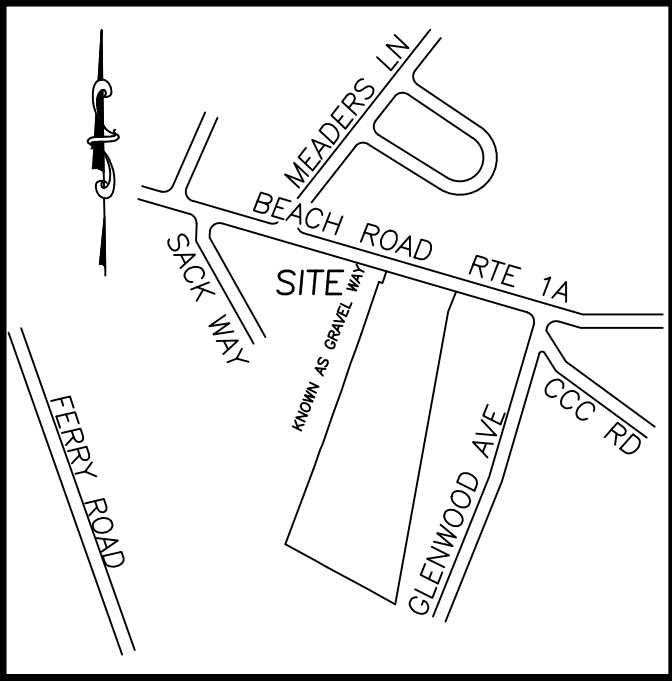




LOCUS MAP

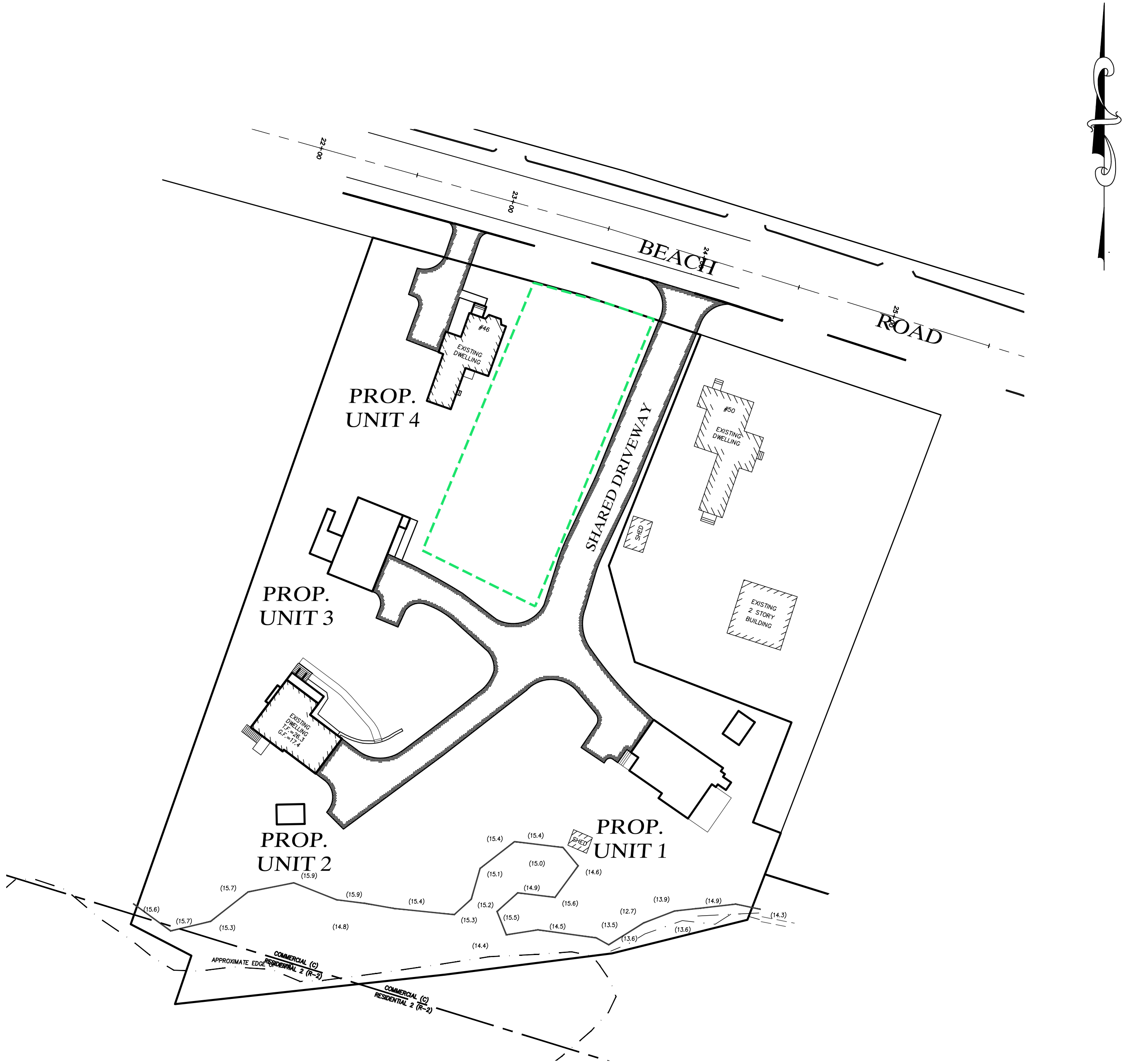
FLEXIBLE RESIDENTIAL DEVELOPMENT IN SALISBURY, MA NOVEMBER 2021

SALISBURY PLANNING BOARD

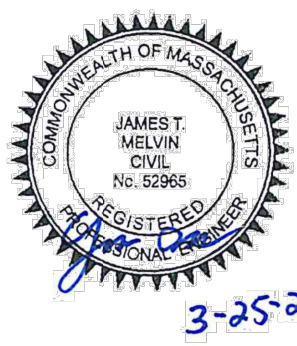
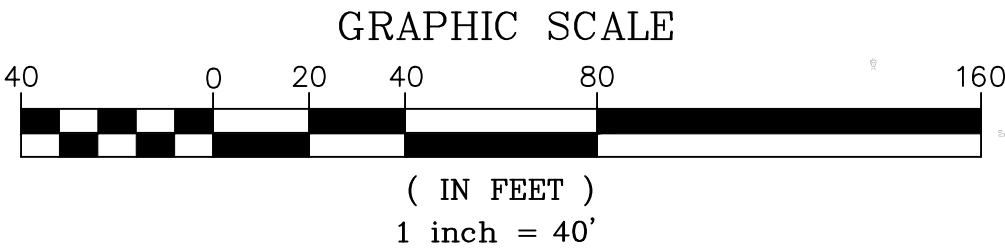
DATE

PLAN INDEX

SHEET NO.	TITLE
1	COVER SHEET
2	LEGEND
3	EXISTING CONDITIONS
4	CONVENTIONAL YIELD PLAN
5	SITE PLAN
6	GRADING PLAN
7	UTILITIES PLAN
8	EROSION AND SEDIMENTATION CONTROL PLAN
9-10	CONSTRUCTION DETAILS
L1-L3	LANDSCAPE PLAN

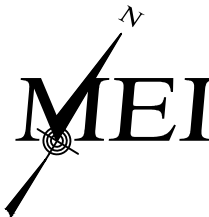


NOTE:
THE COMPLETED HOUSE AT 2 GRAVEL WAY SHALL BE ALLOWED FOR OCCUPANCY AND SHALL REMAIN ON THE CURRENT UTILITY LINES FROM THE ORIGINAL APPROVAL UNTIL THE NEW INFRASTRUCTURE IS IN PLACE. AT NO POINT SHALL ANY OTHER CERTIFICATE OF OCCUPANCY ON THE NEW HOMES (UNITS 1&3 ON PLAN) BE GRANTED A CERTIFICATE OF OCCUPANCY UNTIL ALL INFRASTRUCTURE AND UTILITY LINES ARE CONSTRUCTED AND CONNECTED TO ALL 4 HOMES.



PREPARED FOR
DOWNEAST BUILDING & DEVELOPMENT
18 MAPLE LANE
NORTHBOROUGH, MA 01532

NO.	DATE	DESCRIPTION	BY
6	3/16/22	RESPONSE TO TOWN COMMENTS	J.T.M.
5	3/7/22	RESPONSE TO TOWN COMMENTS	J.T.M.
4	2/22/22	RESPONSE TO TOWN COMMENTS	S.R.C.
3	2/10/22	RESPONSE TO PEER REVIEW	J.T.M.
2	1/18/22	RESPONSE TO PEER REVIEW	J.T.M.
1	12/15/21	RESPONSE TO PEER REVIEW	J.T.M.



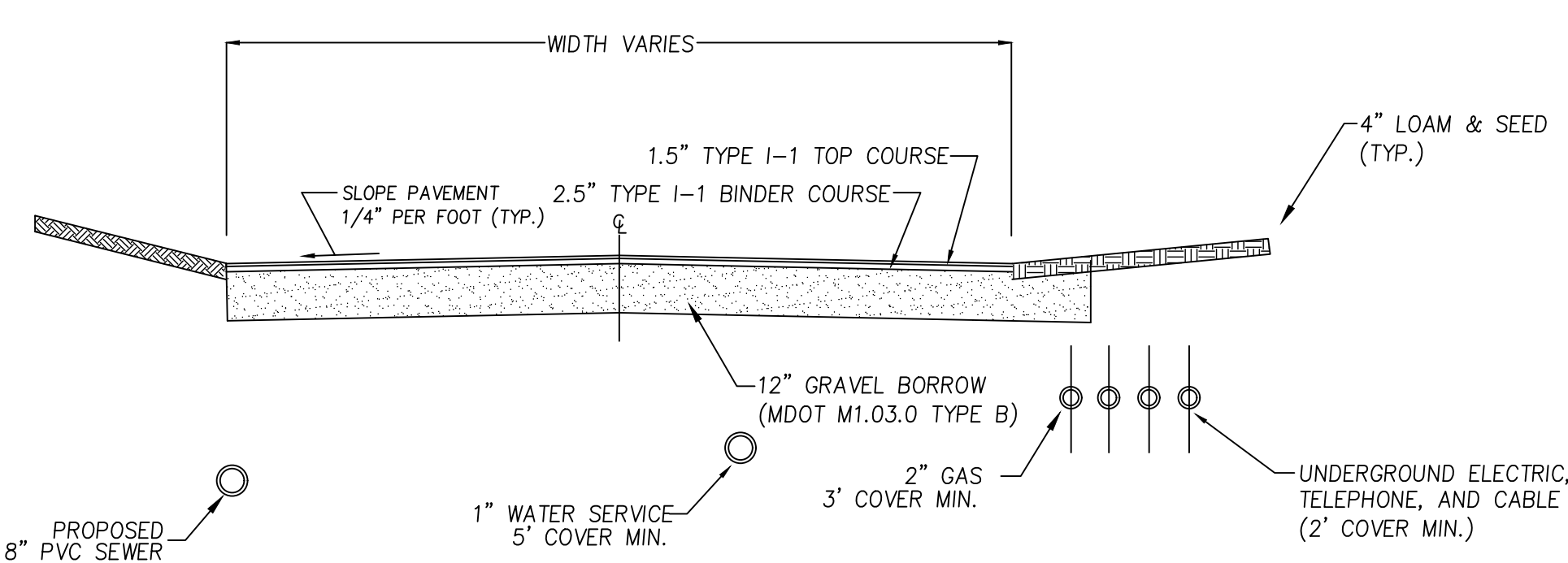
MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=40'	CALC. BY: J.T.M.	PROJECT: M213965
DATE: NOV. 5, 2021	CHKD. BY: E.W.B.	

FLEXIBLE RESIDENTIAL DEVELOPMENT
IN
SALISBURY, MA

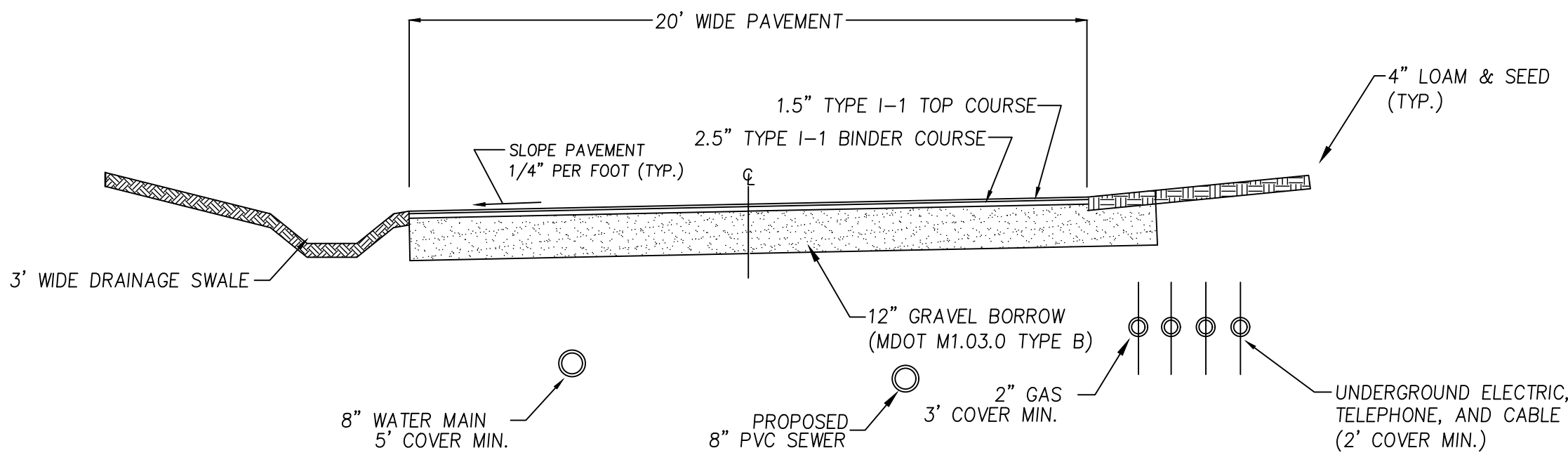
AT
46 BEACH ROAD & 2 GRAVEL WAY

COVER SHEET



SECONDARY DRIVEWAY
CROSS-SECTION

N.T.S.



PRIMARY SHARED DRIVEWAY
CROSS-SECTION

N.T.S.

SALISBURY PLANNING BOARD

DATE

LEGEND

EXISTING	PROPOSED	
		CATCH BASIN (OR GUTTER INLET, OR LEACHING BASIN)
		CATCH BASIN (OR GUTTER INLET) WITH CURB INLET
		CURB (OR BERM) - TYPE NOTED
		EDGE OF ROAD
		CONTOUR
		SEWER MANHOLE
		DRAINAGE MANHOLE
		GAS GATE
		WATER GATE
		SEPTIC TANK
		HYDRANT
		FIRE ALARM BOX
		POST MOUNTED PEDESTRIAN LIGHT
		UTILITY POLE
		DRAIN PIPE
		SEWER MAIN
		SEWER FORCE MAIN
		UNDERGROUND ELECTRIC
		WATER MAIN
		MAIL BOX
		HIGHWAY GUARD (TYPE NOTED)
		FENCE (SIZE AND TYPE NOTED)
		EASEMENT LINE
		PROPERTY LINE
		100 FT BUFFER ZONE

		BASE OR SURVEY LINE
		CONSTRUCTION BASELINE
		WHEELCHAIR RAMP (WCR)
		CONCRETE SIDEWALK
		HAND CORE
		SILT SOCK
		SILT FENCE
		WETLAND

SURVEY

120	WETLAND DELINEATION FLAG
	CONCRETE BOUND
	STONE BOUND
	DRILL HOLE
	MASONRY NAIL
	IRON PIPE
	IRON ROD
	FOUND
	NOT FOUND
	ASSESSORS MAP AND PARCEL

- THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS. ANY PROPOSED REVISIONS TO THE WORK SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND REGULATING CITY AND/OR STATE AGENCIES.
- THE CONTRACTOR SHALL INSTALL ALL SYSTEM COMPONENTS IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND ALL APPLICABLE ELECTRICAL, PLUMBING, AND SANITARY CODES.
- ALL WORK SHALL CONFORM TO: THE SALISBURY PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, THE WETLANDS PROTECTION ACT (310 CMR 10.00), THE ORDER OF CONDITIONS ISSUED BY THE SALISBURY CONSERVATION COMMISSION, AND THESE PLANS.
- THE LOCATION OF ALL UTILITIES, AS SHOWN ON THESE PLANS, ARE BASED UPON PLANS AND RECORD INFORMATION PROVIDED BY MUNICIPAL AND PRIVATE UTILITY COMPANIES AND ARE CONSIDERED APPROXIMATE BOTH AS TO SIZE AND LOCATION. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UTILITIES ARE SHOWN. THE CONTRACTOR SHALL NOT RELY ON THESE PLANS FOR SUCH INFORMATION AND WILL MAKE EXAMINATIONS IN THE FIELD BY VARIOUS AVAILABLE RECORDS, UTILITY COMPANIES AND INDIVIDUALS, AS TO THE LOCATION OF ALL SUBSURFACE STRUCTURES.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES BY CONTACTING "DIG-SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION. DIG-SAFE TELEPHONE NUMBER: 1-888-344-7233.
- THE CONTRACTOR SHALL FIELD CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE NEW WORK. HE/SHE SHALL EXCAVATE TO VERIFY PERTINENT DRAINAGE INVERTS AND POTENTIAL UTILITY CONFLICTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
- ALL EXISTING STRUCTURES AND SURFACES, UNLESS OTHERWISE SHOWN, SHALL BE COMPLETELY REMOVED FROM THE AREAS OF WORK. ALL TREES SCHEDULED FOR REMOVAL SHALL BE FIELD MARKED AND APPROVED FOR REMOVAL BY THE OWNER AND TOWN PRIOR TO CUTTING OPERATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF THE PUBLIC, EMPLOYEES, AND ALL OTHER PERSONS ASSOCIATED WITH THE PROJECT. HE/SHE SHALL COORDINATE AND BE RESPONSIBLE FOR ALL SAFETY SIGNING, BARRIERS AND TEMPORARY PAVEMENT MARKINGS NECESSARY TO PROVIDE A SMOOTH AND PROPER TRANSITION FOR TRAFFIC FLOW.
- IF REQUIRED BY THE CONTRACTOR, OVERHEAD LINES SHALL BE RELOCATED BY THE UTILITY COMPANY AT THE CONTRACTORS EXPENSE.

- ALL SEWER MAINS AND SERVICES SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY OR 18 INCHES VERTICALLY FROM PROPOSED WATER MAINS AND SERVICES AND SHALL MAINTAIN 5 FEET OF COVER OVER THE TOP OF THE PIPING, UNLESS OTHERWISE SHOWN OR APPROVED. PIPES SHALL BE ENCASED IN CONCRETE WHERE THIS SEPARATION CANNOT BE OBTAINED.
- ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 5 FEET OF COVER OVER THE TOP OF THE PIPE, UNLESS OTHERWISE SHOWN OR APPROVED.
- WHENEVER SEWER MAINS MUST CROSS WATER MAINS, THE SEWER SHALL BE CONSTRUCTED AS FOLLOWS; A) JOINTS SHALL BE MECHANICAL TYPE WATER PRESSURE RATED WITH ZERO LEAKAGE WHEN TESTED AT 25 PSI FOR GRAVITY SEWERS AND 1.5 TIMES WORKING PRESSURE FOR FORCE MAINS AND JOINTS NOT TO BE LOCATED WITHIN 9 FEET OF THE CROSSING; B) SEWER SERVICES SHOULD BE INSTALLED A MINIMUM OF 18 INCHES BELOW WATER MAINS. IF SEPARATION IS LESS THAN 18 INCHES, SEWER SERVICE SHALL BE CONCRETE ENCASED OR CONSTRUCTED WITH PRESSURE CLASS PVC FOR A DISTANCE OF 10 FEET EACH SIDE OF THE WATER MAIN. 10-FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE SHALL BE MAINTAINED.
- INDIVIDUAL BUILDING OWNERS ARE RESPONSIBLE FOR MAINTENANCE OF THEIR SEWER SERVICE FROM THE BUILDING TO THE CONNECTION TO THE SEWER MAIN.
- ALL STREET, WARNING, AND REGULATORY SIGNS SHALL BE IN CONFORMANCE WITH THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND STANDARD SPECIFICATIONS AND LATEST ADDENDA.
- 14 DAYS PRIOR TO COMMENCING CONSTRUCTION, THE OWNER/DEVELOPER SHALL PRESENT A CONSTRUCTION SCHEDULE TO THE PLANNING DEPARTMENT.
- THE OWNER/DEVELOPER SHALL SUBMIT TWO HARD COPIES OF AS-BUILT DRAWINGS TO THE PLANNING BOARD WITHIN 90 DAYS OF ISSUANCE OF OCCUPANCY PERMIT. AS-BUILTS SHALL INCLUDE ALL LANDBASE AND UTILITIES INFORMATION.
- ONSITE BURIAL OF STUMPS OR ANY OTHER DEBRIS IS PROHIBITED.
- THE PROPERTY DOES NOT LIE WITHIN THE 100-YEAR FLOOD PLAIN ACCORDING TO F.I.R.M. COMMUNITY PANEL NUMBER 25009C 0126F.
- ALL ELEVATIONS ARE BASED ON N.A.V.D. 1988.

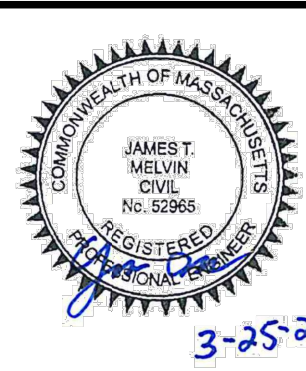
MATERIAL NOTES

ALL MATERIALS OF THE ELEMENTS IN THE SITE PLAN MUST CONFORM TO THE FOLLOWING STANDARDS:

- COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES (LATEST EDITION)
- 521 CMR RULES AND REGULATIONS OF THE ARCHITECTURAL ACCESS BOARD (AAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA)
- SPECIFICATIONS BY THE TOWN OF SALISBURY AS SET FORTH BY SECTION 7 DESIGN STANDARDS IN THE PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, DATED NOVEMBER 1, 2013.
- UTILITIES INSTALLED PER PENNICHUCK WATER SERVICE CORPORATION SPECIFICATIONS

SHARED DRIVEWAY NOTES

- ALL STUMPS, ROCKS AND LEDGE WITHIN THE LIMITS OF THE PROPOSED PAVED WAY SHALL BE REMOVED. ALL LEDGE SHALL BE REMOVED TO A MINIMUM DEPTH OF 2' BELOW FINISHED PAVEMENT GRADE.
- DRIVEWAY SHALL NOT BE CONSTRUCTED DURING FREEZING WEATHER OR ON WET OR FROZEN SUBGRADE.
- GRADING AND ROLLING SHALL BE REQUIRED TO PROVIDE A SMOOTH, EVEN, AND UNIFORM COMPACTED BASE WHICH IS COMPACTED TO A MINIMUM DRY DENSITY OF 95 PERCENT.
- THE MINIMUM SLOPE FROM THE CROWN OF FINISHED BASE COURSE SHALL BE 1/4"PER FOOT UNLESS OTHERWISE SHOWN.
- ALL UNSUITABLE MATERIAL SHALL BE EXCAVATED AND REPLACED WITH SATISFACTORY MATERIAL AND BROUGHT UP TO GRADE WITH GRAVEL BORROW CONTAINING NO STONES GREATER THAN 6" DIAMETER.
- AT ALL TIMES DURING CONSTRUCTION, THE SUB-GRADE AND ALL DITCHES SHALL BE CONSTRUCTED AND MAINTAINED SO THAT THE ROADWAY WILL EFFECTIVELY BE DRAINED.
- THE CONTRACTOR SHALL REFER TO THE SALISBURY PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, SECTIONS I - VII.



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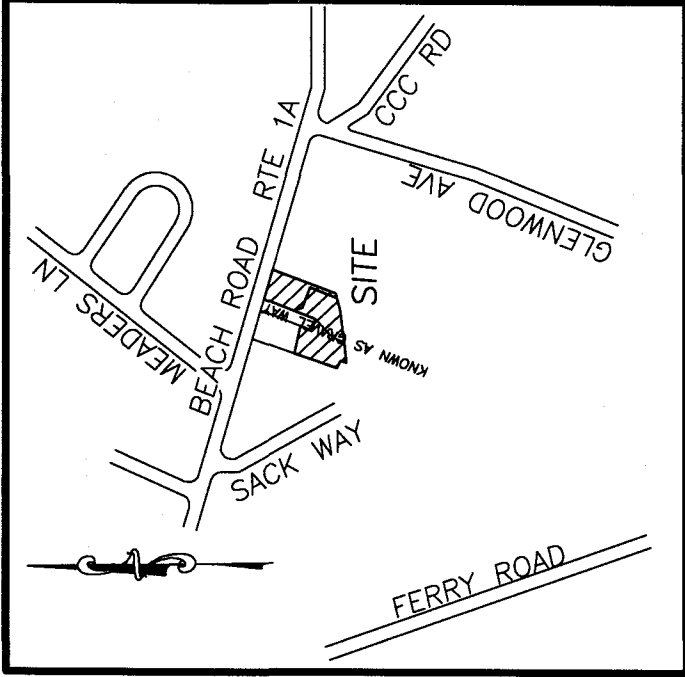
	MILLENNIUM ENGINEERING, INC.	
	ENGINEERING AND LAND SURVEYING 62 ELM ST. SALISBURY, MA 01952 (978) 463-8980 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528	
NOT TO SCALE		CALC. BY: J.T.M.
DATE: NOV. 5, 2021		CHKD. BY: E.W.B.
PROJECT: M213965		

**FLEXIBLE RESIDENTIAL
DEVELOPMENT**
IN
SALISBURY, MA

AT
46 BEACH ROAD & 2 GRAVEL WAY

**TYPICAL
SECTIONS
&
GENERAL
NOTES**

SHEET: 2 OF 10



UTILITY INFORMATION STATEMENT

1. THE SUB-SURFACE UTILITY INFORMATION SHOWN HEREON IS COMPILED BASED ON FIELD SURVEY INFORMATION, RECORD INFORMATION AS SUPPLIED BY THE APPROPRIATE UTILITY COMPANIES, AND PLAN INFORMATION SUPPLIED BY THE CLIENT. IF ANY, THEREFORE WE CANNOT GUARANTEE THE ACCURACY OF SAID COMPILED SUB-SURFACE INFORMATION TO ANY CERTAIN DEGREE OF STATED TOLERANCE. ONLY PHYSICALLY LOCATED SUB-SURFACE UTILITY FEATURES FALL WITHIN NORMAL STANDARD OF CARE ACCURACIES.
2. THE LOCATIONS OF UNDERGROUND PIPES, CONDUITS, AND STRUCTURES HAVE BEEN DETERMINED BY FIELD SURVEY INFORMATION, AND WHERE LOCATED, CAN VARY FROM THEIR ACTUAL LOCATIONS.
3. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED.
4. THE STATUS OF UTILITIES, WHETHER ACTIVE, ABANDONED, OR REMOVED, IS AN UNKNOWN CONDITION AS FAR AS OUR COMPILATION OF THIS INFORMATION.
5. IT IS INCUMBENT UPON INDIVIDUALS USING THIS INFORMATION TO UNDERSTAND THAT COMPILED UTILITY INFORMATION IS NOT EXACT, AND IS SUBJECT TO CHANGE BASED UPON VARYING PLAN INFORMATION RECEIVED AND ACTUAL LOCATIONS.
6. THE ACCURACY OF MEASURED UTILITY INVERTS AND PIPE SIZES IS SUBJECT TO FIELD CONDITIONS, THE ABILITY TO MAKE VISUAL OBSERVATIONS, DIRECT ACCESS TO THE VARIOUS ELEMENTS AND OTHER MATTERS.
7. THE PROPER UTILITY ENGINEERING/COMPANY SHOULD BE CONSULTED AND THE ACTUAL LOCATIONS OF SUB-SURFACE STRUCTURES SHOULD BE VERIFIED IN THE FIELD (V.I.F.) BEFORE ANY CONSTRUCTION OF THE PROJECT BEGINS. ANY CHANGES TO THE PLAN, INCLUDING SEVENTY-TWO HOURS PRIOR TO EXCAVATION, BLASTING, GRADING, AND/OR PAVING.

LOCUS MAP

BASIS OF BEARINGS

MSPCS - NAD 83

OWNERS OF RECORD

- 2 GRAVEL WAY LLC
BK. 38741 PG. 395
- 46 BEACH ROAD LLC
BK. 38747 PG. 538

PLAN REFERENCES

- 1913 STATE HIGHWAY LAYOUT - BEACH ROAD
PLAN BK. 306 PLAN 39
PLAN BK. 357 PLAN 2
PLAN BK. 419 PLAN 73

WETLAND NOTE

WETLAND DELINEATED BY:
WEST ENVIRONMENTAL, INC.
48 STEVENS HILL ROAD
NOTTINGHAM, NH 03290
(603) 734-4298

PLANNING BOARD APPROVAL UNDER THE
SUBDIVISION CONTROL LAW NOT REQUIRED
SALISBURY PLANNING BOARD

FOR REGISTRY USE

ZONING DISTRICT- C - COMMERCIAL

LOT AREA 1/2 AC.
FRONTAGE 100 FT.
SE/BACKS
FRONT 50 FT.
SIDE 20, 30 FT.
REAR 20 FT.

DATE
ENDORSEMENT OF THIS PLAN SHALL NOT BE AN
INDICATION, EXPRESS OR IMPLIED, THAT THE
PARCELS OR STRUCTURES SHOWN ON THIS PLAN
CONFORM TO APPLICABLE ZONING, CONSERVATION
COMMISSION OR BOARD OF HEALTH
REQUIREMENTS.

CB
RIM=16.62

136

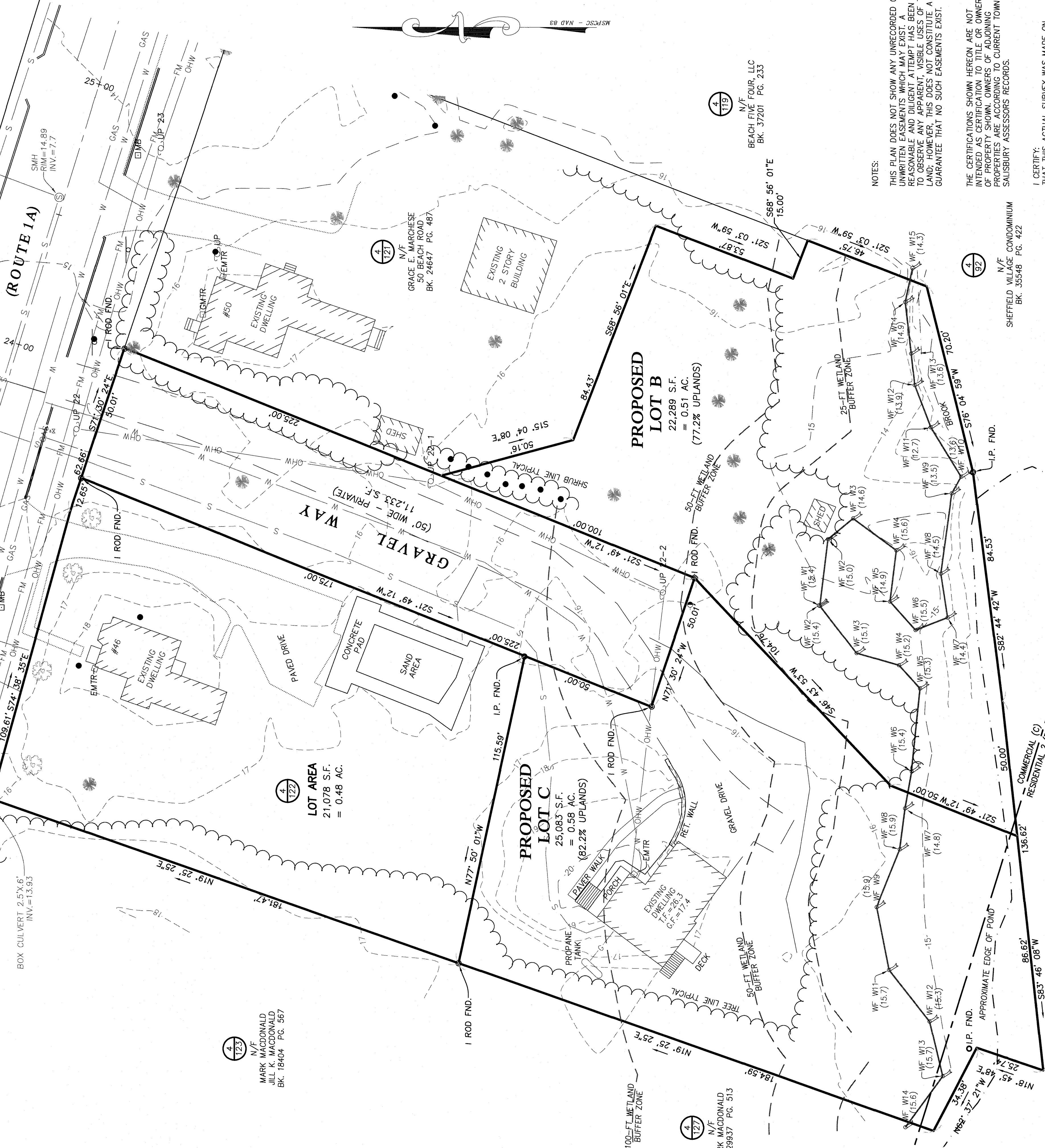
122

1913 STATE HIGHWAY LAYOUT - BEACH ROAD

PLAN BK. 306 PLAN 39

PLAN BK. 357 PLAN 2

PLAN BK. 419 PLAN 73



LEGEND

- MASSACHUSETTS HIGHWAY BOUND
TREE LINE
PINE TREE
DECIDUOUS TREE
BIT.
IRON PIPE
IRON ROD
FOUND
NOW OR FORMERLY
FORCE MAIN
WATER
SEWER
GAS
OVERHEAD WIRE
- CATCH BASIN
ELECTRIC METER
EXISTING ELEVATION CONTOUR
GAS VALVE
WATER SHUT OFF
MAIL BOX
UTILITY POLE
SEWER MANHOLE
INVERT
SIGN
- ASSESSORS MAP#
PARCEL#

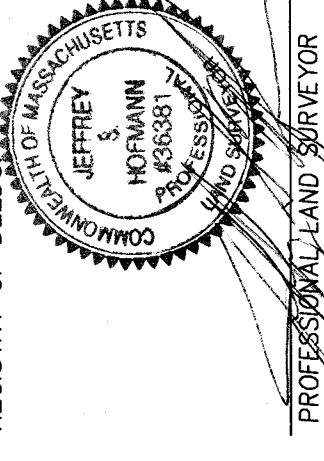
GRAPHIC SCALE
(IN FEET)
1 inch = 20'

NOTES:
THIS PLAN DOES NOT SHOW ANY UNRECORDED OR
UNWRITTEN EASEMENTS WHICH MAY EXIST.
REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE
TO OBSERVE ANY APPARENT, VISIBLE USES OF THE
LAND; HOWEVER, THIS DOES NOT CONSTITUTE A
GUARANTEE THAT NO SUCH EASEMENTS EXIST.

THE CERTIFICATIONS SHOWN HEREON ARE NOT
INTENDED AS CERTIFICATION TO TITLE OR OWNERSHIP
OF PROPERTY SHOWN. OWNERS OF ADJOINING
PROPERTIES ARE ACCORDING TO CURRENT TOWN OF
SALISBURY ASSESSORS RECORDS.

I CERTIFY:
THAT THIS ACTUAL SURVEY WAS MADE ON
THE GROUND BETWEEN JULY 11, 2019,
AND DECEMBER 15, 2021, AND THAT THE
STRUCTURES AND PHYSICAL FEATURES
ARE LOCATED AS SHOWN TO THE BEST OF
MY ABILITY AND BELIEF.

THAT THIS PLAN CONFORMS TO THE
RULES AND REGULATIONS OF THE
REGISTRY OF DEEDS.



PREPARED FOR

DOWNEAST BUILDING & DEVELOPMENT
18 MAPLE LANE
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62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
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**FLEXIBLE RESIDENTIAL
DEVELOPMENT**
IN
SALISBURY, MA

**EXISTING
CONDITIONS**

SCALE: 1"=20'
DATE: NOV. 5, 2021

CALC. BY: P.D.B.

CHKD. BY: J.S.H.

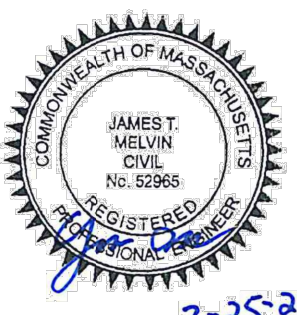
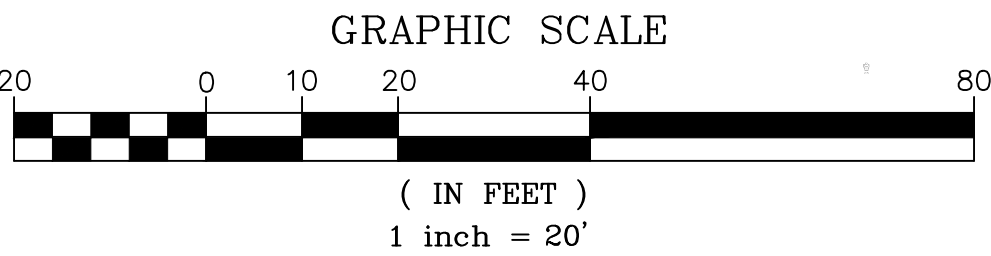
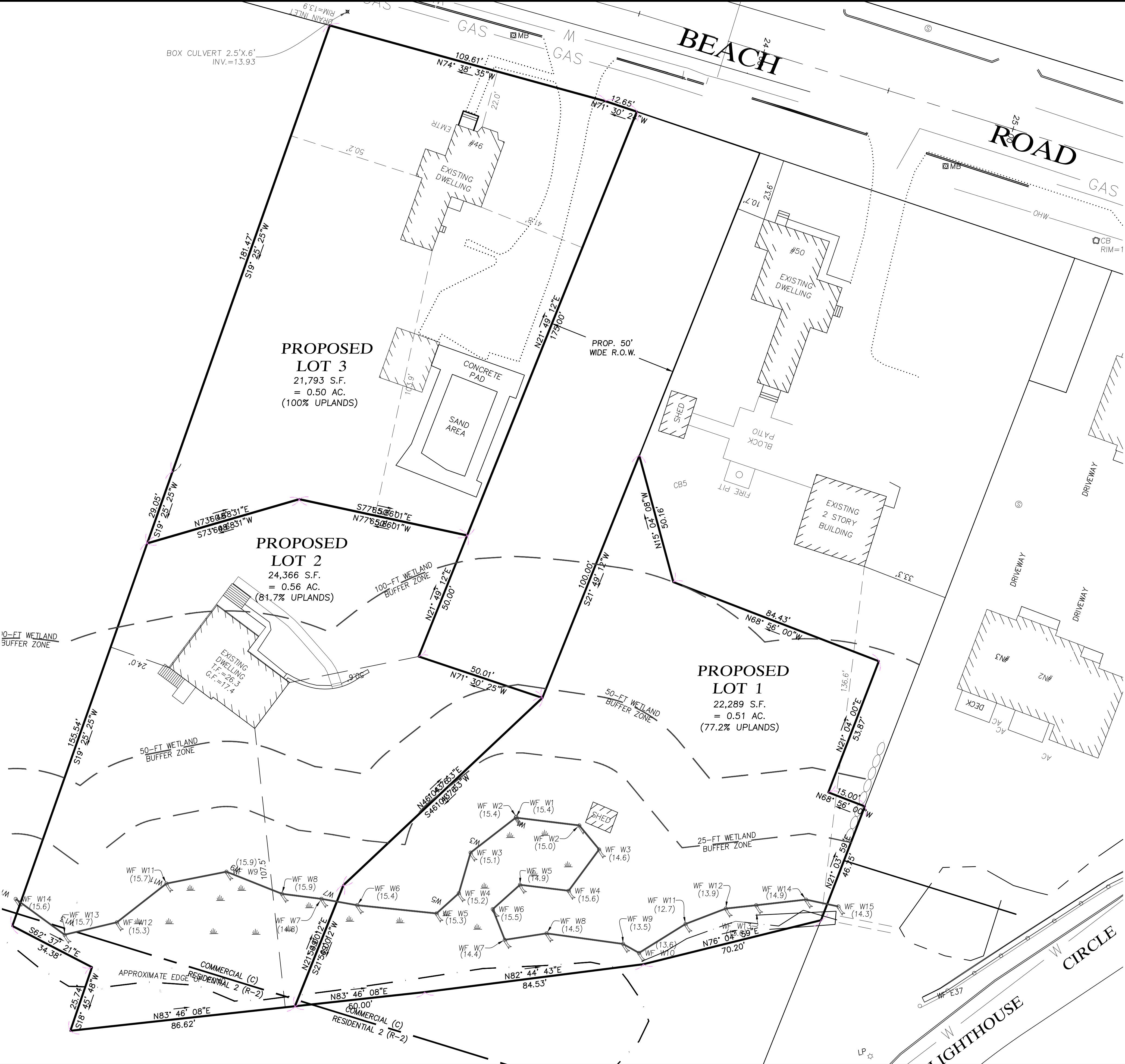
PROJECT: M213965

AT
46 BEACH ROAD & 2 GRAVEL WAY

SHEET: 3 OF 10

ZONING DISTRICT – C

LOT AREA: 1/2 ACRE
LOT FRONTAGE: 100 FEET
LOT WIDTH: 100 FEET
FRONT SETBACK: 50 FEET
SIDE SETBACK: 30 FEET
REAR SETBACK: 20 FEET
BLDG COVERAGE: 25%
BUILDING HEIGHT: 35 FEET



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FLEXIBLE RESIDENTIAL DEVELOPMENT
IN
SALISBURY, MA
AT
46 BEACH ROAD & 2 GRAVEL WAY

CONVENTIONAL SUBDIVISION YIELD PLAN
SHEET: 4 OF 10

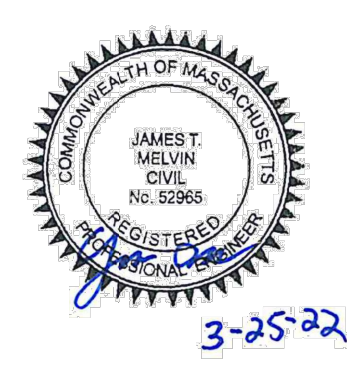
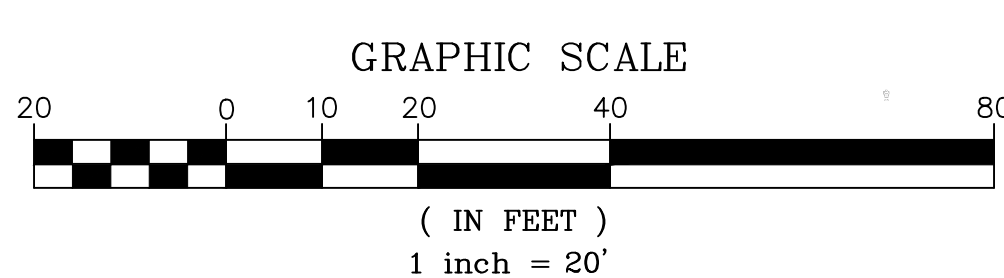
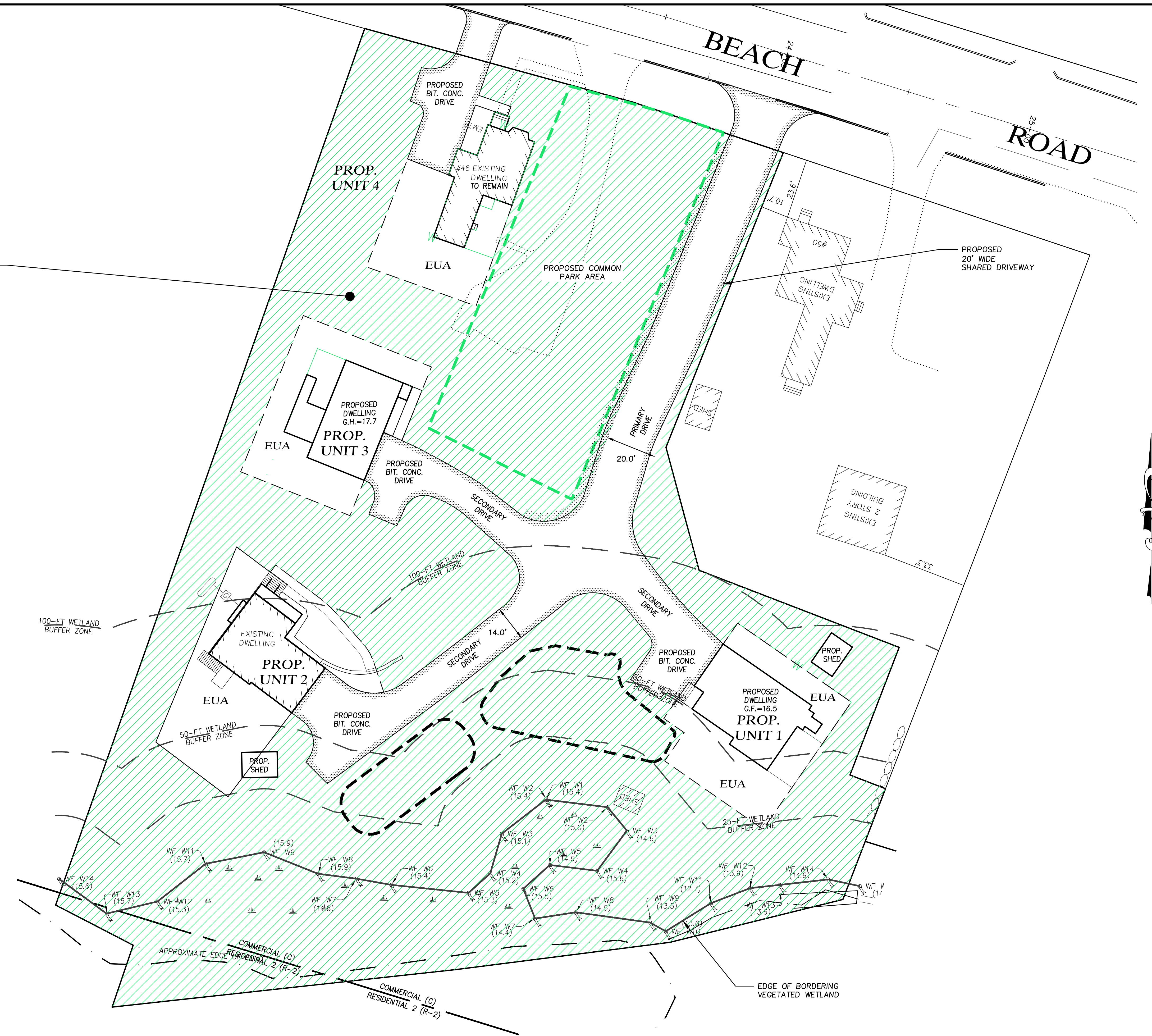
BEACH
ROAD

PROPOSED
OPEN SPACE

PROPOSED
20' WIDE
SHARED DRIVEWAY

FRD CALCULATIONS

TRACT AREA:	79,665 S.F.
MIN. OPEN SPACE:	39,833 S.F.
OPEN SPACE PROVIDED:	55,954 S.F.
% OPEN SPACE:	70.2%
BASIC MAX. NUMBER:	3 UNITS
% DENSITY BONUS:	20%
TOTAL FRD UNITS:	4 UNITS



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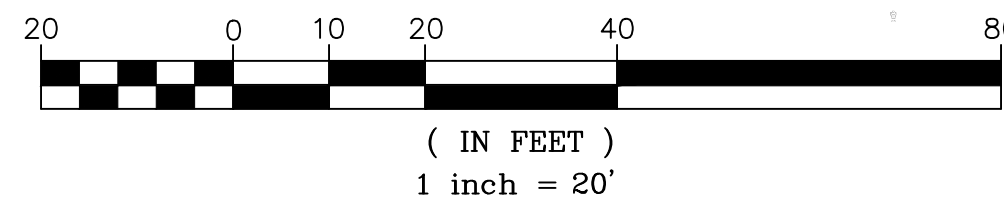
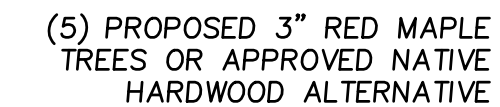
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FLEXIBLE RESIDENTIAL DEVELOPMENT
IN
SALISBURY, MA
AT
46 BEACH ROAD & 2 GRAVEL WAY

SITE PLAN
SHEET: 5 OF 10



DOWNEAST BUILDING & DEVELOPMENT
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3	2/10/22	RESPONSE TO PEER REVIEW	J.T.M.
2	1/18/22	RESPONSE TO PEER REVIEW	J.T.M.
1	12/15/21	RESPONSE TO PEER REVIEW	J.T.M.
NO.	DATE	DESCRIPTION	BY

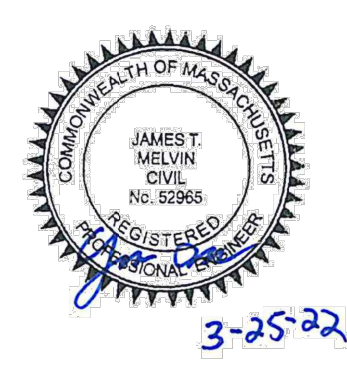
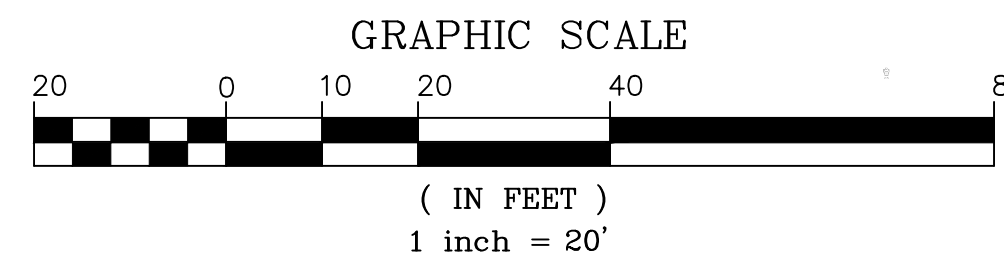
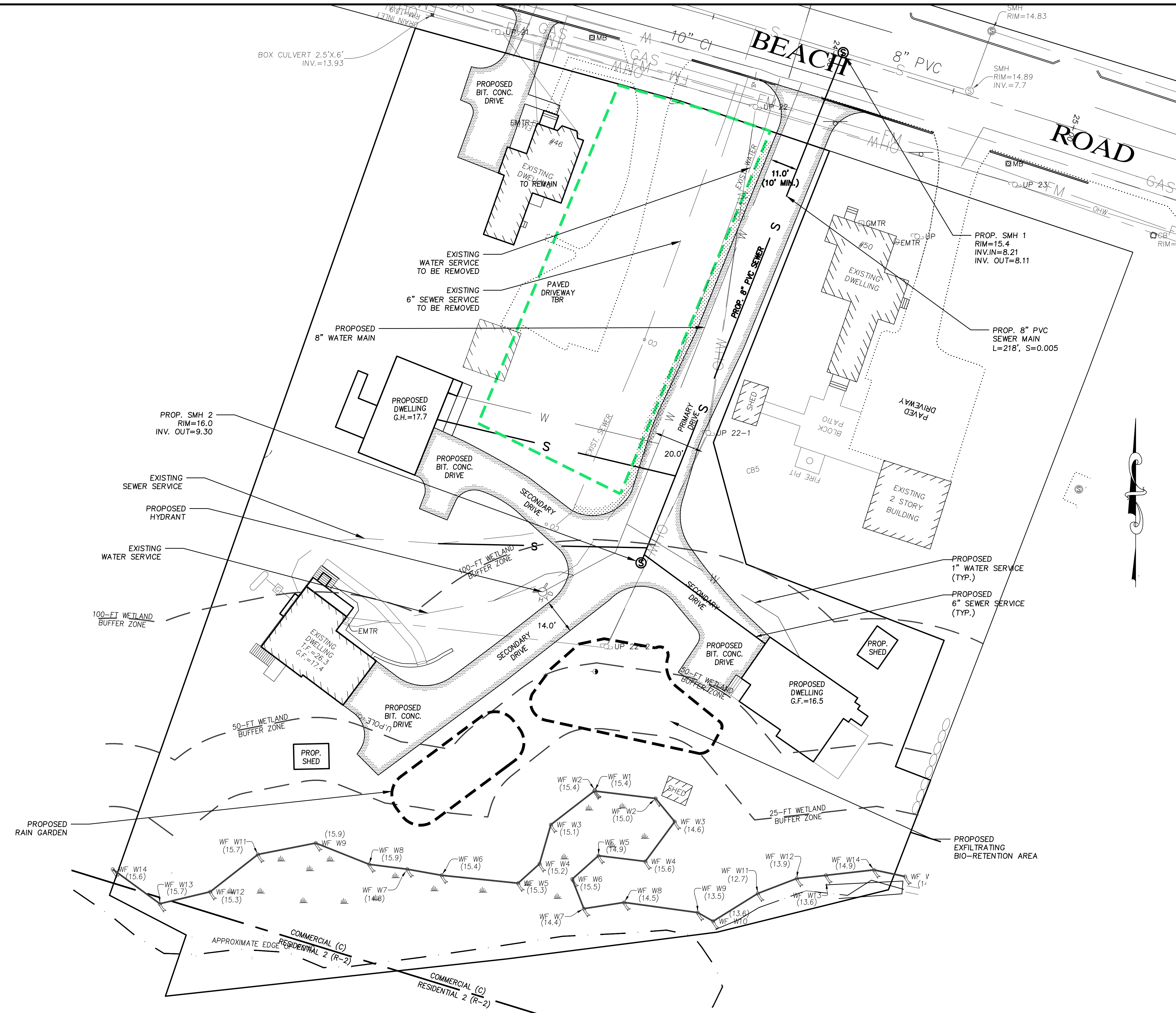
	MILLENNIUM ENGINEERING, INC. ENGINEERING AND LAND SURVEYING 62 ELM ST. SALISBURY, MA 01952 (978) 463-8980 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528		
	SCALE: 1"=20'	CALC. BY: J.T.M.	PROJECT: M213965
DATE: NOV. 5, 2021	CHKD. BY: E.W.B.		

**FLEXIBLE RESIDENTIAL
DEVELOPMENT
IN
SALISBURY, MA**

46 BEACH ROAD ^{AT} & 2 GRAVEL WAY

GRADING AND DRAINAGE PLAN

SHEET: 6 OF 10



PREPARED FOR

DOWNEAST BUILDING & DEVELOPMENT

18 MAPLE LANE
NORTHBOROUGH, MA 01532

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1	12/15/21	RESPONSE TO PEER REVIEW	J.T.M.

MEI **MILLENNIUM ENGINEERING, INC.**
ENGINEERING AND LAND SURVEYING
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13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=20'
DATE: NOV. 5, 2021

CALC. BY: J.T.M.
CHKD. BY: E.W.B.

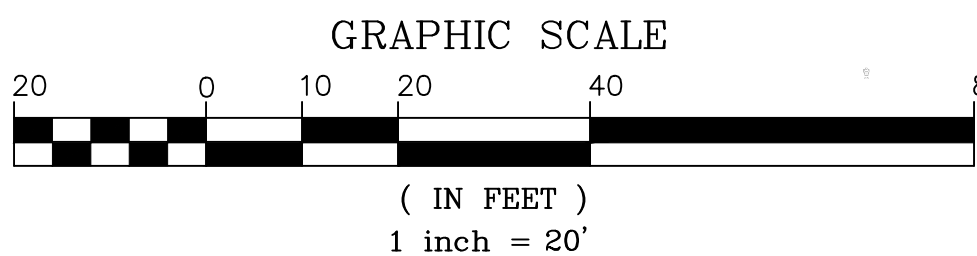
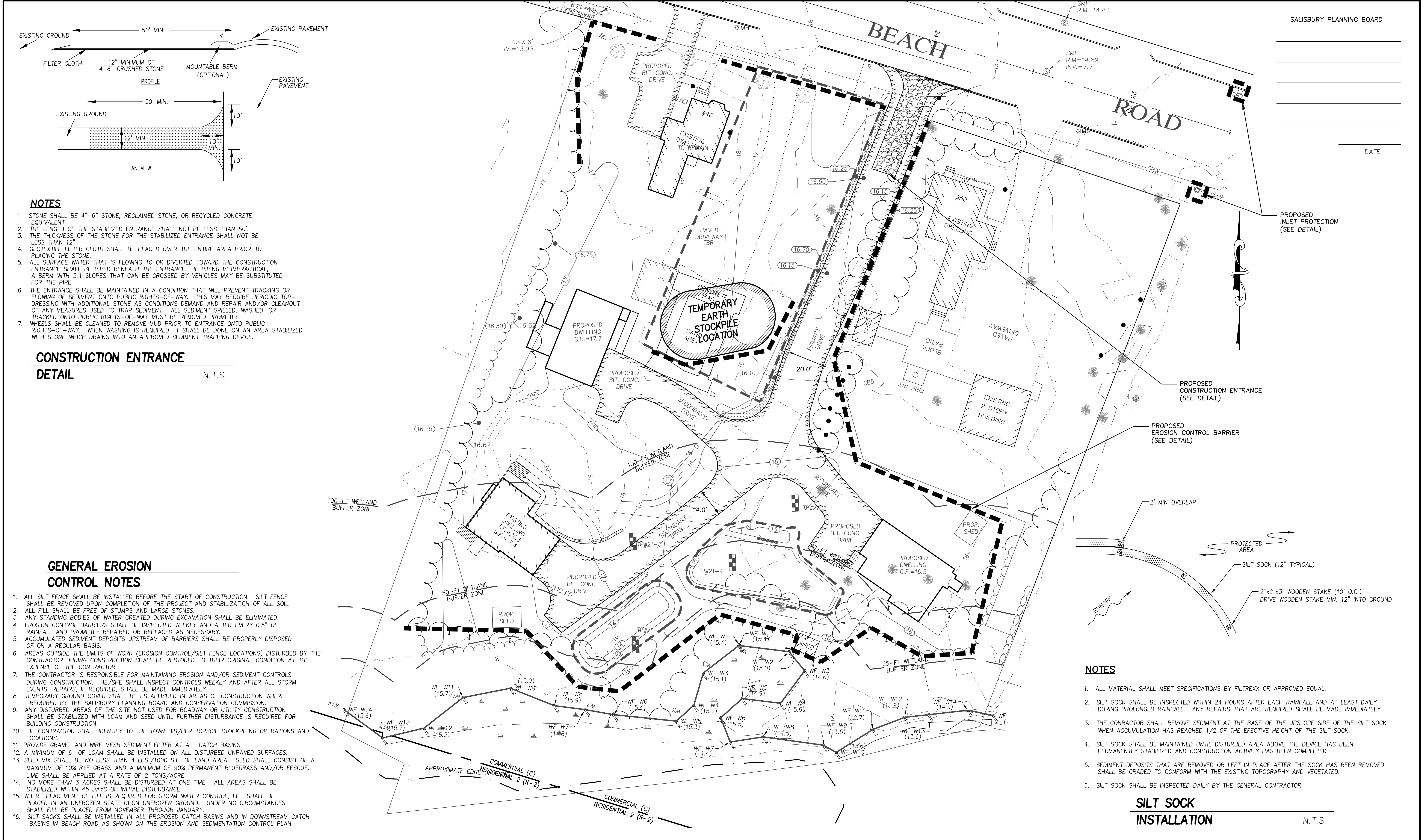
PROJECT: M213965

FLEXIBLE RESIDENTIAL DEVELOPMENT
IN
SALISBURY, MA

AT
46 BEACH ROAD & 2 GRAVEL WAY

UTILITIES PLAN

SHEET: 7 OF 10



PREPARED FOR

DOWNEAST BUILDING & DEVELOPMENT

18 MAPLE LANE
NORTHBOROUGH, MA 01532

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MEI MILLENNIUM ENGINEERING, INC.

ENGINEERING AND LAND SURVEYING
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13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=20'	CALC. BY: J.T.M.	PROJECT: M213965
DATE: NOV. 5, 2021	CHKD. BY: E.W.B.	

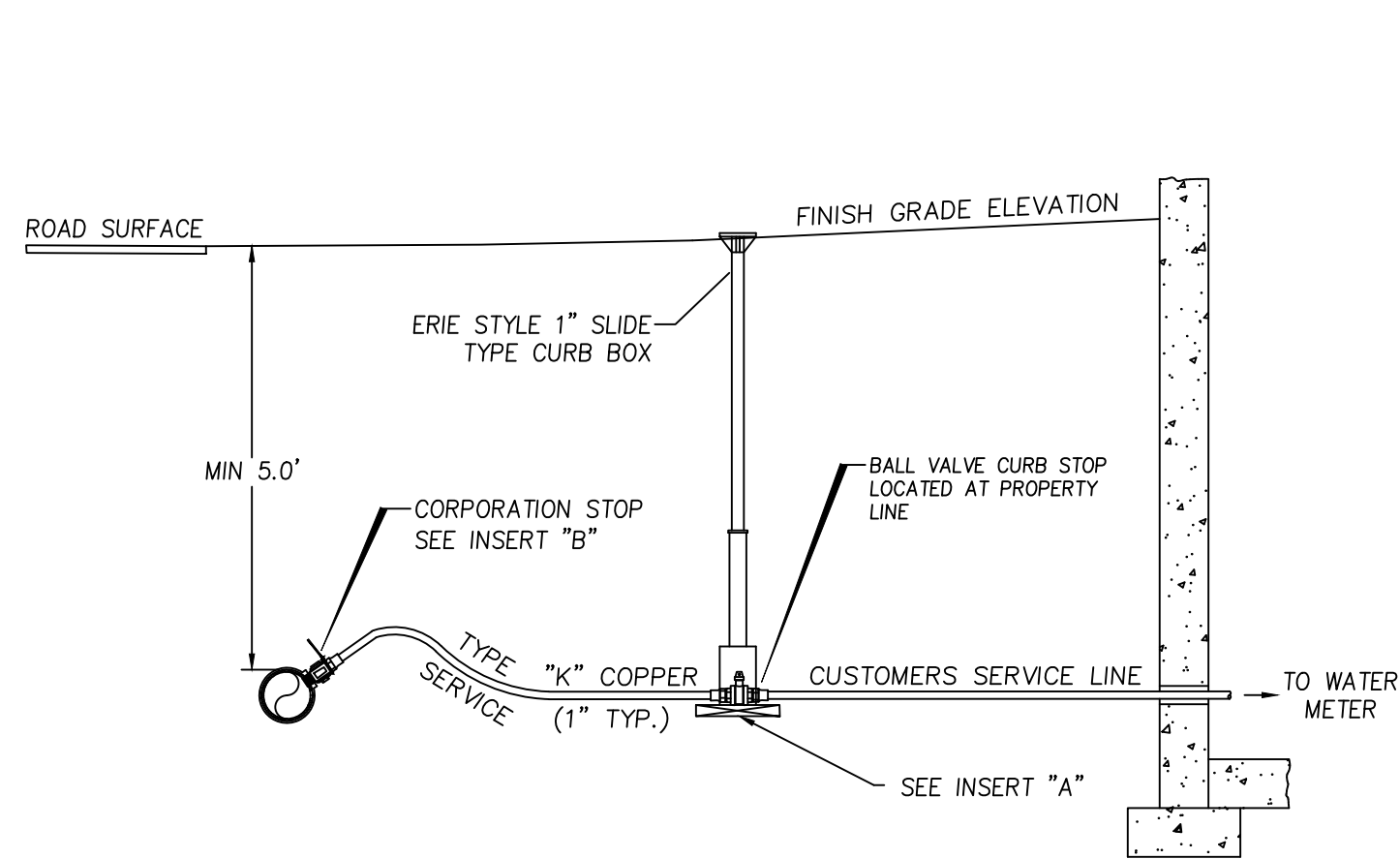
FLEXIBLE RESIDENTIAL DEVELOPMENT

IN
SALISBURY, MA

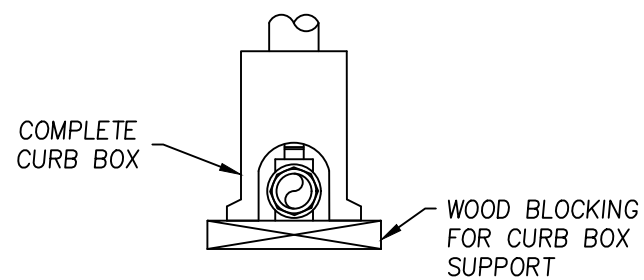
AT
46 BEACH ROAD & 2 GRAVEL WAY

EROSION AND SEDIMENTATION CONTROL PLAN

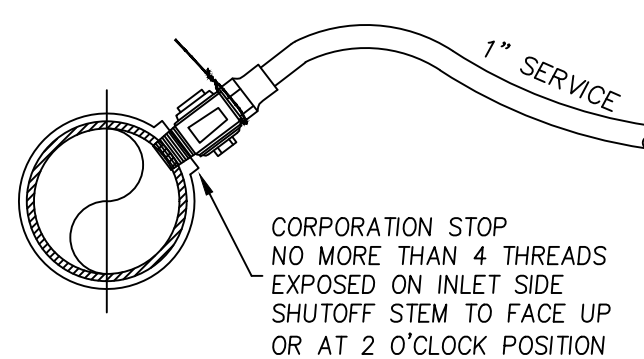
SHEET: 8 OF 10



INSERT "A"



INSERT "B"



TYPICAL WATER SERVICE DETAIL

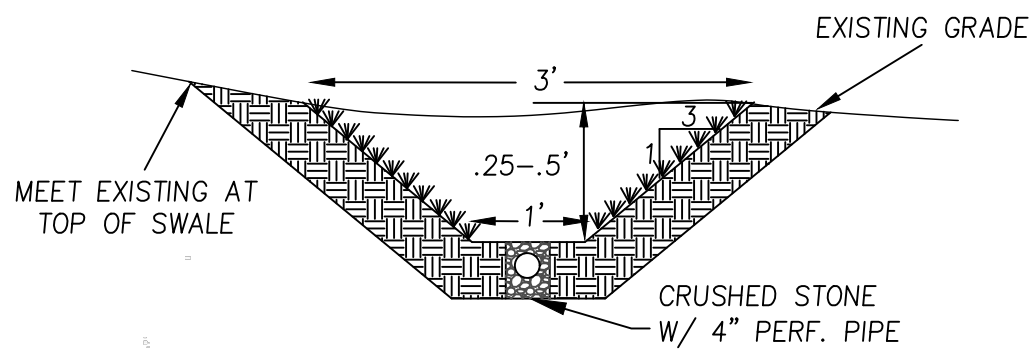
N.T.S.

NOTES

1. TO INSTALL SILTSACK IN THE CATCH BASIN, REMOVE THE GRATE AND PLACE THE SACK IN THE OPENING. HOLD APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME. THIS IS THE AREA OF THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
2. WHEN THE RESTRAINT CORD IS NO LONGER VISIBLE, SILTSACK IS FULL AND SHOULD BE EMPTIED.
3. TO REMOVE SILTSACK, TAKE TWO PIECES OF 1" DIAMETER REBAR AND PLACE THROUGH THE LIFTING LOOPS ON EACH SIDE OF THE SACK TO FACILITATE THE LIFTING OF SILTSACK.
4. TO EMPTY SILTSACK, PLACE UNIT WHERE THE CONTENTS WILL BE COLLECTED. PLACE THE REBAR THROUGH THE LIFT STRAPS CONNECTED TO THE BOTTOM OF THE SACK) AND LIFT. THIS WILL LIFT SILTSACK FROM THE BOTTOM AND EMPTY THE CONTENTS. CLEAN OUT AND RINSE. RETURN SILTSACK TO ITS ORIGINAL SHAPE AND PLACE BACK IN THE BASIN.
5. SILTSACK IS REUSABLE. ONCE THE CONSTRUCTION CYCLE IS COMPLETE, REMOVE SILTSACK FROM THE BASIN AND CLEAN. SILTSACK SHOULD BE STORED OUT OF SUNLIGHT UNTIL NEXT USE.

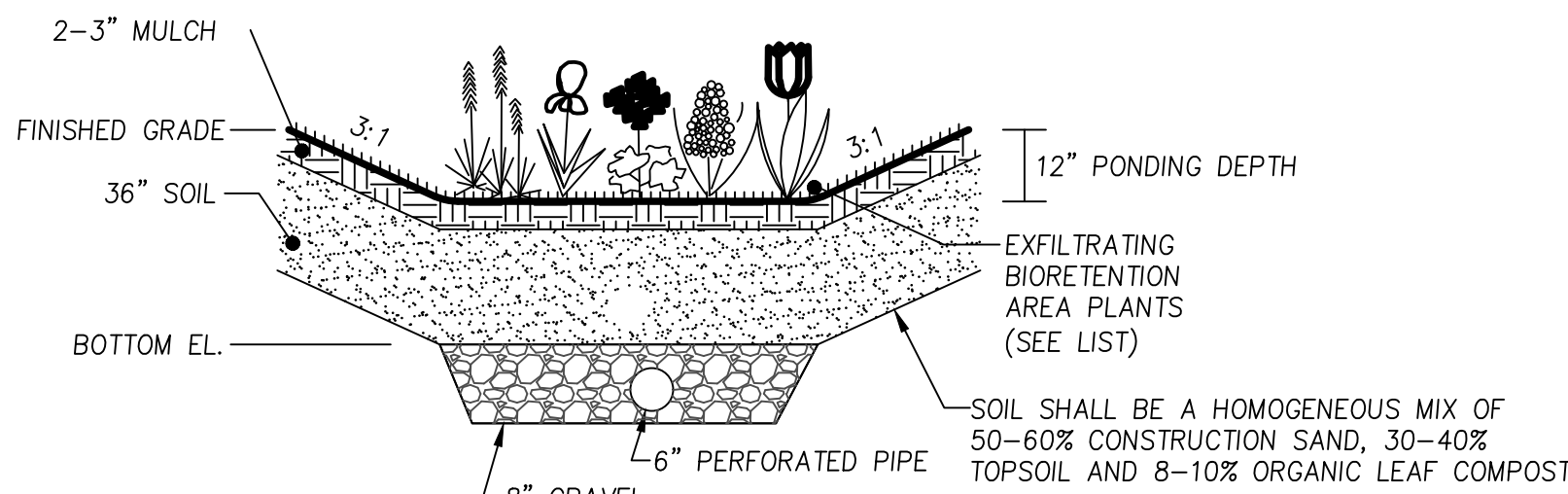
SILT SACK DETAIL

N.T.S.



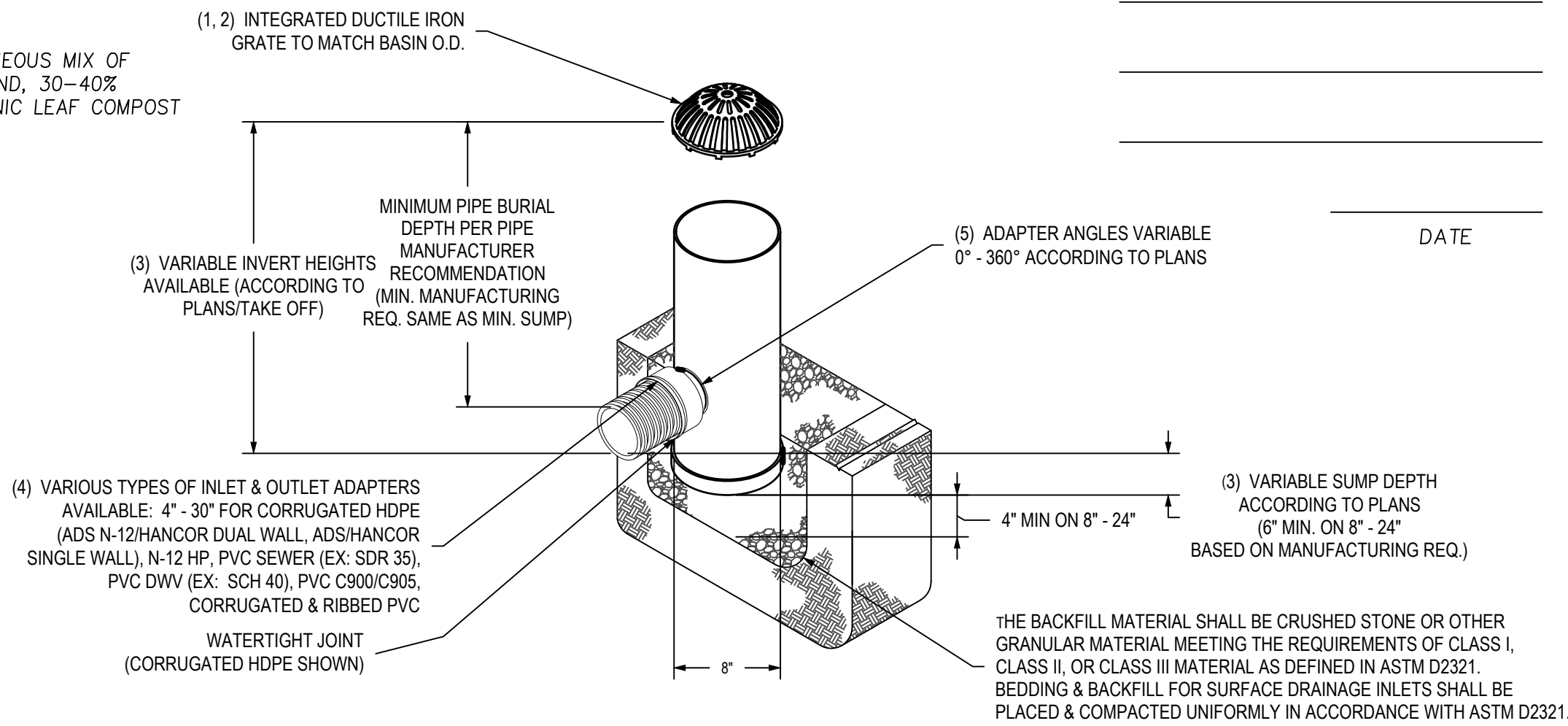
DRAINAGE SWALE DETAIL

N.T.S.



EXFILTRATING BIORETENTION AREA DETAIL

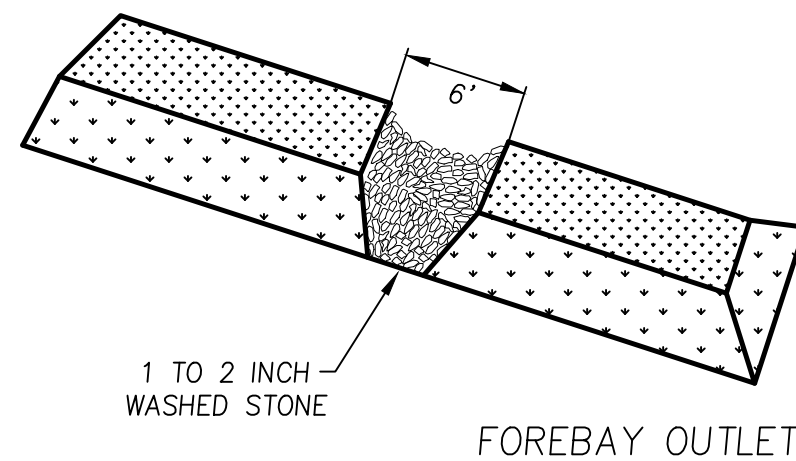
N.T.S.



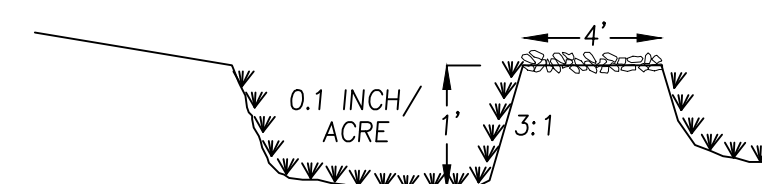
- 1 - 8" - 30" DOME GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- 2 - 8" & 10" DOME GRATES FIT ONTO THE DRAIN BASINS WITH THE USE OF A PVC BODY TOP. SEE DRAWING NO. 7001-110-045.
- 3 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065.
- 4 - DRAINAGE CONNECTION SUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D2321 FOR CORRUGATED HDPE (ADS N-12 HANCOR DUAL WALL), N-12 HP, & PVC SEWER (4" - 24").
- 5 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.
- 6 - 8" - 30" DOME GRATES HAVE NO LOAD RATING.

AREA DRAIN DETAIL

N.T.S.



CROSS-SECTION

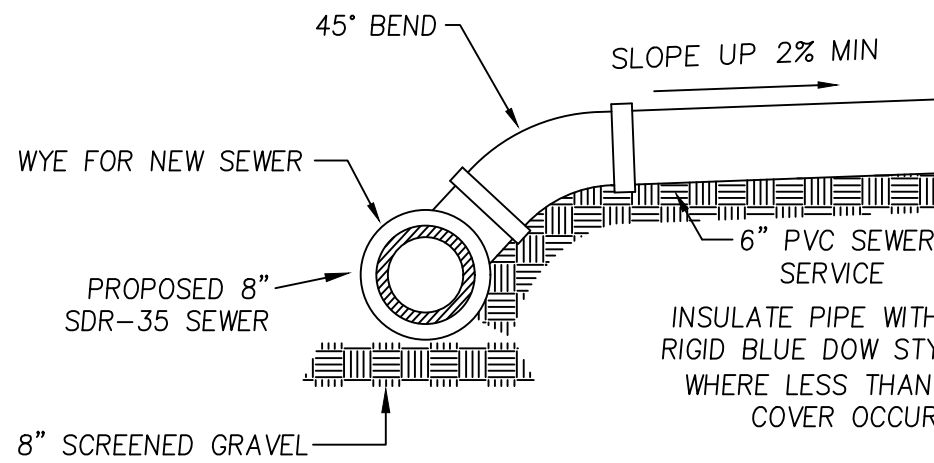


VOLUME OF SEDIMENT FOREBAY

DRAINAGE AREA (ACRES)	VOLUME (CU. YD)	VOLUME (CU. FT)	DIMENSIONS (L x W x H)	OUTLET LENGTH
FOREBAY 0.14	2.8	75	30'x5'x0.5'	6.0'

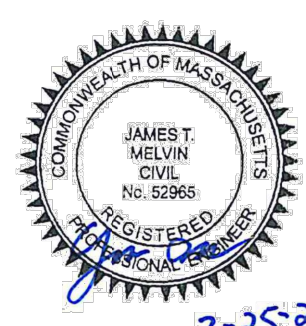
SEDIMENT FOREBAY DETAIL

N.T.S.



SEWER SERVICE DETAIL

N.T.S.



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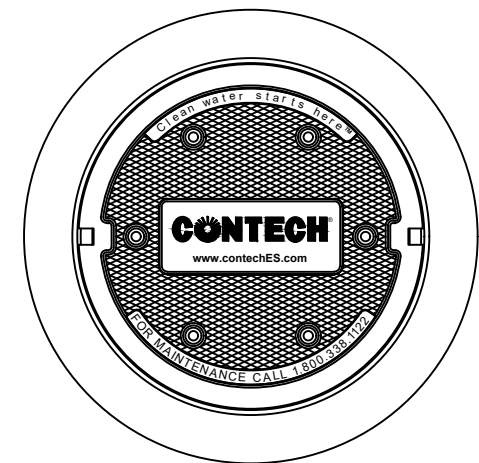
NOT TO SCALE
DATE: NOV. 5, 2021
CALC. BY: J.T.M.
CHKD. BY: E.W.B.
PROJECT: M213965

FLEXIBLE RESIDENTIAL DEVELOPMENT
IN
SALISBURY, MA

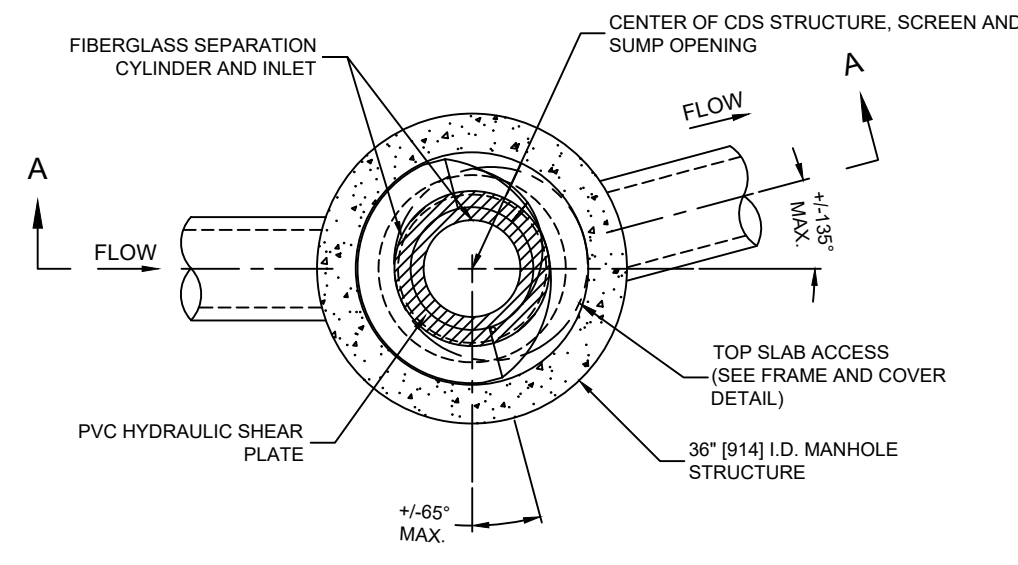
AT
46 BEACH ROAD & 2 GRAVEL WAY

CONSTRUCTION DETAILS

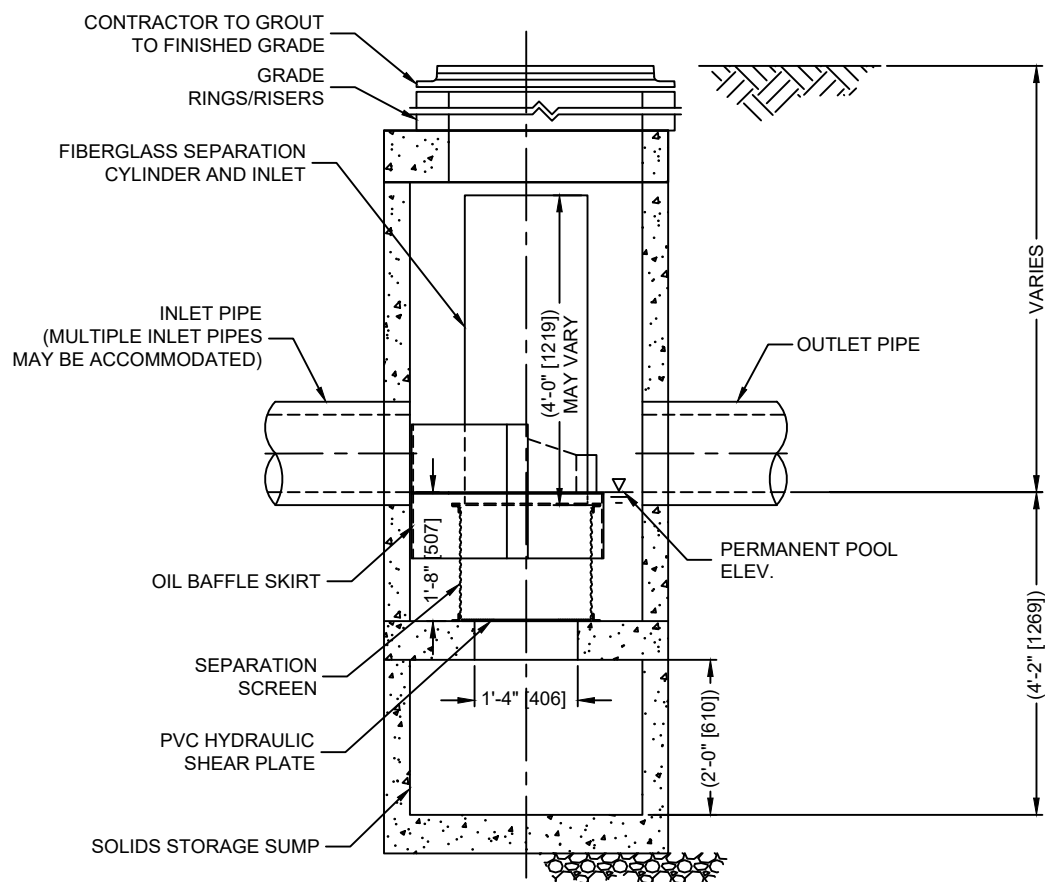
SHEET: 9 OF 10



FRAME AND COVER
(DIAMETER VARIES)
N.T.S.



PLAN VIEW B-B
N.T.S.

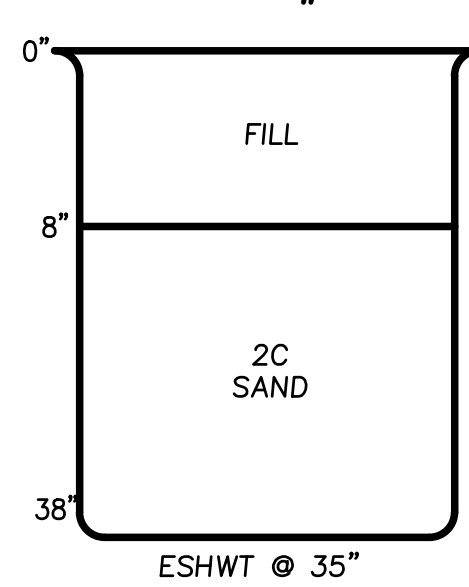


ELEVATION A-A
N.T.S.

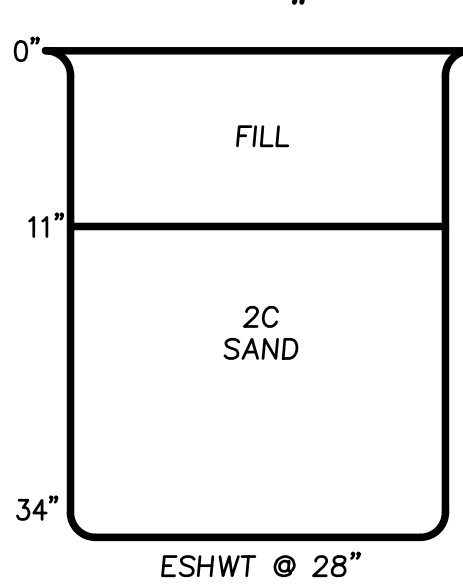
CONTECH CDS DETAIL

N.T.S.

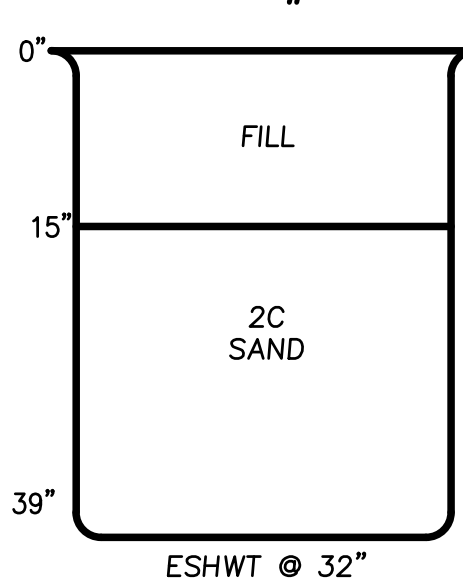
TEST PIT #21-1



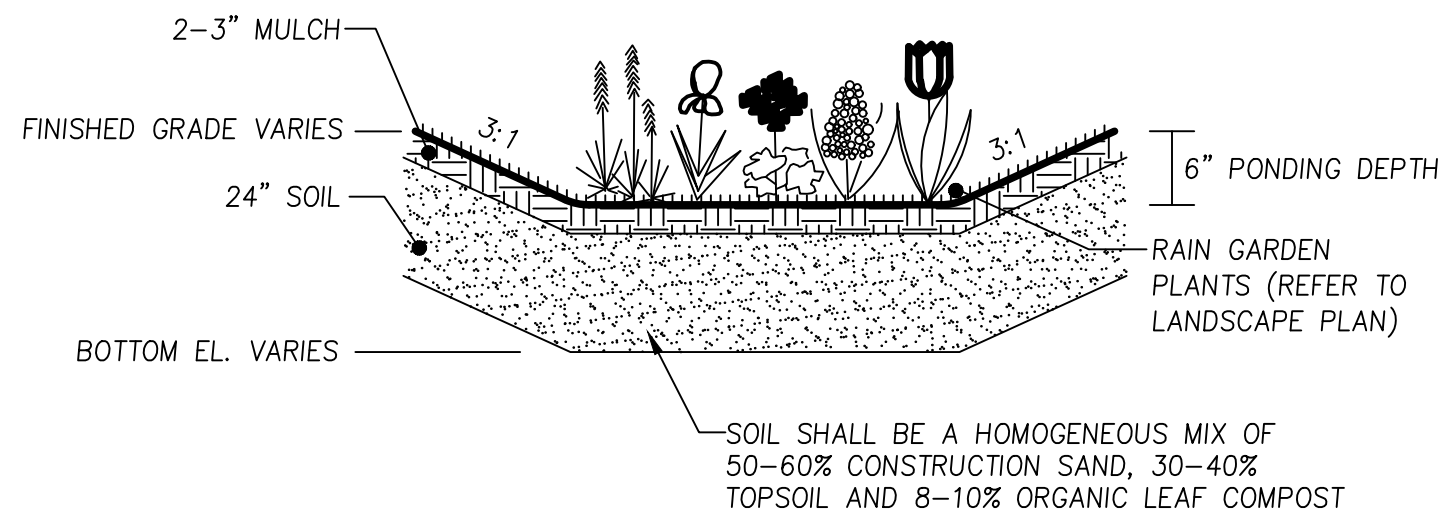
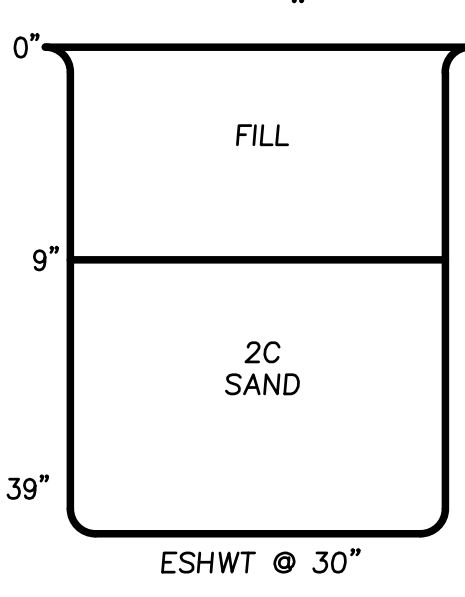
TEST PIT #21-2



TEST PIT #21-3

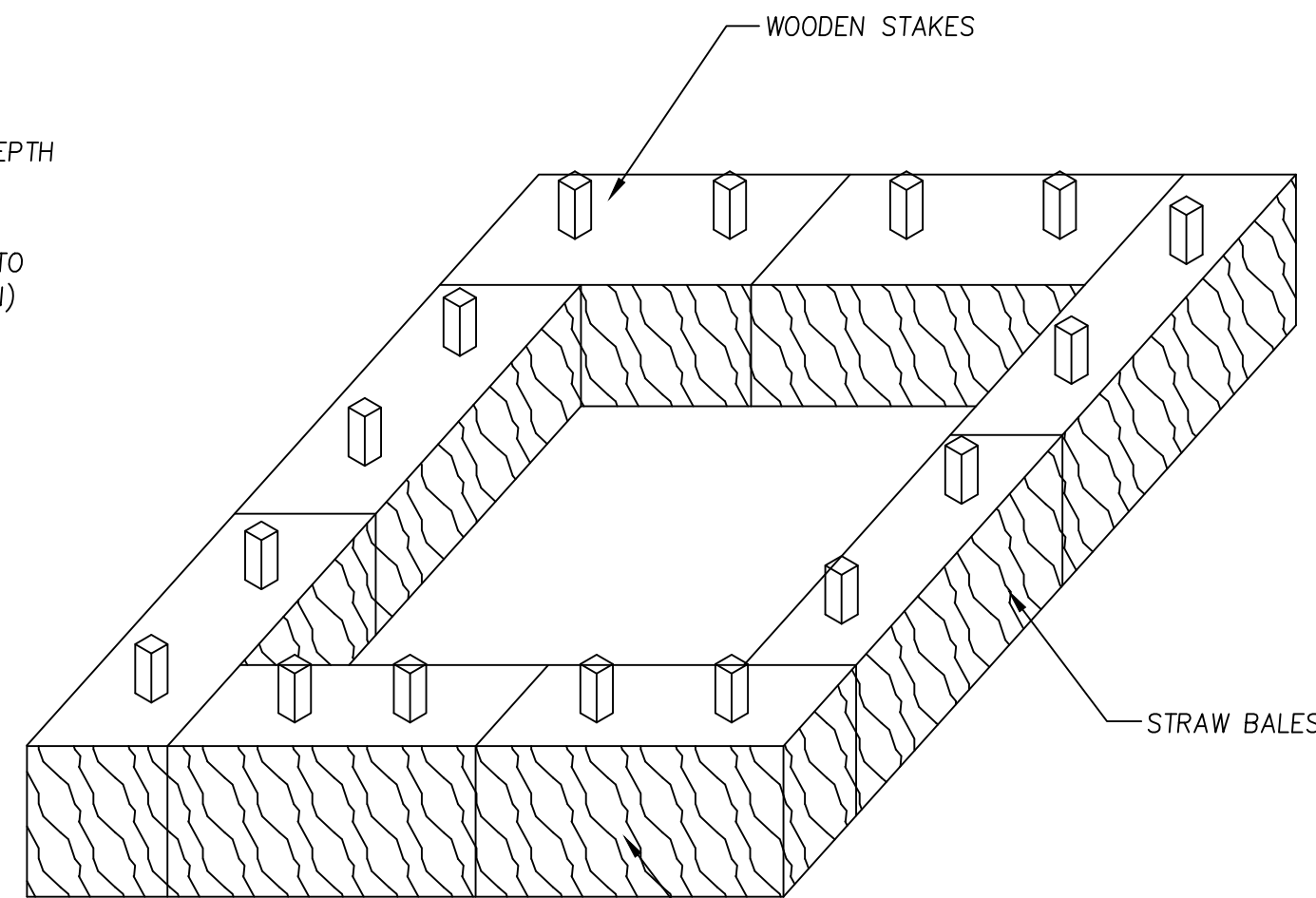


TEST PIT #21-4



RAIN GARDEN DETAIL

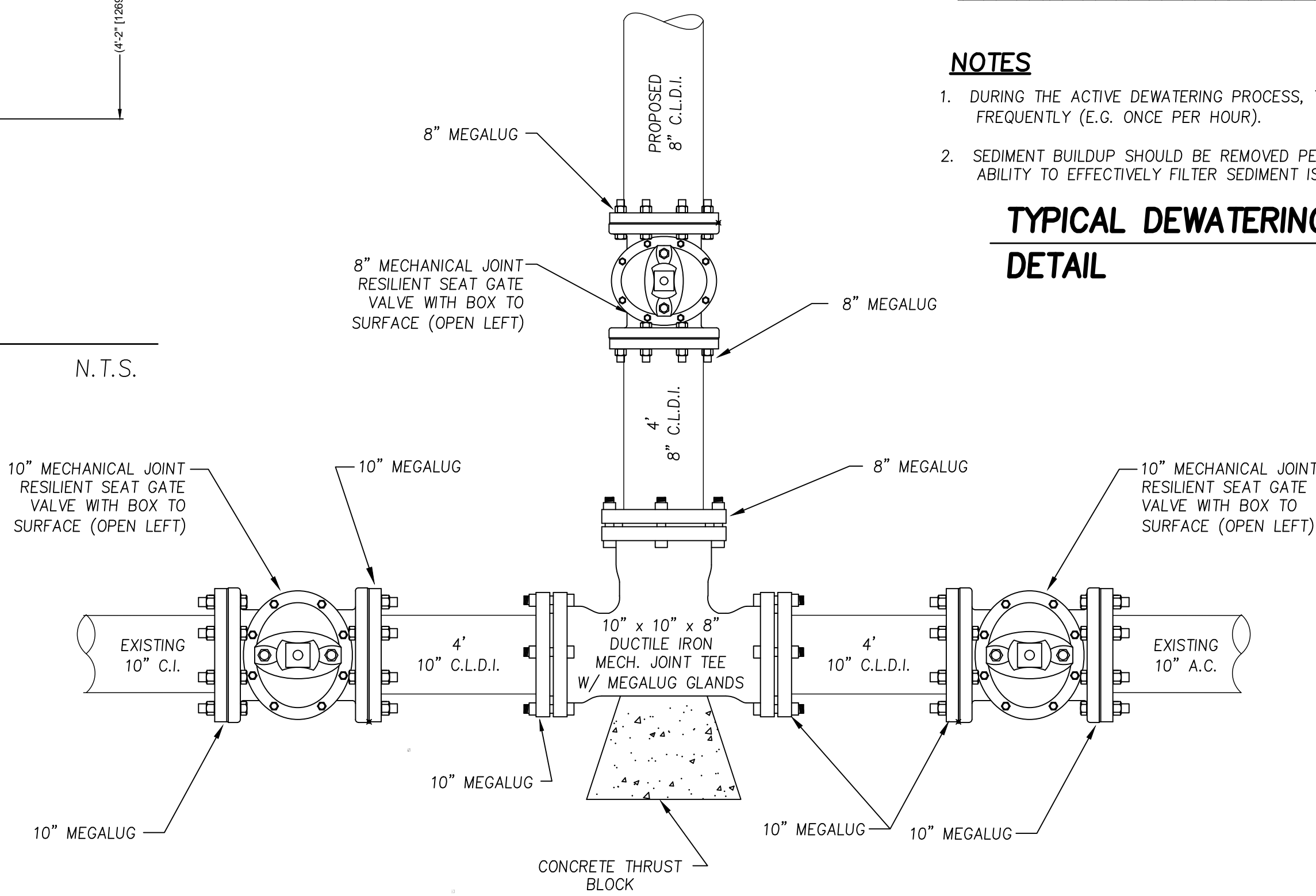
N.T.S.



- NOTES**
- DURING THE ACTIVE DEWATERING PROCESS, THE STRUCTURE SHALL BE INSPECTED FREQUENTLY (E.G. ONCE PER HOUR).
 - SEDIMENT BUILDUP SHOULD BE REMOVED PERIODICALLY TO ENSURE THAT THE STRUCTURE'S ABILITY TO EFFECTIVELY FILTER SEDIMENT IS MAINTAINED.

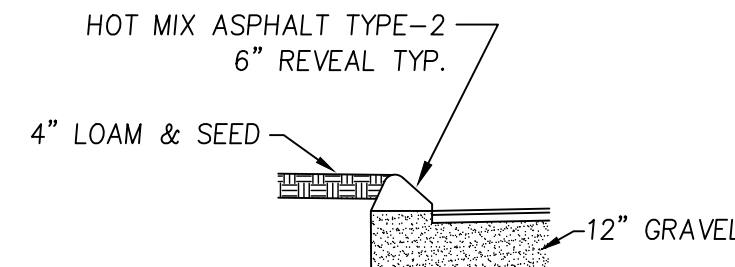
TYPICAL DEWATERING DETAIL

N.T.S.



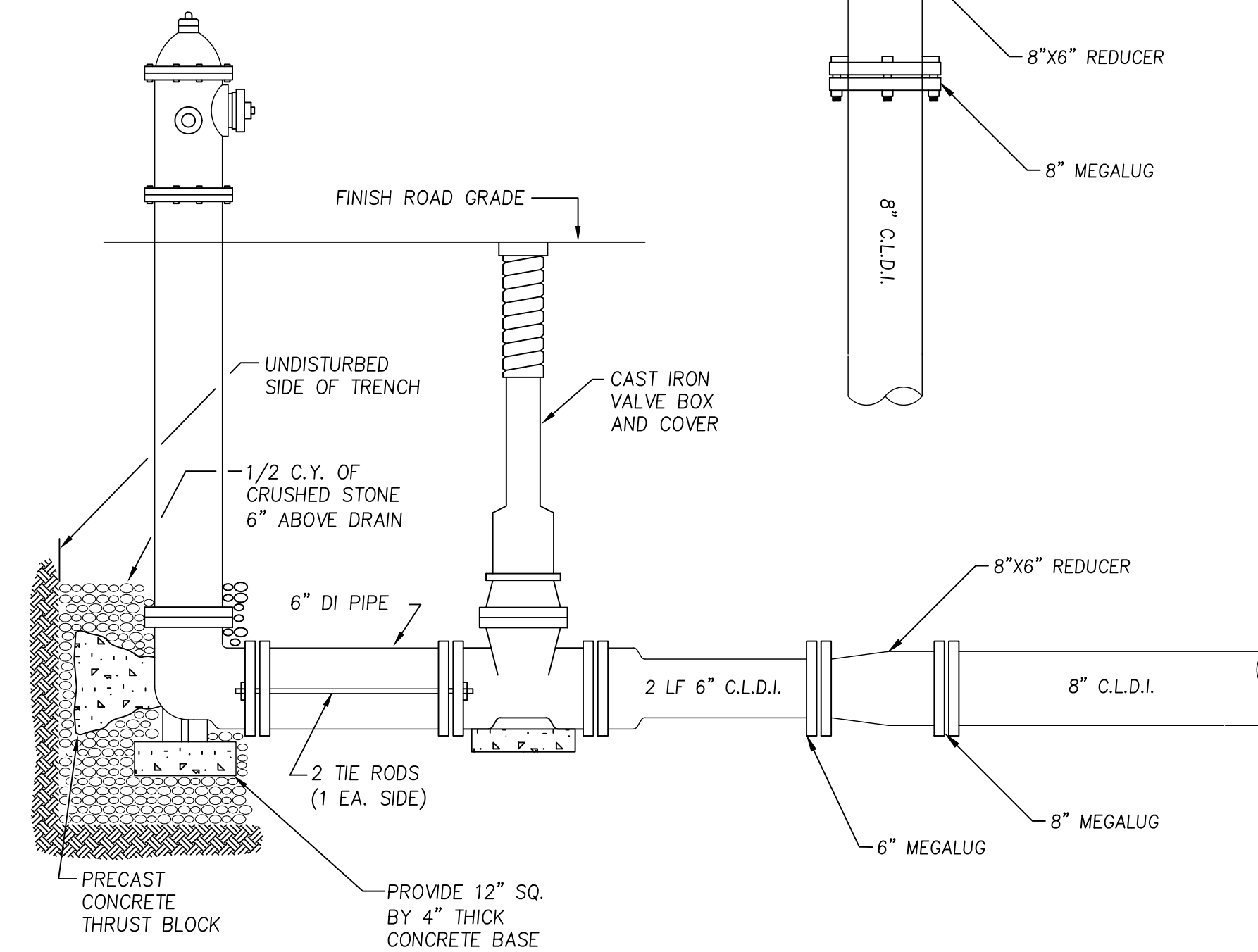
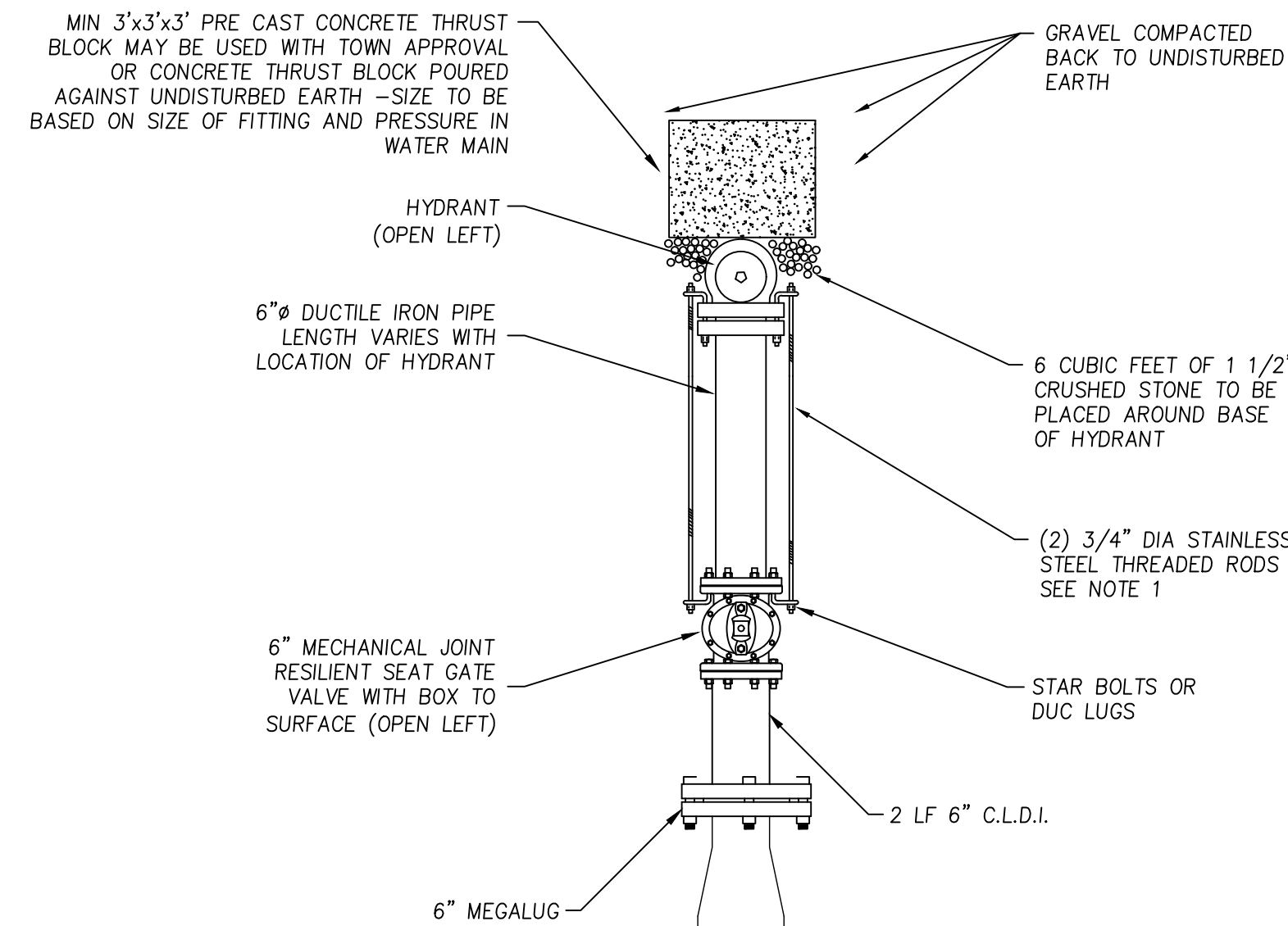
WATER MAIN CONNECTION DETAIL

N.T.S.



TYPICAL BIT. CONC. CURB INSTALLATION DETAIL

N.T.S.



3/4" S.S. RODS SHALL BE USED IN CONJUNCTION WITH REQUIRED S.S. NUTS. RODS ARE TO BE ATTACHED TO FITTINGS AND VALVES WITH EITHER STAR BOLTS OR DUC LUGS.
10" FITTING OR SMALLER = (2) 3/4" S.S. RODS & ASSOC. HARDWARE. 12" FITTING OR LARGER = (4) 3/4" S.S. RODS & ASSOC. HARDWARE.

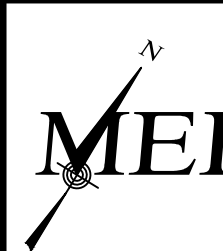
TYPICAL FIRE HYDRANT INSTALLATION

N.T.S.



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**FLEXIBLE RESIDENTIAL
DEVELOPMENT**
IN
SALISBURY, MA

AT
46 BEACH ROAD & 2 GRAVEL WAY

**CONSTRUCTION
DETAILS**

SHEET: 10 OF 10