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October 28, 2021

John "Marty" Doggett, Chair
Planning Board
Town of Salisbury
5 Beach Road
Salisbury, Massachusetts 01952

Re: Minor Modification Site Plan Review
504 North End Blvd

Dear Chair and Members of the Board:

Reference is made to the above-captioned matter. In that connection, as you are aware, the Planning Board issued a Site Plan Approval on June 29, 2021 and which decision is recorded in Book 40095 Page 159 of the South Essex Registry of Deeds (the "Decision"). Following extensive discussions between the Building Inspector, Architect, Code Consultant and the Owner, it has been determined that the Owner must include an additional egress on each of the units¹.

The second set of stairs runs down from the originally approved cantilevered balcony. The balcony will now be pile supported and not cantilevered. Additionally, all units now have a 2' x 2' utility chase which has also been relocated and which will remain under the building. The original approved utility chase was 3.5' x 3.5'.

In accordance with Decision, page 13, Modification of the Plans, Minor Modification, we present these proposed revisions to you as it is the Applicant's position that none of them trigger a major modification. The proposed changes do not *substantially* alter the approved plan, the land use, the location of the structures, form of buildings details or materials, traffic circulation, landscaping or open space. Please review same and advise if you are in agreement that this change can be approved by you as the Planning Director.

Should you have any questions or require further clarifications, please let me know. We look forward to hearing from you.

Regards,

Lisa L. Mead

LLM/fms

cc: Client

¹ Please note, while this question came up during the hearing process, the Applicant's Code Consultant was clear a second means of egress was not required. I am informed the Code Consultant's reply was not provided by the planning staff at the time to the Building Inspector. The parties have worked for almost 4 months with the Building Inspector on this matter.

Millis Office

730 Main Street, Suite 1F
Millis, MA 02054

Phone 508.376.8400

RESIDENTIAL SITE DEVELOPMENT PLAN SET

504 NORTH END BOULEVARD
SALISBURY, MASSACHUSETTS

NOTES

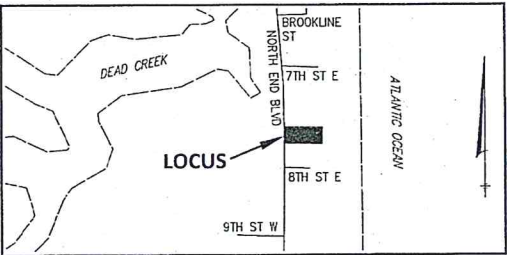
- EXISTING CONDITIONS AND BOUNDARY LOCATION SHOWN HEREON FROM AN INSTRUMENT SURVEY PERFORMED ON AUGUST 5, 2020. ELEVATIONS SHOWN HEREON REFER TO NAVD88 DATUM.
- PORTIONS OF THE PREMISES SHOWN HEREON ARE LOCATED WITHIN FLOOD HAZARD AREAS AS SHOWN ON DEPARTMENT H.U.D. FEDERAL INSURANCE ADMINISTRATION MAPS, PER COMMUNITY PANEL FM25009C0127F, EFFECTIVE DATE JULY 3, 2012, INCLUDING ZONE VE (ELEV=17), ZONE VE (ELEV=15), AND ZONE AO (2-FOOT DEPTH).
- UTILITIES OTHER THAN THOSE SHOWN MAY EXIST. CALL DIG-SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
- ALL WORK SHALL COMPLY WITH THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS AND ALL LOCAL REGULATIONS.

LEGEND

	CHAINLINK FENCE
	STONE WALL
	STONE BOUND DRILL HOLE
	2-FOOT CONTOUR
	DRAIN PIPE
	GAS PIPE
	OVERHEAD WIRE
	SEWER LINE
	WATER LINE
	SEWER MANHOLE
	DRAIN MANHOLE
	CATCH BASIN
	HYDRANT
	WATER GATE VALVE
	GAS GATE VALVE
	UTILITY POLE

ABBREVIATIONS

BIT.	BITUMINOUS
BOT.	BOTTOM
CB	CATCH BASIN
CCB	CAPE COD BERM
CLF	CHAINLINK FENCE
CONC.	CONCRETE
EL	ELEVATION
FF	FIRST FLOOR ELEVATION
GS	GARAGE SLAB ELEVATION
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HYD	HYDRANT
INV	INVERT
L= / S=	LENGTH= / SLOPE=
OS/LSA	OPEN SPACE/LANDSCAPED AREA
PROP.	PROPOSED
PVC	POLYVINYL CHLORIDE PIPE
SF	SQUARE FEET
SIS	SUBSURFACE INFILTRATION SYSTEM
SMH	SEWER MANHOLE
SWK	SIDEWALK
TBM	TEMPORARY BENCHMARK
TH	TEST HOLE
UP	UTILITY POLE
VGC	VERTICAL GRANITE CURB



LOCUS

1"=500'

SHEET INDEX

- TITLE SHEET
- EXISTING CONDITIONS PLAN
- LAYOUT, LIGHTING, & LANDSCAPING PLAN
- GRADING, UTILITIES, & EROSION CONTROL PLAN
- DETAILS

ASSESSORS ID

MAP 36, LOT 138A

PROPERTY OWNER

504 NORTH END BLVD, LLC
229 STEDMAN STREET
LOWELL, MASSACHUSETTS 01851

DEED REFERENCES

ESSEX COUNTY SOUTHERN DISTRICT REGISTRY OF DEEDS
BOOK 38806, PAGE 358

PLAN REFERENCES

ESSEX COUNTY SOUTHERN DISTRICT REGISTRY OF DEEDS
LAND COURT PLAN 3200-189-1

ZONING

DISTRICT: R-3, RESIDENTIAL-3

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	10,890 SF	22,498±SF	22,498±SF
MIN. FRONTAGE	40'	100.0'	100.00'
MIN. FRONT YARD	20'	126.5'	23.1'
MIN. SIDE YARD	10'	8.1' *	10.0'
MIN. REAR YARD	10'	25.8'	23.1'
MAX. LOT COVERAGE	60%	24.3%	33.8%
MAX. BUILDING HEIGHT	35'	30'	39' **

* PRE-EXISTING NON-CONFORMING

** VARIANCE GRANTED BY SALISBURY ZONING BOARD OF APPEALS

NOTE: SITE IS LOCATED IN THE FLOOD PLAIN OVERLAY.

TITLE SHEET

504 NORTH END BOULEVARD
SALISBURY, MASSACHUSETTS

PLAN PREPARED FOR:

DALY GROUP
229 STEDMAN STREET
LOWELL, MASSACHUSETTS

PLAN PREPARED BY:

LANDPLEX
CIVIL ENGINEERING - SURVEYING
10 GEORGE STREET, UNIT 208
LOWELL, MASSACHUSETTS 01852
978-201-3350 - LANDPLEX.COM

SHEET: 1 OF 5

SCALE: AS NOTED

JANUARY 5, 2021



NO.	REVISION DESCRIPTION	DATE
6	ADDED STAIRWAYS	10/14/2021
5	ELEVATION TABLE UPDATED	5/26/2021
4	ADD CONSTR SEQUENCE & ELEYS	5/14/2021
3	PER ENGINEER REVIEW COMMENTS	5/10/2021
2	PER ENGINEER REVIEW COMMENTS	4/20/2021
1	ARCHITECTURAL REVISIONS & REVIEW COMMENTS	3/15/2021

SOIL TESTING

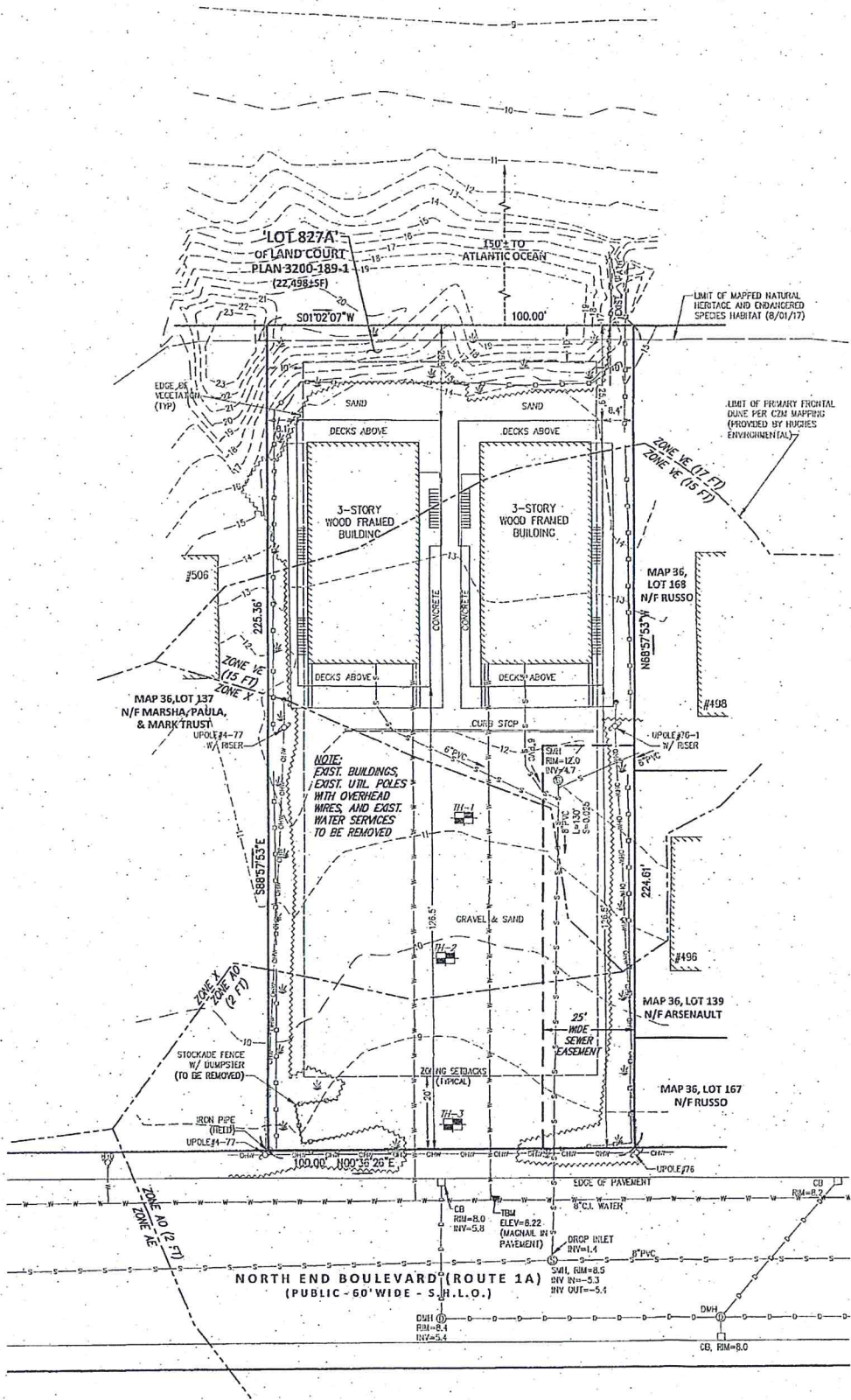
EVALUATOR: STEVE ERIKSEN
NGRSE ENVIRONMENTAL
DATE: 12/15/20

IH-1
SURFACE ELEV = 11.2
0-96" CI, MEDIUM TO COARSE SAND, 2.5Y3/3
ESHWAT AT 78"
ESHWAT ELEV = 4.7

IH-2
SURFACE ELEV = 9.8
0-96" CI, MEDIUM TO COARSE SAND, 2.5Y3/3
ESHWAT AT 84"
ESHWAT ELEV = 2.8

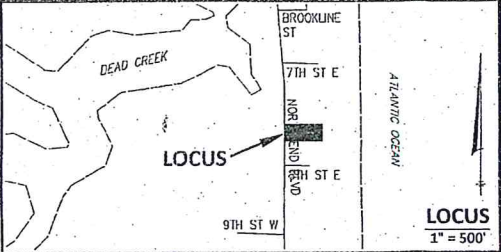
IH-3
SURFACE ELEV = 8.6
0-96" CI, MEDIUM TO COARSE SAND, 2.5Y3/3
ESHWAT AT 96"
ESHWAT ELEV = 0.6

ESSEX SOUTH DISTRICT OF DEEDS
LAND COURT PLAN 3200-189-1



LEGEND

- 12' 1-FOOT CONTOUR
- OVERHEAD WIRE LINE
- UTILITY POLE
- HYDRANT
- PARKING SPACES
- CB CATCH BASIN
- FT FOOT
- HYD HYDRANT
- PROP. PROPOSED
- SF SQUARE FEET
- SHLO STATE HIGHWAY LAYOUT
- TYP TYPICAL
- UPOLE UTILITY POLE



ASSESSORS

MAP 36, LOT 138A

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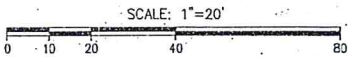
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- UTILITIES OTHER THAN THOSE SHOWN MAY EXIST. CALL DIG-SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.

ZONING INFORMATION

DISTRICT: R-3, RESIDENTIAL-3

DESCRIPTION	REQUIRED	EXISTING
MIN. LOT AREA	10,850 SF	22,498±SF
MIN. FRONTAGE	40'	100.0'
MIN. FRONT YARD	20'	126.5'
MIN. SIDE YARD	10'	8.1' **
MIN. REAR YARD	10'	25.8'
MAX. LOT COVERAGE	60%	24.3%

** PRE-EXISTING NON-CONFORMING



EXISTING CONDITIONS
PLAN

504 NORTH END BOULEVARD
SALISBURY, MASSACHUSETTS

PLAN PREPARED FOR:

DALY GROUP
229 STEDMAN STREET
LOWELL, MASSACHUSETTS

PLAN PREPARED BY:

LANDPLEX
CIVIL ENGINEERING - SURVEYING
10 GEORGE STREET, UNIT 208
LOWELL, MASSACHUSETTS 01852
978-201-9393 - LANDPLEX.COM

SHEET: 2 OF 5

SCALE: 1" = 20'

JANUARY 5, 2021

NO.	REVISION DESCRIPTION	DATE
4	SEWER LINE & ELECTRIC LINE SHIFTED 1 FOOT.	5/27/2021
3	PER ENGINEER REVIEW COMMENTS	5/10/2021
2	PER ENGINEER REVIEW COMMENTS	4/20/2021
1	ARCHITECTURAL REVISIONS & REVIEW COMMENTS	3/15/2021
NO.	REVISION DESCRIPTION	DATE

5. ADD SMH 07/22/21

CONSERVATION INFORMATION

WITHIN ZONE VE (ELEV=17)	EXISTING	PROPOSED
AREA OF BUILDINGS	1,007±SF	513±SF
AREA OF DECKS & STAIRS	888±SF	102±SF
AREA OF CONCRETE	353±SF	0±SF
AREA OF GRAVEL SURFACES	0±SF	615±SF

WITHIN ZONE VE (ELEV=15)	EXISTING	PROPOSED
AREA OF BUILDINGS	2,667±SF	2,571±SF
AREA OF DECKS & STAIRS	1,039±SF	630±SF
AREA OF CONCRETE	1,974±SF	0±SF
AREA OF GRAVEL SURFACES	1,744±SF	1,427±SF

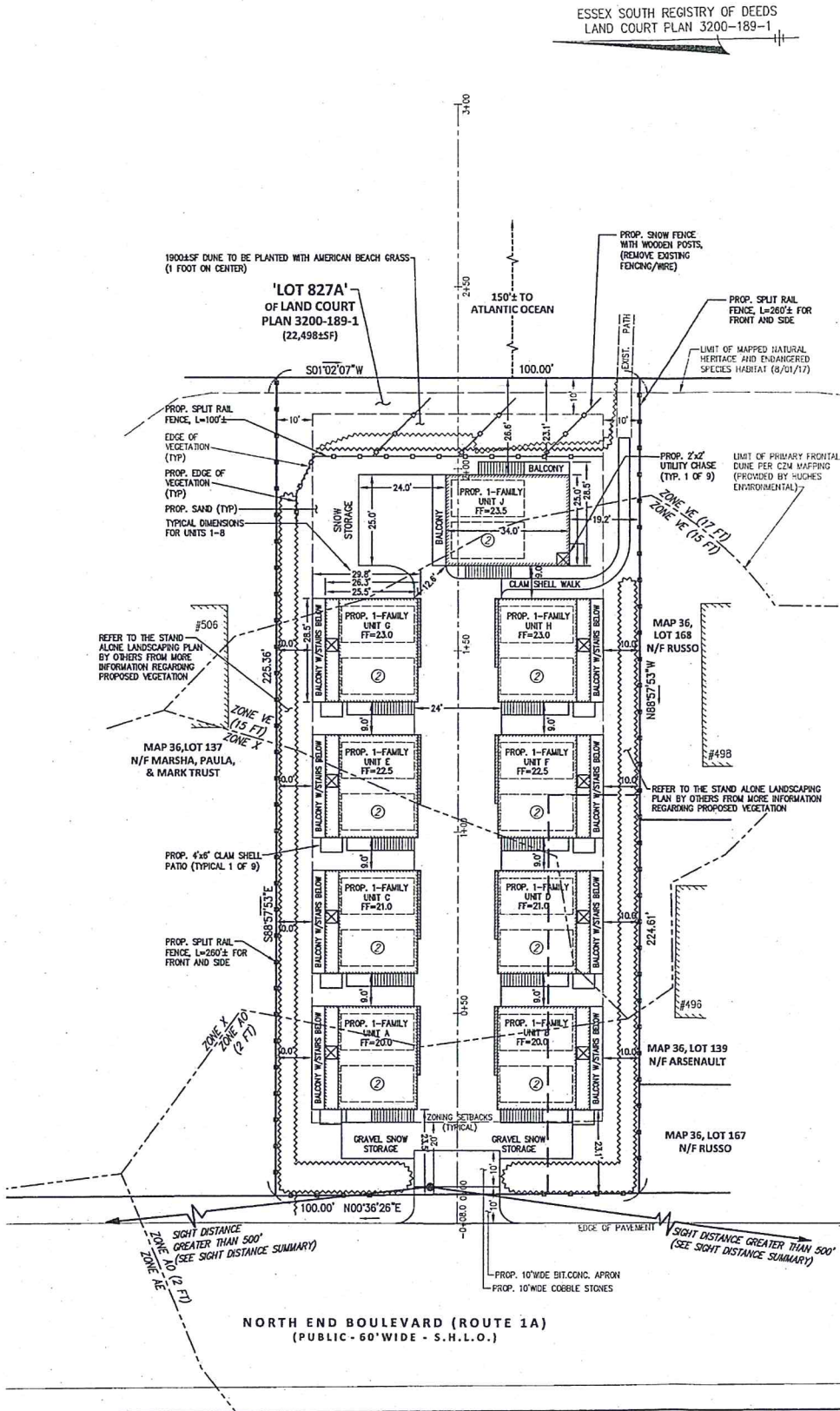
WITHIN ZONE X	EXISTING	PROPOSED
AREA OF BUILDINGS	0±SF	2,359±SF
AREA OF DECKS & STAIRS	0±SF	534±SF
AREA OF CONCRETE	0±SF	0±SF
AREA OF GRAVEL SURFACES	3,270±SF	1,182±SF

WITHIN ZONE AO	EXISTING	PROPOSED
AREA OF BUILDINGS	0±SF	1,223±SF
AREA OF DECKS & STAIRS	0±SF	320±SF
AREA OF CONCRETE	3±SF	48±SF (APRON)
AREA OF GRAVEL SURFACES	4,519±SF	1,259±SF

TOTAL	EXISTING	PROPOSED
AREA OF BUILDINGS	3,674±SF	6,666±SF
AREA OF DECKS & STAIRS	1,792±SF	1,586±SF
AREA OF CONCRETE	2,329±SF	48±SF (APRON)
AREA OF GRAVEL SURFACES	9,533±SF	4,483±SF

LEGEND

12	1-FOOT CONTOUR
CHW	OVERHEAD WIRE LINE
UT	UTILITY POLE
HYD	HYDRANT
CB	PARKING SPACES
FT	CATCH BASIN
HYD	FOOT
PROP.	HYDRANT
SF	PROPOSED
SHLO	SQUARE FEET
TYP	STATE HIGHWAY LAYOUT
UPCLE	TYPICAL
	UTILITY POLE



SIGHT DISTANCE SUMMARY

SIGHT DISTANCE TO NORTH AND SOUTH OF PROJECT ENTRANCE EXCEEDS FIVE HUNDRED (500) LINEAR FEET. POSTED SPEED LIMIT ON NORTH END BOULEVARD IS 40 MPH. ASSHTO REQUIREMENTS FOR SIGHT DISTANCE IN A 40 MPH SPEED LIMIT IS THREE HUNDRED FIVE (305) LINEAR FEET.

SNOW STORAGE NOTE

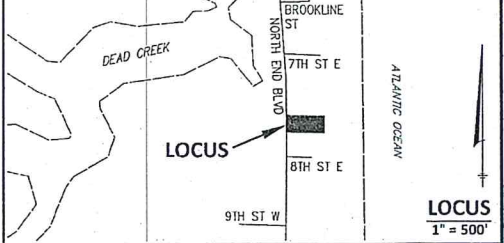
IN ADDITION TO THE PROP. SNOW STORAGE LOCATIONS SHOWN HEREON, DURING TIMES OF EXCESSIVE SNOWFALL, THE PROP. VISITOR PARKING SPACES CAN BE USED AS SNOW STORAGE AS WELL.

LANDSCAPING NOTE

REFER TO STANDALONE LANDSCAPING PLAN BY OTHERS FOR MORE INFORMATION REGARDING PROPOSED VEGETATION.

LIGHTING NOTE

REFER TO STANDALONE PHOTOMETRIC PLAN BY OTHERS FOR MORE INFORMATION REGARDING PROPOSED LIGHTING.



ASSESSORS

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ZONING INFORMATION

DISTRICT: R-3, RESIDENTIAL-3

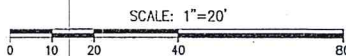
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MIN. LOT AREA	10,890 SF	22,498±SF	22,498±SF
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MAX. LOT COVERAGE	60%	24.3%	33.8%
MAX. BUILDING HEIGHT	35'	30'	39' **

* PRE-EXISTING NON-CONFORMING
** VARIANCE GRANTED BY SALISBURY ZONING BOARD OF APPEALS

PARKING INFORMATION

REQUIRED PARKING
= 2 SPACES PER DWELLING UNIT
= 2 SPACES x 9 PROPOSED UNITS
= 18 SPACES REQUIRED

PROPOSED PARKING
= 2 GARAGE SPACES UNDER PER DWELLING
= 18 SPACES PROPOSED



LAYOUT, LIGHTING, & LANDSCAPING PLAN

504 NORTH END BOULEVARD
SALISBURY, MASSACHUSETTS

PLAN PREPARED FOR:

DALY GROUP
229 STEDMAN STREET
LOWELL, MASSACHUSETTS

PLAN PREPARED BY:

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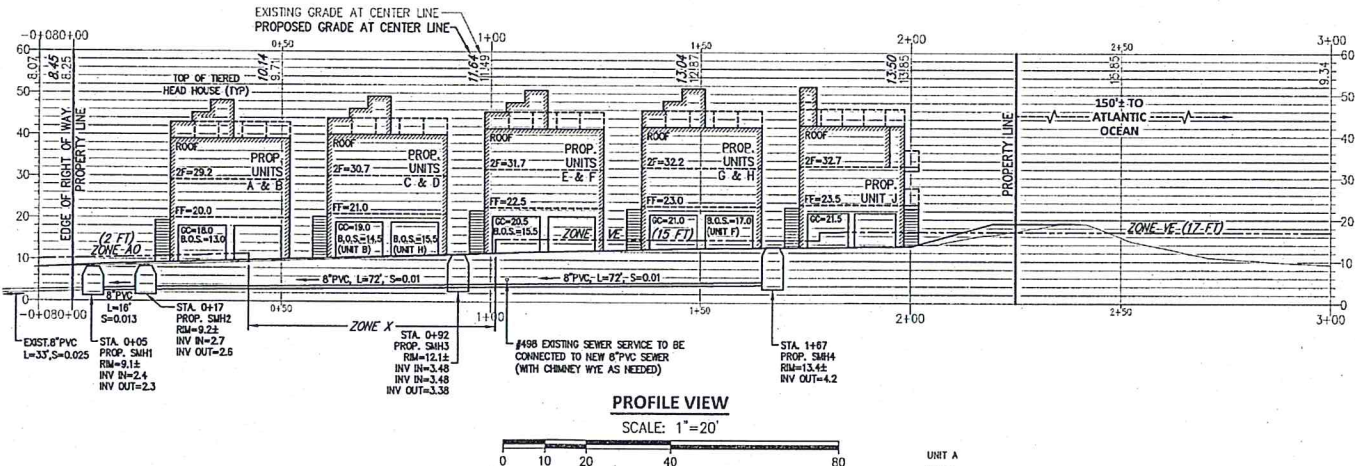
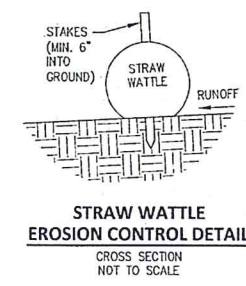
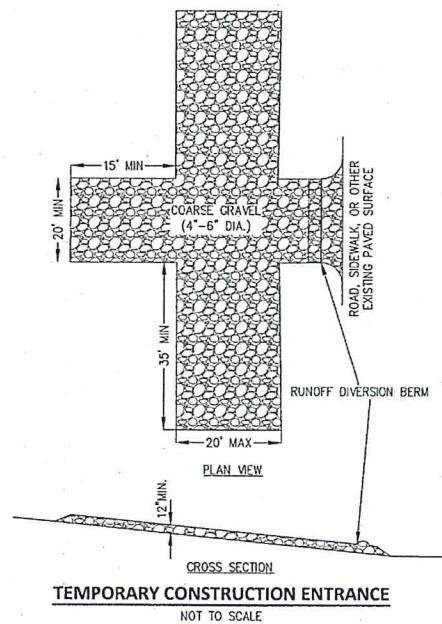
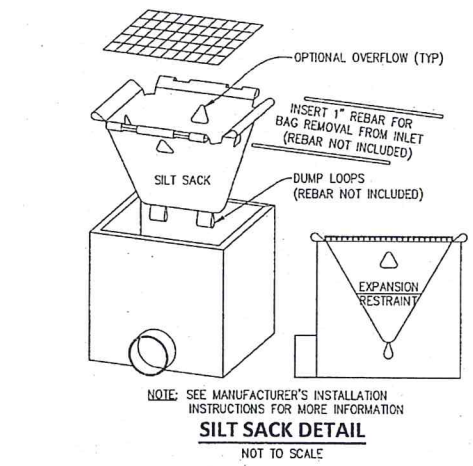
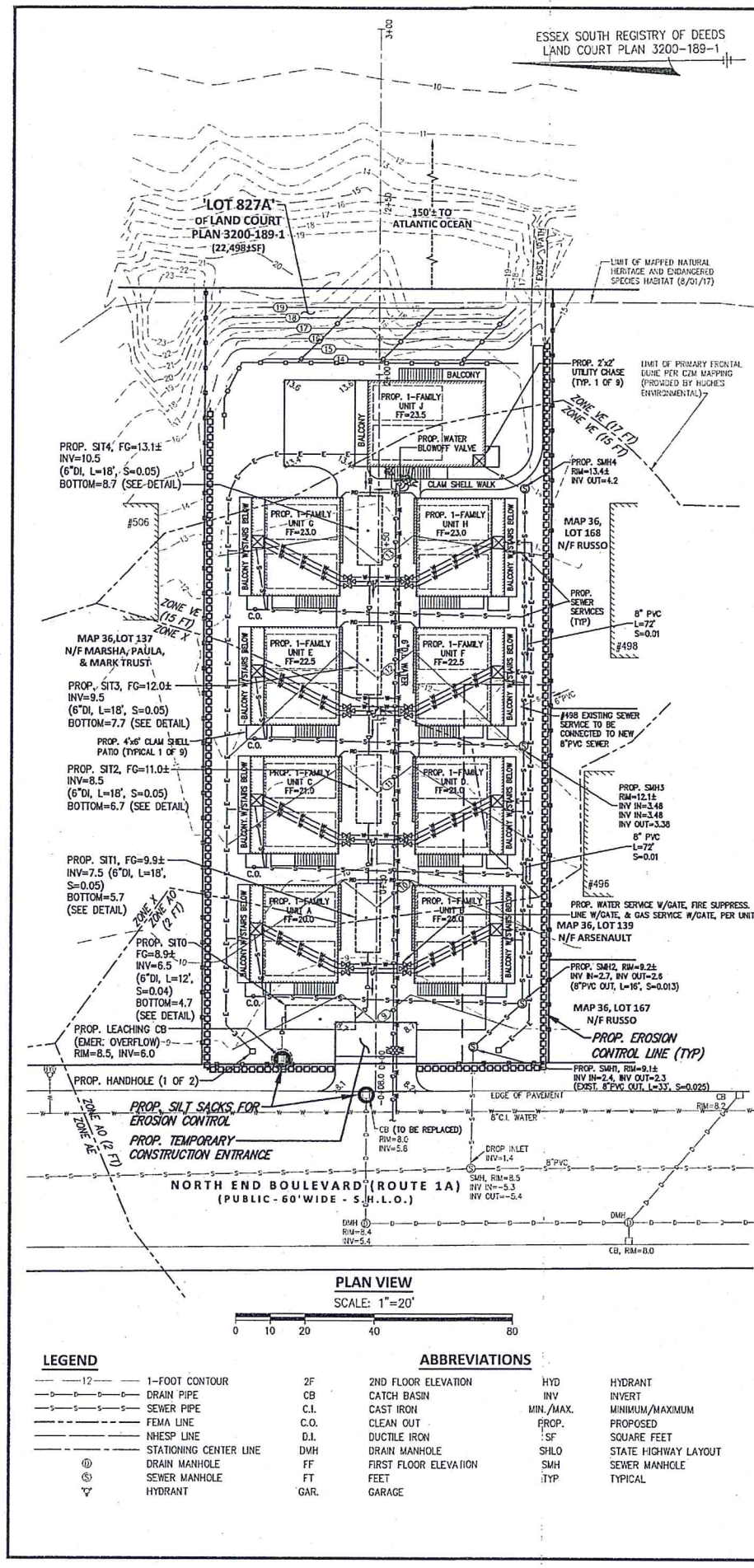
SHEET: 3 OF 5

SCALE: 1" = 20'

JANUARY 5, 2021

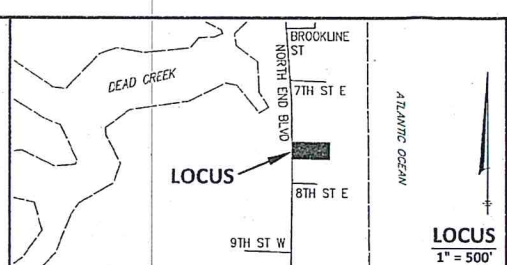


NO.	REVISION DESCRIPTION	DATE
6	ADDED STAIRWAYS	10/14/2021
5	ELEVATION TABLE UPDATED	5/26/2021
4	ADD CONSTR SEQUENCE & ELEV'S	5/14/2021
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2	PER ENGINEER REVIEW COMMENTS	4/20/2021
1	ARCHITECTURAL REVISIONS & REVER COMMENTS	3/15/2021



CONSERVATION INFORMATION

WITHIN ZONE VE (ELEV=17)			WITHIN ZONE X			TOTAL		
EXISTING	PROPOSED		EXISTING	PROPOSED		EXISTING	PROPOSED	
AREA OF BUILDINGS	1,007±SF	513±SF	AREA OF BUILDINGS	0±SF	2,359±SF	AREA OF BUILDINGS	3,674±SF	6,666±SF
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AREA OF CONCRETE	353±SF	0±SF	AREA OF CONCRETE	0±SF	0±SF	AREA OF CONCRETE	2,329±SF	48±SF (APRON)
AREA OF GRAVEL SURFACES	0±SF	615±SF	AREA OF GRAVEL SURFACES	3,270±SF	1,182±SF	AREA OF GRAVEL SURFACES	9,533±SF	4,483±SF
WITHIN ZONE VF (ELEV=15)			WITHIN ZONE AO					
EXISTING	PROPOSED		EXISTING	PROPOSED				
AREA OF BUILDINGS	2,667±SF	2,571±SF	AREA OF BUILDINGS	0±SF	1,223±SF			
AREA OF DECKS & STAIRS	1,039±SF	630±SF	AREA OF DECKS & STAIRS	0±SF	320±SF			
AREA OF CONCRETE	1,974±SF	0±SF	AREA OF CONCRETE	3±SF	48±SF (APRON)			
AREA OF GRAVEL SURFACES	1,744±SF	1,427±SF	AREA OF GRAVEL SURFACES	4,519±SF	1,259±SF			



ASSESSORS
MAP 36, LOT 138A

PROPERTY OWNER
504 NORTH END BLVD, LLC
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DEED REFERENCES
ESSEX COUNTY SOUTHERN DISTRICT REGISTRY OF DEEDS
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- UTILITIES OTHER THAN THOSE SHOWN MAY EXIST. CALL DIG-SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
- SEE PROPOSED ARCHITECTURAL DESIGN PLANS BY GRAF ARCHITECTS FOR MORE DETAILED ARCHITECTURAL DIMENSIONS.

ZONING INFORMATION
DISTRICT: R-3, RESIDENTIAL-3

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
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** VARIANCE GRANTED BY SALISBURY ZONING BOARD OF APPEALS

NOTE: SITE IS LOCATED IN THE FLOOD PLAN OVERLAY.

PARKING INFORMATION

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= 2 SPACES PER DWELLING UNIT
= 2 SPACES x 9 PROPOSED UNITS
= 18 SPACES REQUIRED

PROPOSED PARKING
= 2 GARAGE SPACES UNDER PER DWELLING + 4 VISITOR SPACES
= 18 SPACES + 4 VISITOR SPACES
= 22 SPACES PROPOSED

GRADING, UTILITIES, & EROSION CONTROL PLAN

504 NORTH END BOULEVARD
SALISBURY, MASSACHUSETTS

PLAN PREPARED FOR:
DALY GROUP
229 STEDMAN STREET
LOWELL, MASSACHUSETTS

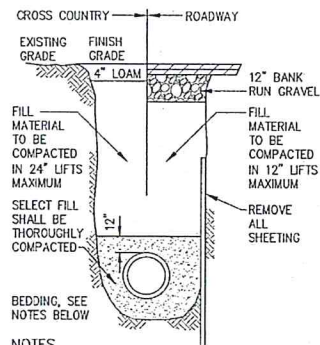
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SHEET: 4 OF 5

SCALE: 1" = 20'

JANUARY 5, 2021

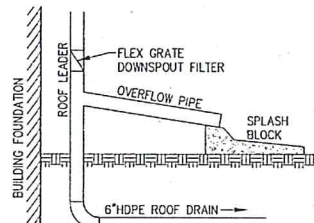
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1	ARCHITECTURAL REVISIONS & REVIEW COMMENTS	3/15/2021
NO.	REVISION DESCRIPTION	DATE



- NOTES**
1. 5'-0" MINIMUM COVER.
 2. MUNICIPALITY MAY REQUIRE FLOWABLE FILL AT ITS DISCRETION.
 3. FOR LOCATIONS WHERE LEDGE IS NOT ENCOUNTERED IN TRENCH, PIPE CAN LAY ON UNDISTURBED EARTH, OR ON SAND BEDDING CONSISTENT WITH AWWA GUIDELINES.
 4. FOR LOCATIONS WHERE LEDGE IS ENCOUNTERED, SAND BEDDING SHALL BE MINIMUM OF 12" THICK UNDER PIPE.
 5. FILL MATERIAL SHALL BE COMPACTED TO 95% PROCTOR DENSITY.

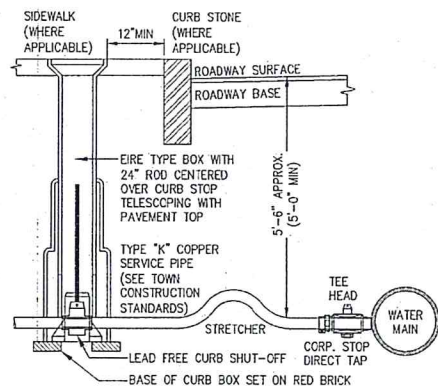
WATER MAIN TRENCH DETAIL

CROSS SECTION
NOT TO SCALE



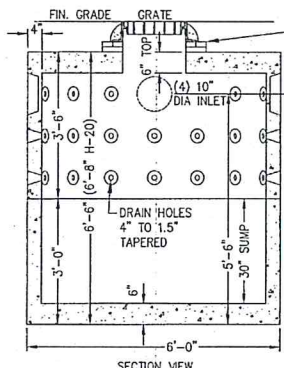
ROOF DRAIN DETAIL

NOT TO SCALE



TYPICAL WATER SERVICE CONNECTION

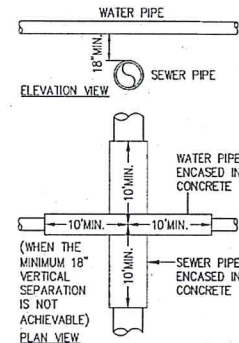
CROSS SECTION
NOT TO SCALE



- NOTES:**
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. AVAILABLE IN H-20 LOADING.
 3. CAPACITY INCREASES IN INCREMENTS OF 500 GALLONS FOR EACH 3" SECTION ADDED.
 4. ITEMS TO BE SHEA CONCRETE AS LISTED BELOW (OR APPROVED EQUIVALENT):
- | ITEM NO. | DESCRIPTION | WEIGHT |
|----------|-------------------------|--------|
| DW-SSS | 30" SUMP | 6,409g |
| DW-SSS | 3" STACKABLE (NO COVER) | 2,009g |

LEACHING CATCH BASIN

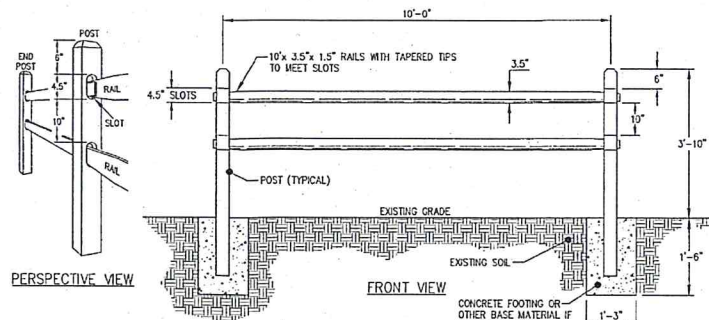
NOT TO SCALE



PIPE CROSSING DETAIL

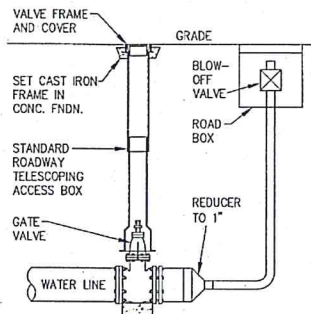
NOT TO SCALE

- NOTES:**
1. THE SEWER PIPE CROWN SHALL BE 18" MINIMUM BELOW THE INVERT OF THE WATER PIPE. BOTH PIPES SHALL BE CLASS 150 PRESSURE PIPE.
 2. WHERE AN 18" SEPARATION AS DESCRIBED ABOVE IS NOT POSSIBLE, BOTH PIPES SHALL BE ENCASED IN CONCRETE FOR 10 FEET MINIMUM TO EITHER SIDE OF THE CROSSING, AND ALL WATER PIPE JOINTS WITHIN THAT DISTANCE SHALL HAVE MECHANICAL FITTINGS.



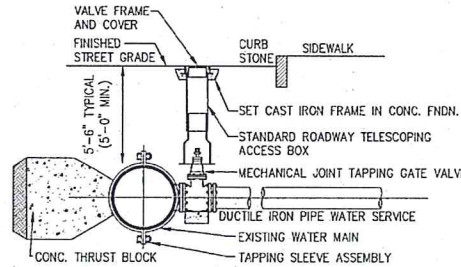
STANDARD SPLIT-RAIL FENCE

NOT TO SCALE



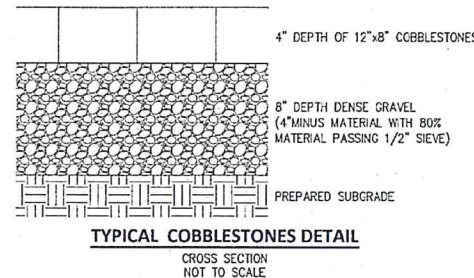
WATER LINE BLOW-OFF VALVE

CROSS SECTION
NOT TO SCALE



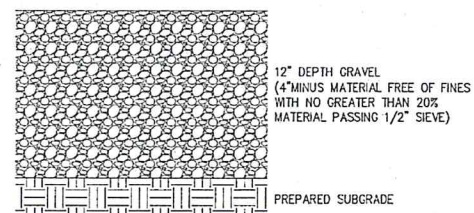
TAPPING SLEEVE DETAIL

CROSS SECTION
NOT TO SCALE



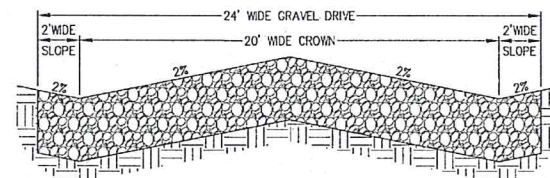
TYPICAL COBBLESTONES DETAIL

CROSS SECTION
NOT TO SCALE



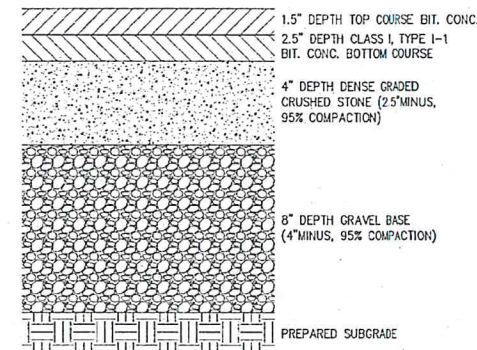
TYPICAL GRAVEL DRIVE

CROSS SECTION
NOT TO SCALE



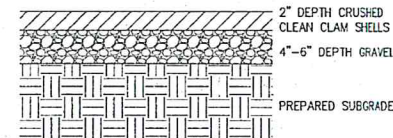
GRAVEL DRIVE CROSS-SECTION

NOT TO SCALE



TYPICAL BITUMINOUS CONCRETE PAVEMENT

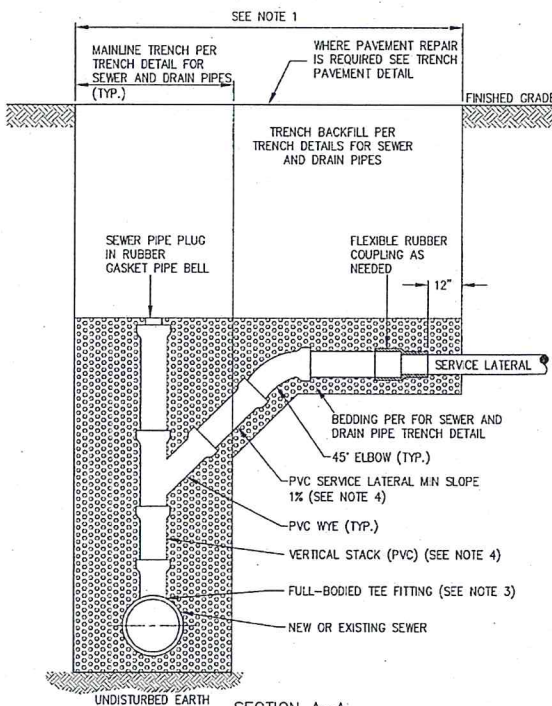
CROSS SECTION
NOT TO SCALE



- NOTE:**
FOUR (4) TO SIX (6) INCHES OF CLEAN CLAM SHELLS SHALL BE PLACED AND SUBSEQUENTLY COMPACTED UNTIL A DEPTH OF TWO (2) INCHES OF CRUSHED CLEAN CLAM SHELLS IS ACHIEVED. CLAM SHELLS SHALL BE ADDED AS NEEDED POST CONSTRUCTION.

TYPICAL CRUSHED CLAM SHELLS

CROSS SECTION
NOT TO SCALE

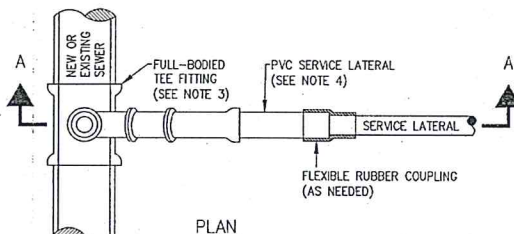


SECTION A-A

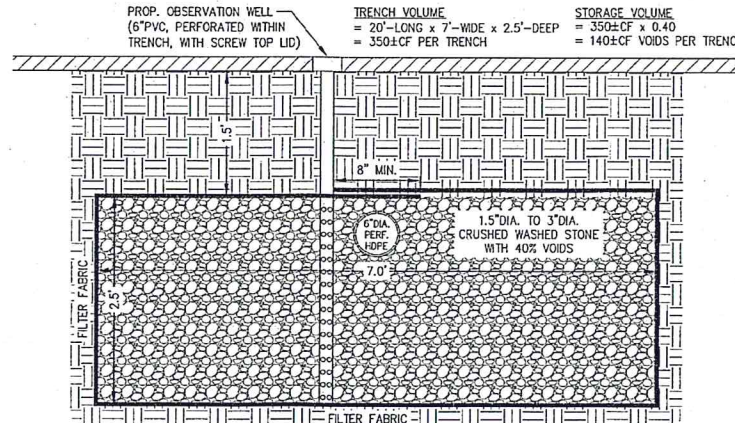
SEWER SERVICE CHIMNEY CONNECTION DETAIL

NOT TO SCALE

- NOTES:**
1. REPLACE EXISTING SERVICE LATERAL TO EXTENT REQUIRED.
 2. EXCAVATE AND REMOVE EXISTING LATERAL AS REQUIRED TO ALLOW RECONSTRUCTION.
 3. FOR SEWER SERVICE CONNECTIONS 18" IN DIAMETER OR GREATER, A TEE INSERT OR EQUAL MAY BE USED.
 4. SEWER LATERALS SHALL BE SIZED TO FIT ANTICIPATED FLOWS.

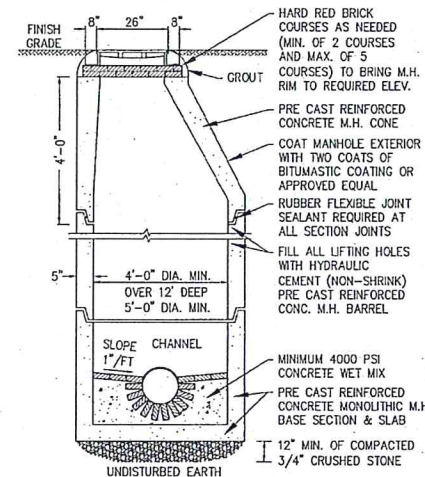


PLAN



SUBSURFACE INFILTRATION TRENCH CROSS-SECTION

NOT TO SCALE



- NOTES:**
1. TYPICAL SANITARY MANHOLE TO BE 4 FEET IN DIAMETER.
 2. 5'-0" DIAMETER FOR ALL MANHOLE DEPTHS GREATER THAN 12 FEET OR WHEN ORDERED BY THE ENGINEER.
 3. 6" MIN. WALL THICKNESS AND 7" MIN. BASE THICKNESS WITH 5'-0" DIAMETER MANHOLES.
 4. INNER EDGE OF BRICK TABLE TO BE AT ELEVATION OF CROWN OF TOP OF PIPE.
 5. DESIGN LOAD-HS20.
 6. ALL INVERTS SHALL BE 4,000 PSI CEMENT CONCRETE IN VOID AREAS AND RED SEWER BRICK CONSTRUCTION.
 7. INVERTS SHALL NOT BE BUILT ABOVE GRADE. ALL INVERTS SHALL BE BUILT IN PLACE AFTER ALL PIPES HAVE BEEN INSTALLED.

TYPICAL SEWER MANHOLE DETAIL

CROSS SECTION
NOT TO SCALE

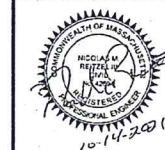
DETAILS

504 NORTH END BOULEVARD
SALISBURY, MASSACHUSETTS

PLAN PREPARED FOR:
DALY GROUP
229 STEDMAN STREET
LOWELL, MASSACHUSETTS

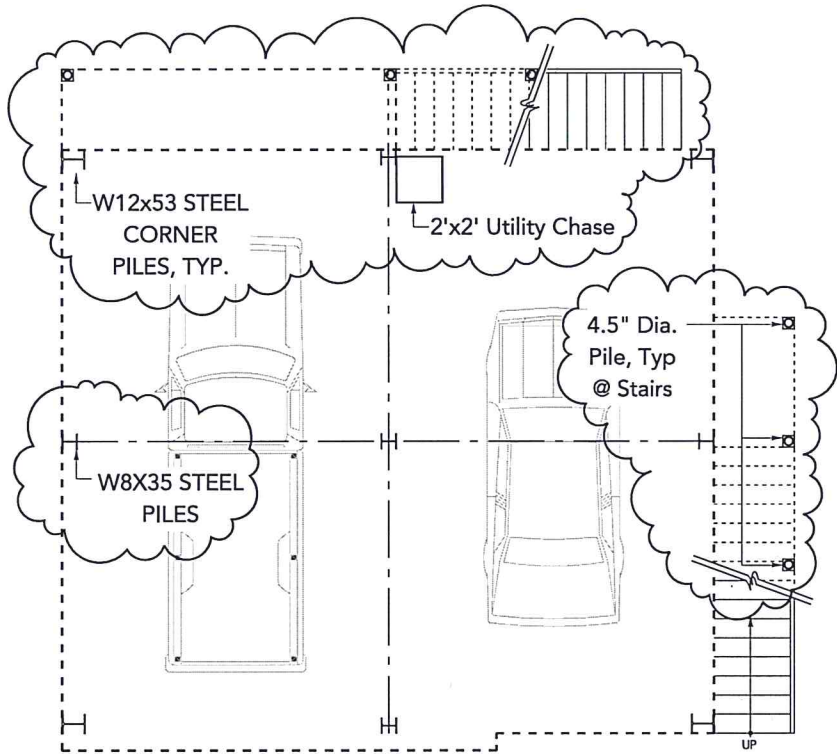
PLAN PREPARED BY:
LANDPLEX
CIVIL ENGINEERING - SURVEYING
10 GEORGE STREET, UNIT 208
LOWELL, MASSACHUSETTS 01852
978-201-9390 - LANDPLEX.COM

SHEET: 5 OF 5 SCALE: AS NOTED JANUARY 5, 2021

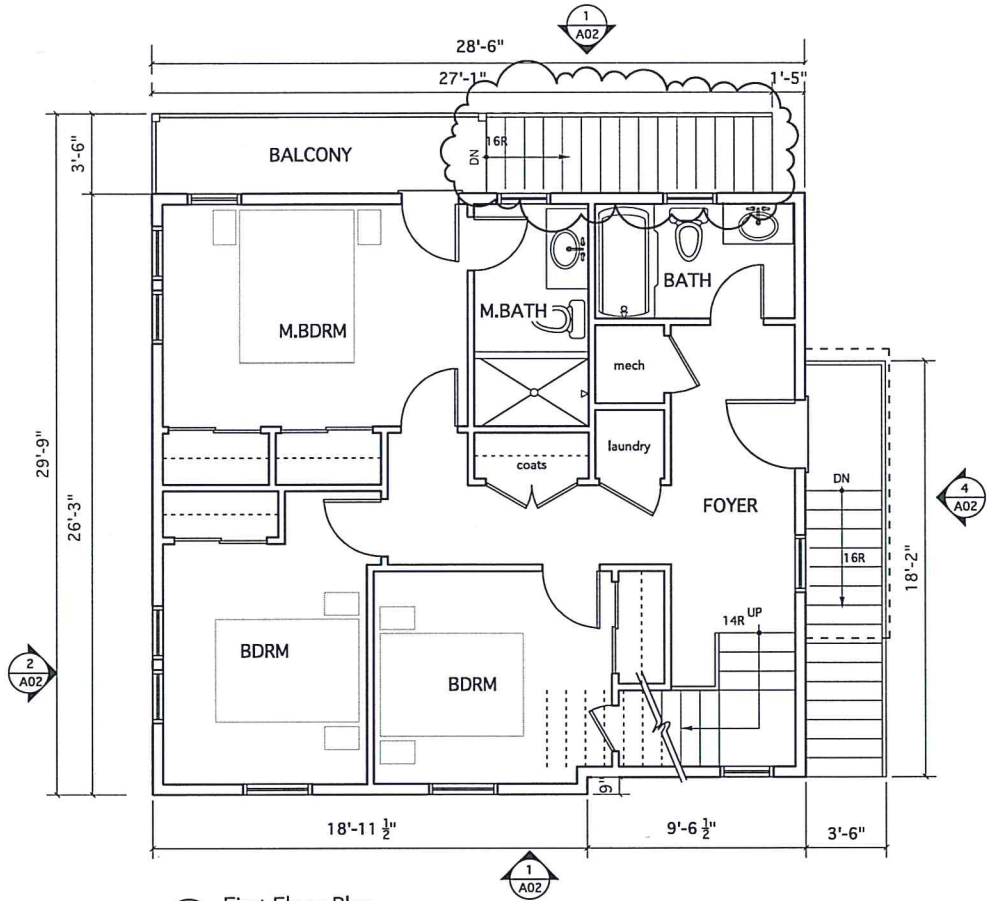


NO.	REVISION DESCRIPTION	DATE
6	ADDED STAIRWAYS	10/14/2021
5	ELEVATION TABLE UPDATED	5/25/2021
4	ADD CONSTR SEQUENCE & ELEV'S	5/14/2021
3	PER ENGINEER REVIEW COMMENTS	5/10/2021
2	PER ENGINEER REVIEW COMMENTS	4/20/2021
1	ARCHITECTURAL REVISIONS & REVIEW COMMENTS	3/15/2021

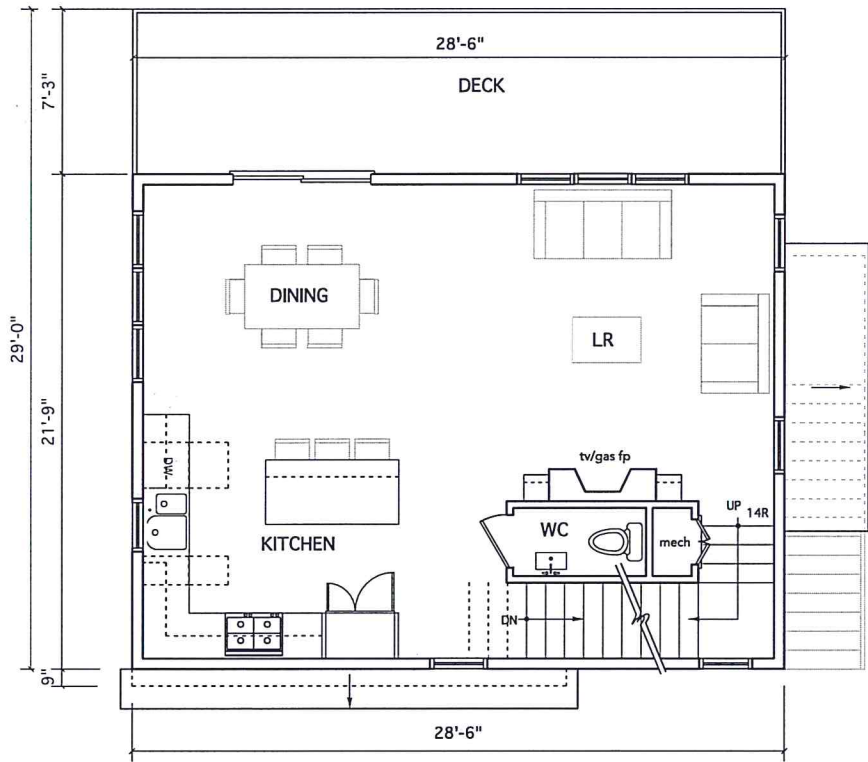
SF Calculations	
First Floor	692 SF
Second Floor	575 SF
Total	1,267 SF



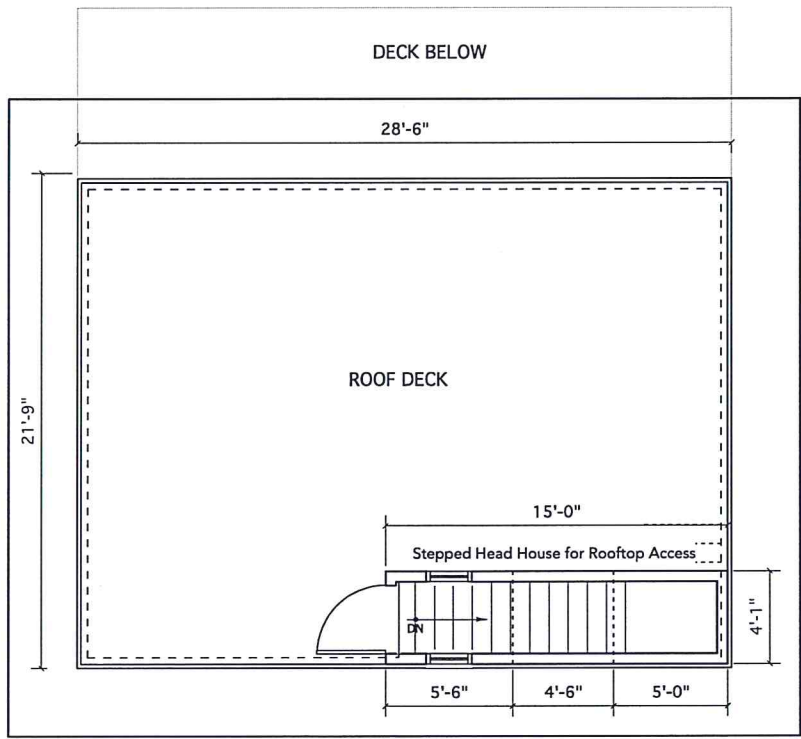
1 Pile Plan
SCALE: 1/8" = 1'-0"



2 First Floor Plan
SCALE: 1/8" = 1'-0"



3 Second Floor Plan
SCALE: 1/8" = 1'-0"



4 Roof Plan
SCALE: 1/8" = 1'-0"

project:

504 N. END
BOULEVARD
RESIDENCES

Salisbury, MA
01952

architect:

GRAF
ARCHITECTS

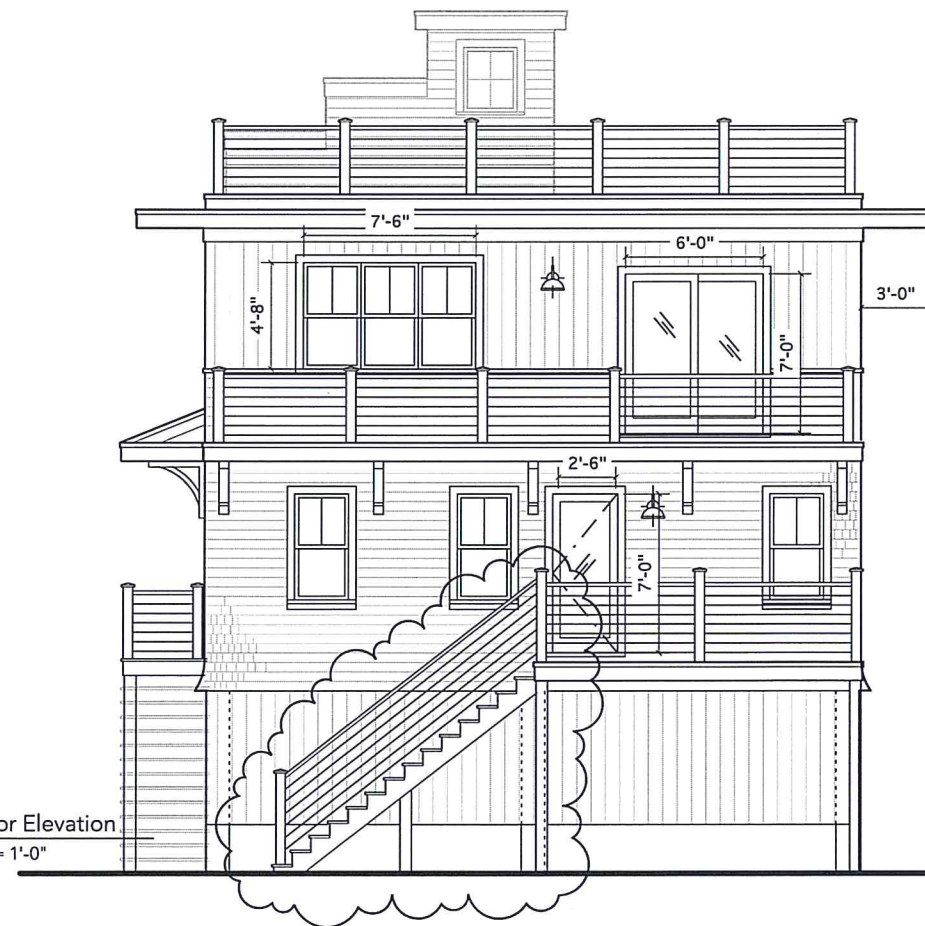
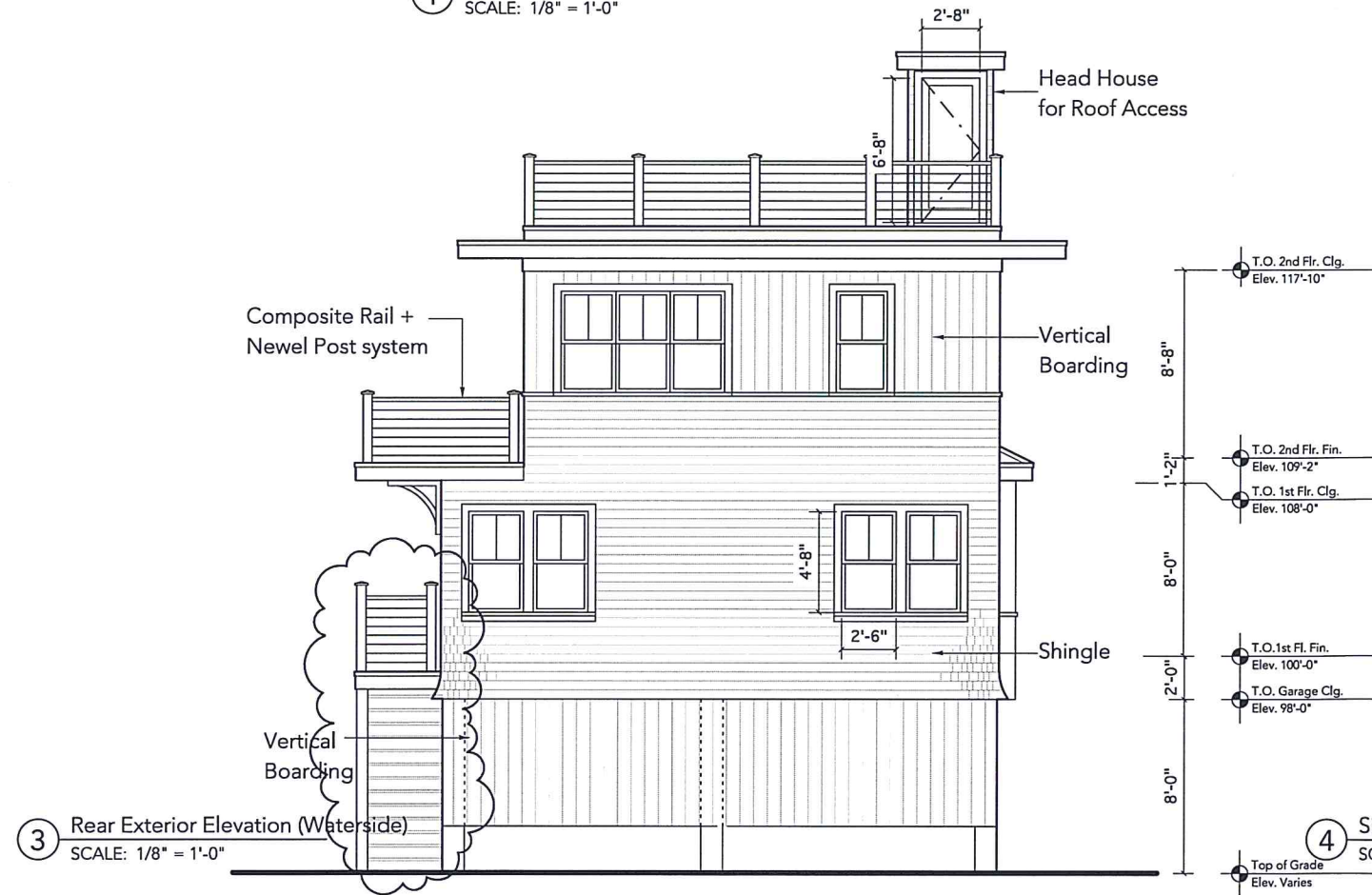
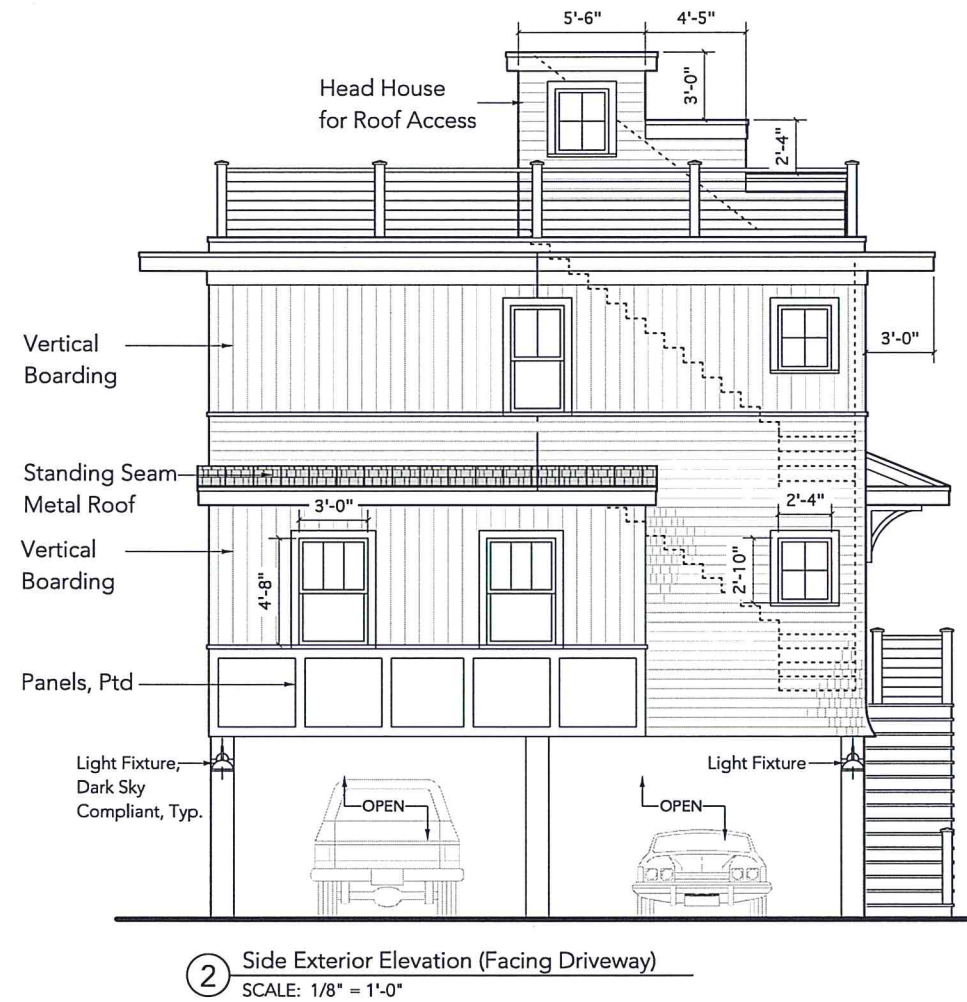
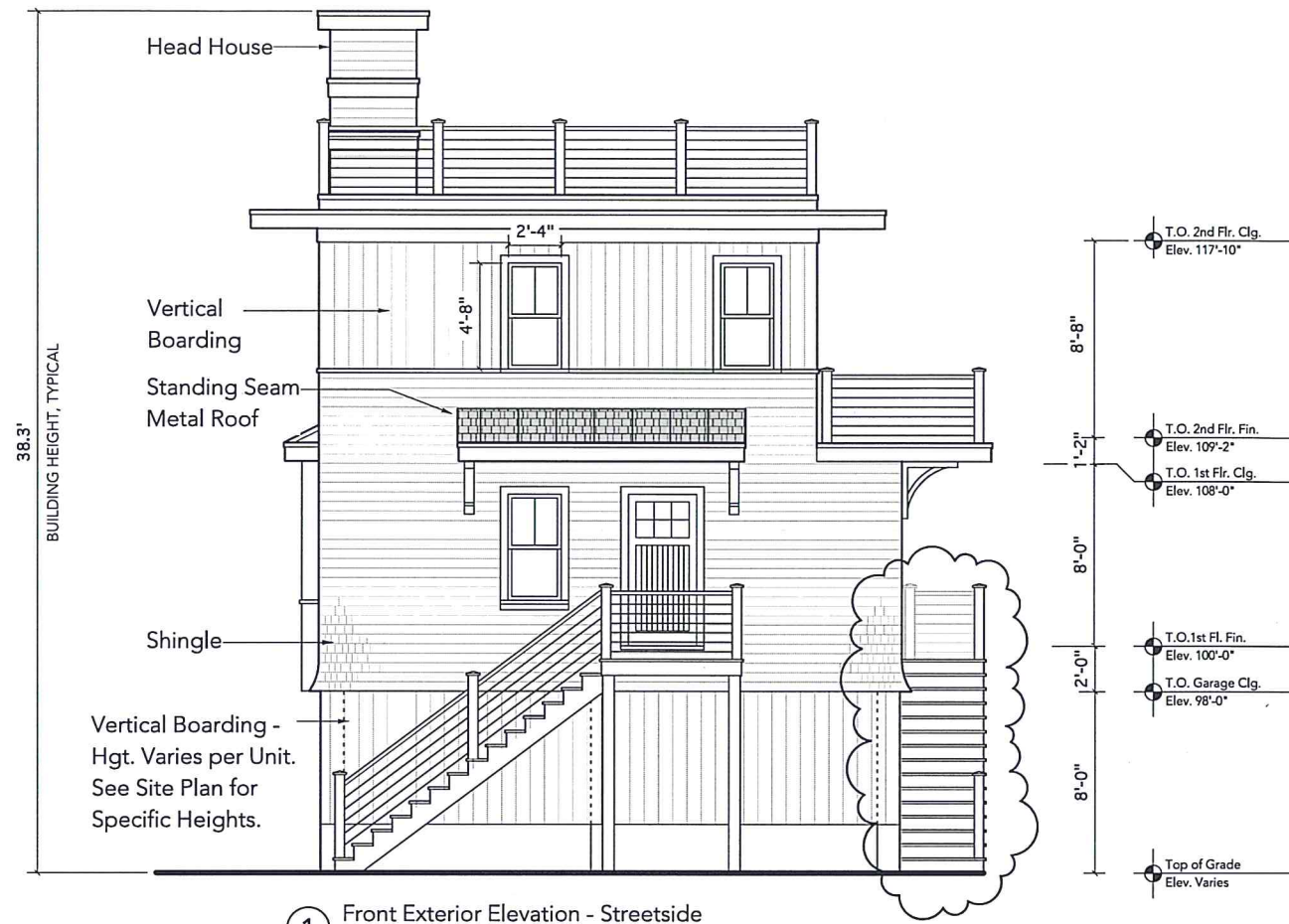
2 Liberty Street
Newburyport, MA
01950
T. 978 499 9442
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title:

PROPOSED
Floor Plans -
UNIT 2(B),4(D),6(F)&8(H)
(UNIT 1(A),3(C),5(E)
&7(G) SIM)

SCALE: 1/8" = 1'-0"
13 october 2021

A01



project:

504 N. END BOULEVARD RESIDENCES

Salisbury, MA
01952

architect:

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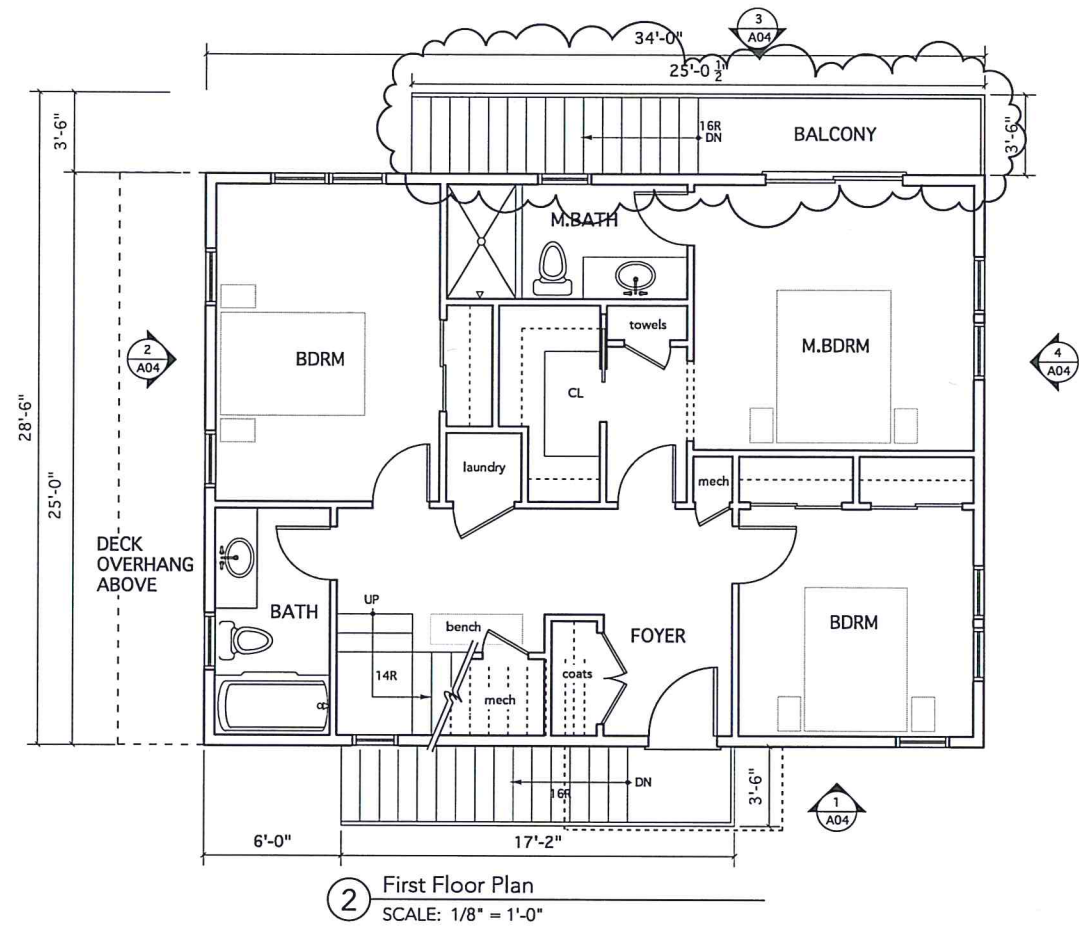
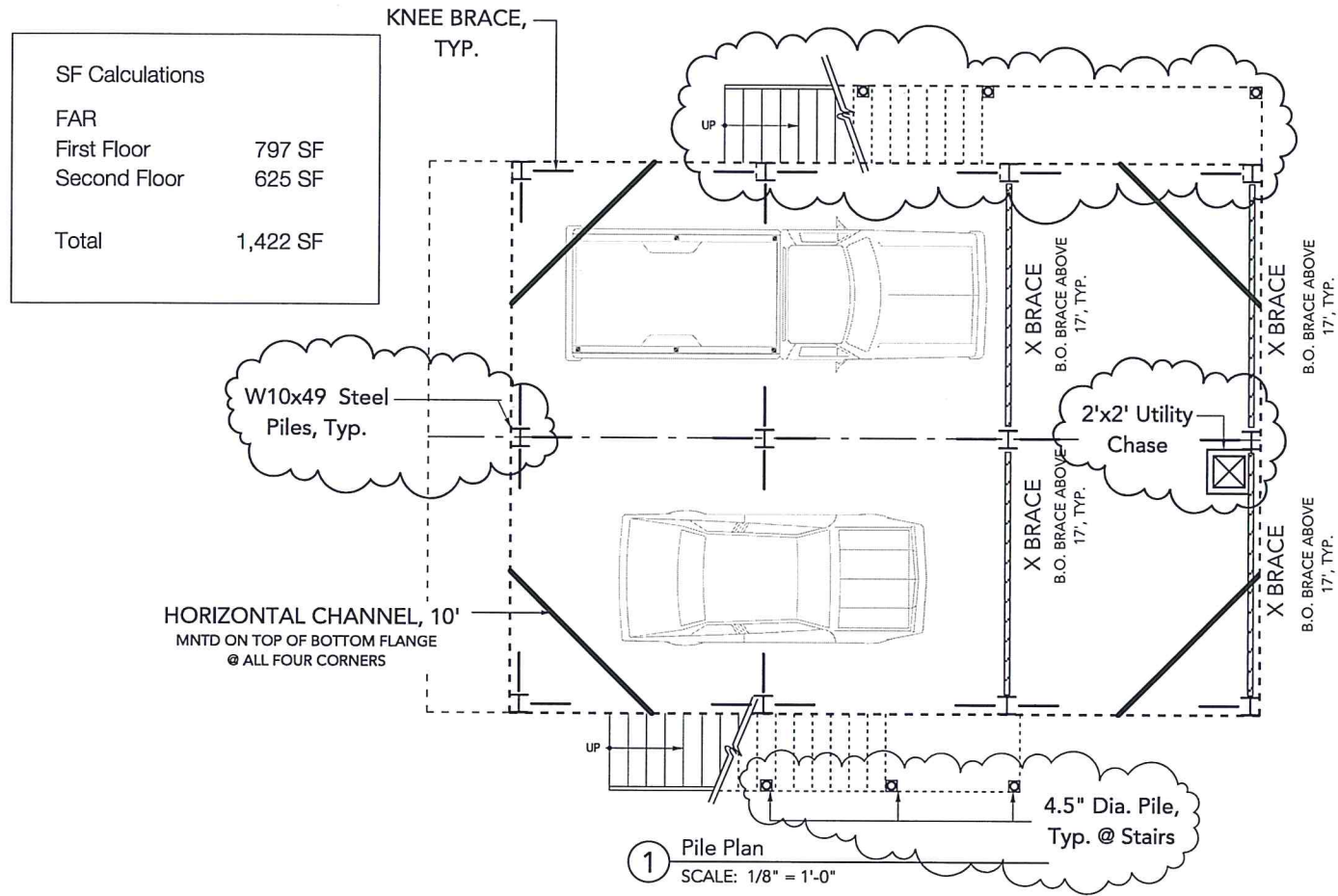
title:

PROPOSED
Exterior Elevations -
UNIT 2(B),4(D),6(F)&8(H)
(UNIT 1(A),3(C),5(E)
&7(G) SIM)

SCALE: 1/8" = 1'-0"

13 october 2021

A02



project:

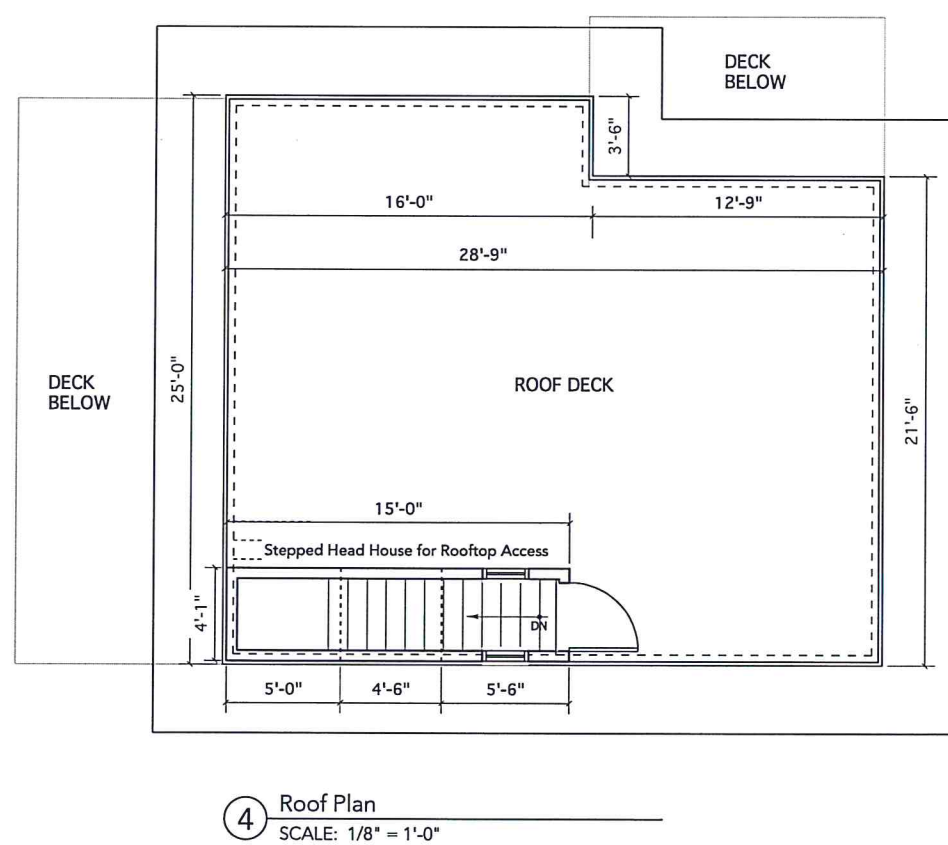
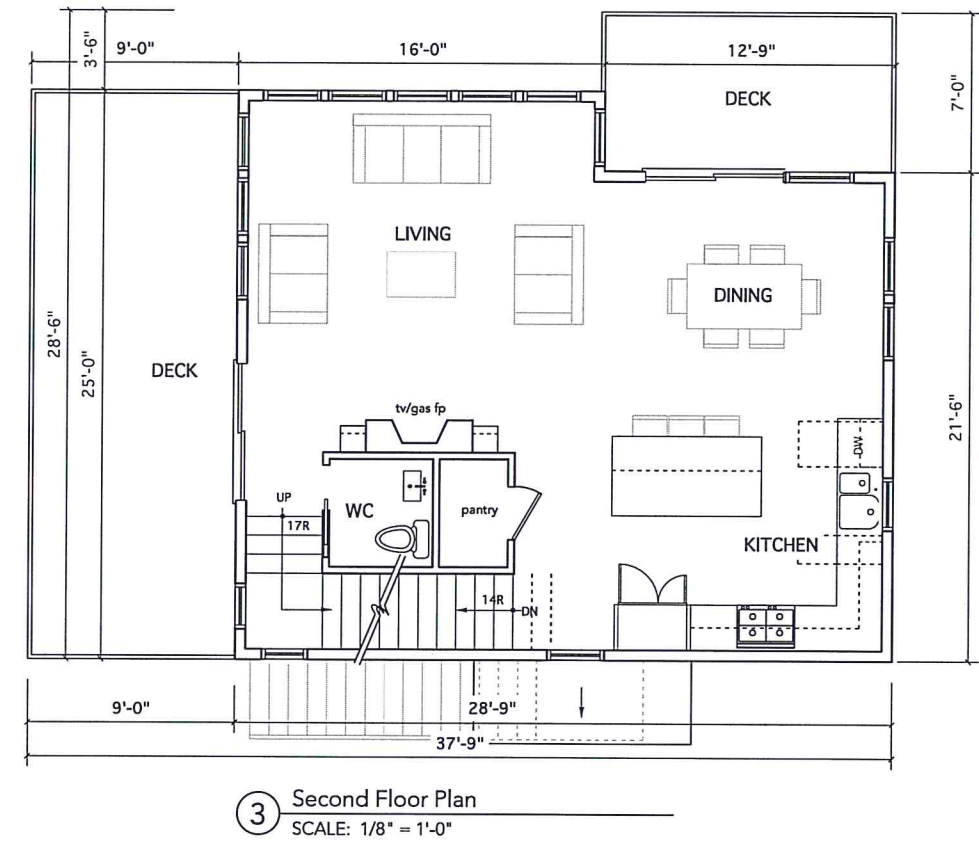
**504 N. END
BOULEVARD
RESIDENCES**

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01952

architect:

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ARCHITECTS**

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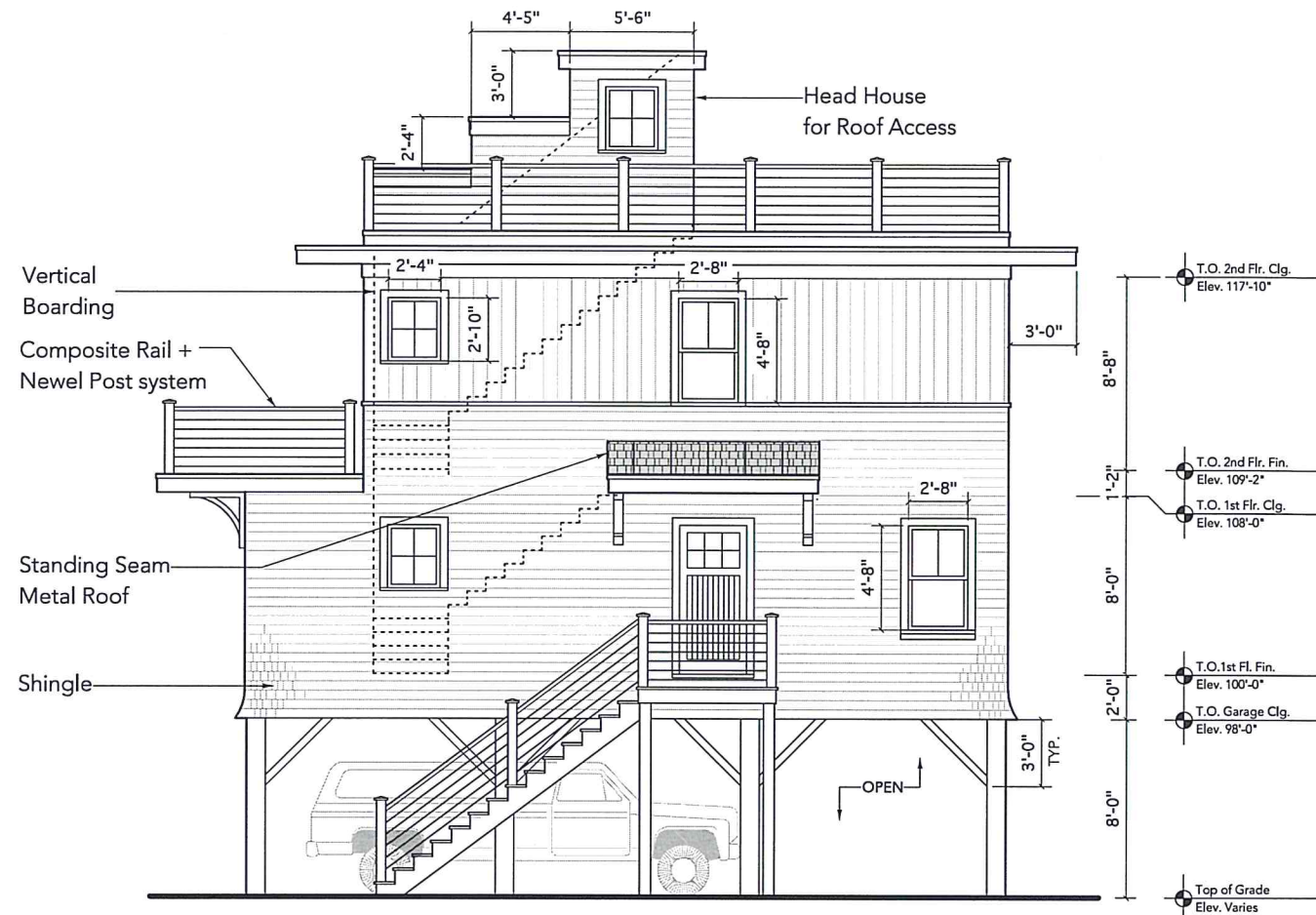


title:

**PROPOSED
Floor Plans -
UNIT 9 (J)
(Oceanfront)**

SCALE: 1/8" = 1'-0"
13 october 2021

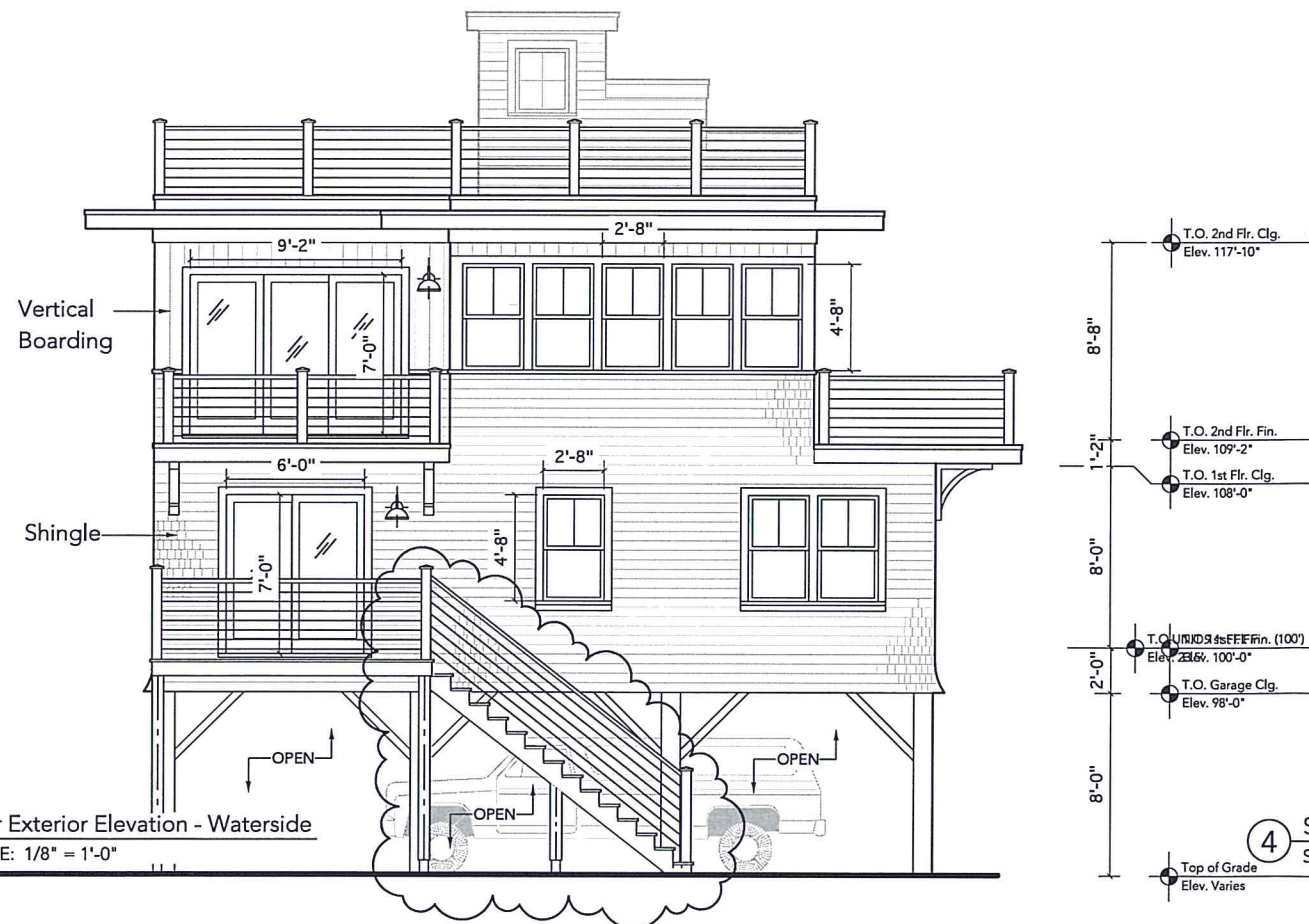
A03



1 Front Exterior Elevation - Street side
SCALE: 1/8" = 1'-0"



2 Side Exterior Elevation (Driveway Side)
SCALE: 1/8" = 1'-0"



3 Rear Exterior Elevation - Waterside
SCALE: 1/8" = 1'-0"



4 Side Exterior Elevation
SCALE: 1/8" = 1'-0"

project:

504 N. END BOULEVARD RESIDENCES

Salisbury, MA
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architect:

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title:

PROPOSED Exterior Elevations UNIT 9 (J) (Oceanfront)

SCALE: 1/8" = 1'-0"
13 october 2021

A04