21

Cc: Applicant
Building Inspector
File