

LOCUS MAP

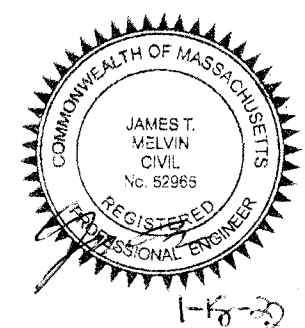
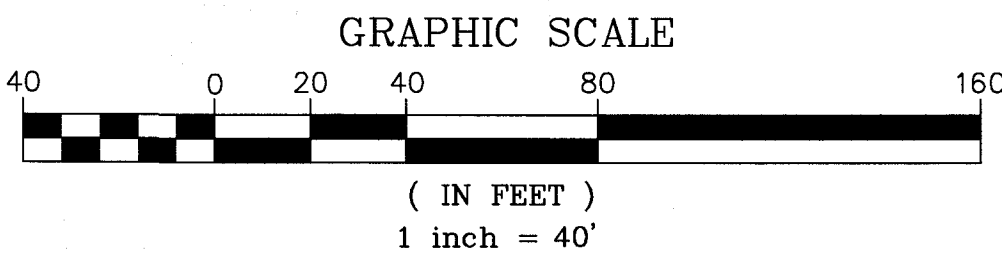
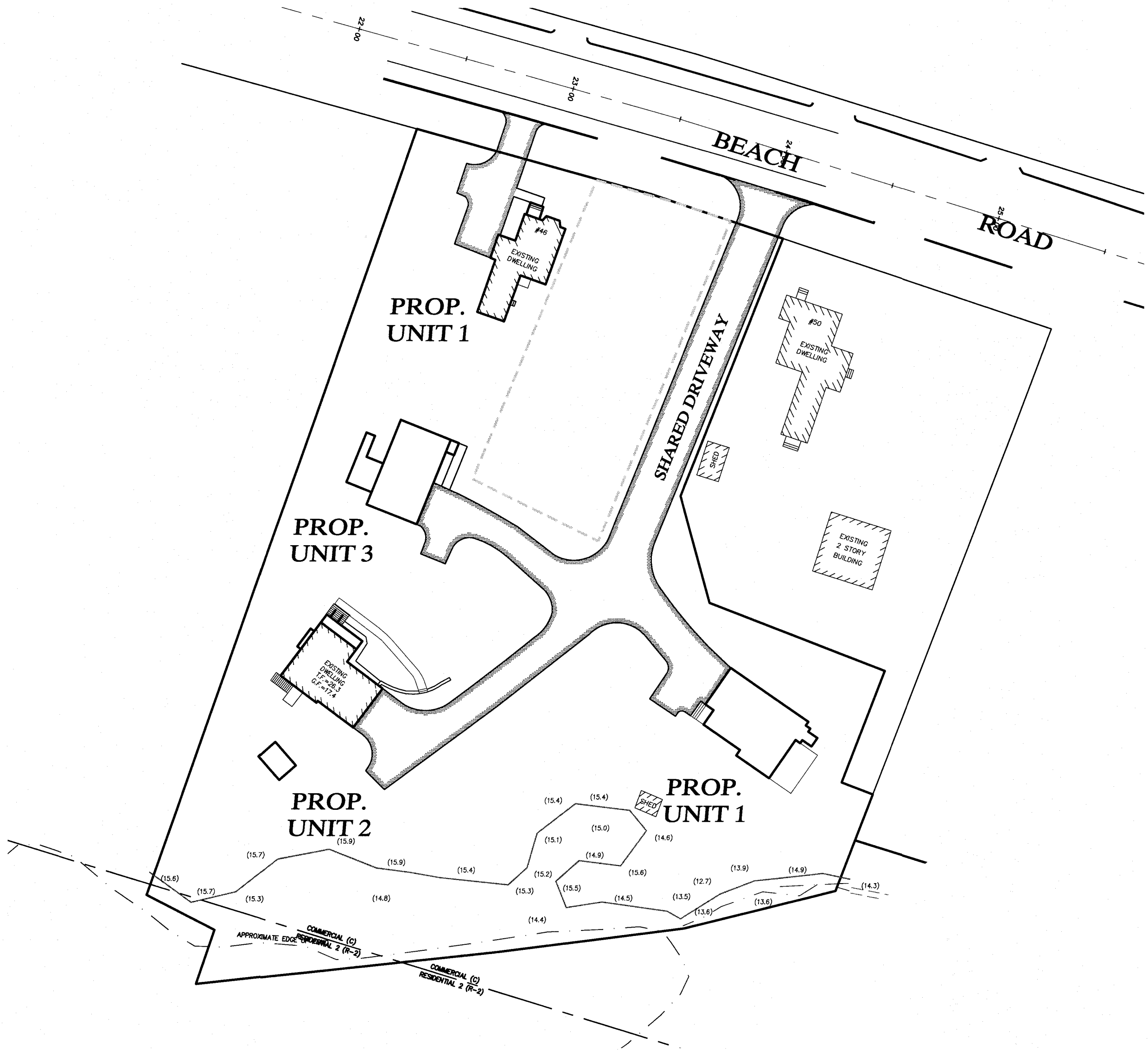
FLEXIBLE RESIDENTIAL DEVELOPMENT IN SALISBURY, MA NOVEMBER 2021

SALISBURY PLANNING BOARD

DATE

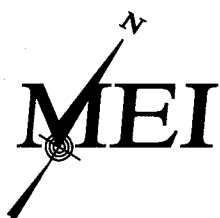
PLAN INDEX

SHEET NO.	TITLE
1	COVER SHEET
2	LEGEND
3	EXISTING CONDITIONS
4	CONVENTIONAL YIELD PLAN
5	SITE PLAN
6	GRADING PLAN
7	UTILITIES PLAN
8	EROSION AND SEDIMENTATION CONTROL PLAN
9-10	CONSTRUCTION DETAILS
L1-L3	LANDSCAPE PLAN



PREPARED FOR
DOWNEAST BUILDING & DEVELOPMENT
18 MAPLE LANE
NORTHBOROUGH, MA 01532

NO.	DATE	DESCRIPTION	BY
2	1/18/22	RESPONSE TO PEER REVIEW	J.T.M.
1	12/15/21	RESPONSE TO PEER REVIEW	J.T.M.



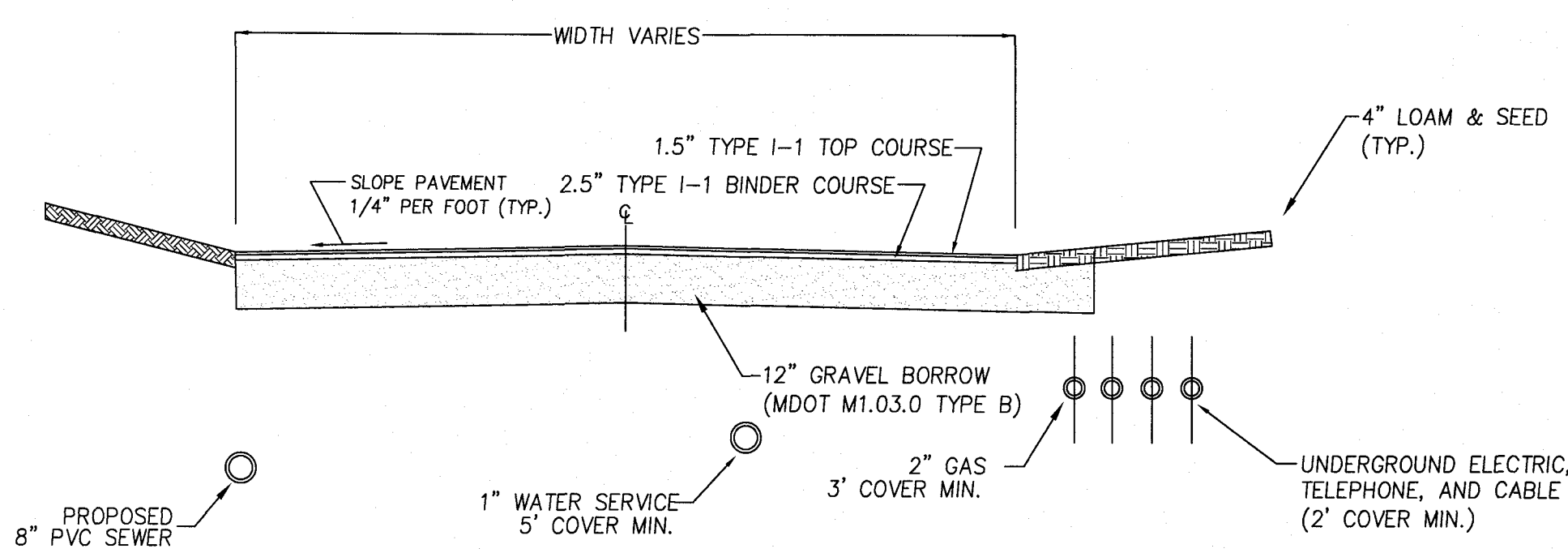
MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=40'	CALC. BY: J.T.M.	PROJECT: M213965
DATE: NOV. 5, 2021	CHKD. BY: E.W.B.	

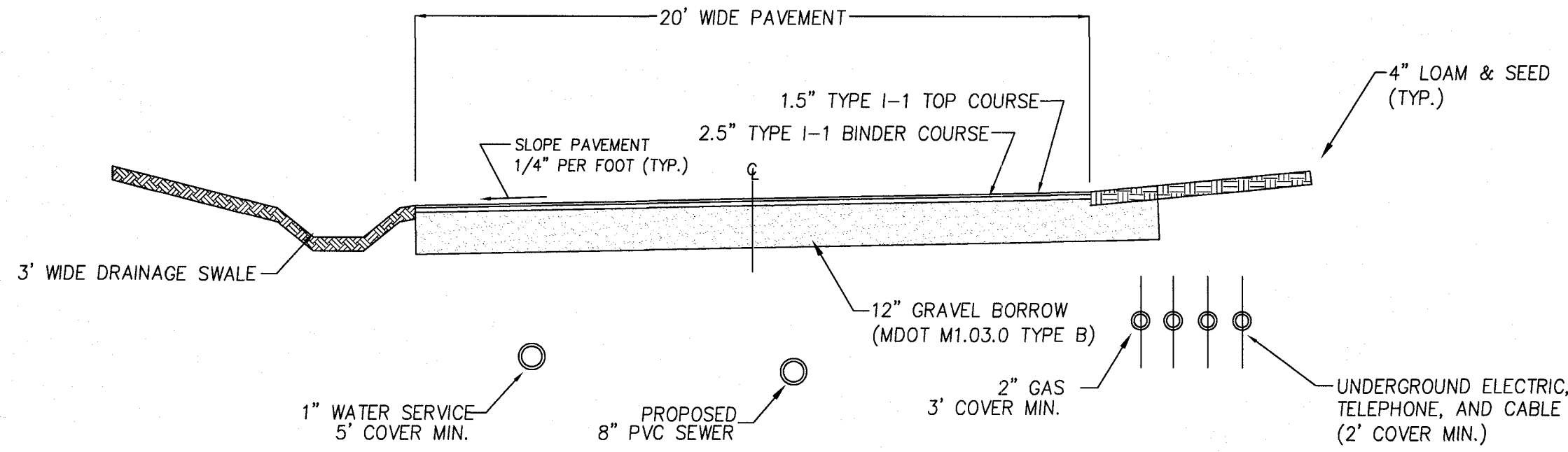
**FLEXIBLE RESIDENTIAL
DEVELOPMENT
IN
SALISBURY, MA**

AT
46 BEACH ROAD & 2 GRAVEL WAY

**COVER
SHEET**



SECONDARY DRIVEWAY
CROSS-SECTION
N.T.S.



PRIMARY SHARED DRIVEWAY
CROSS-SECTION
N.T.S.

SALISBURY PLANNING BOARD

DATE

LEGEND

EXISTING	PROPOSED	
		CATCH BASIN (OR GUTTER INLET, OR LEACHING BASIN)
		CATCH BASIN (OR GUTTER INLET) WITH CURB INLET
		CURB (OR BERM) - TYPE NOTED
		EDGE OF ROAD
		CONTOUR
		SEWER MANHOLE
		DRAINAGE MANHOLE
		GAS GATE
		WATER GATE
		SEPTIC TANK
		HYDRANT
		FIRE ALARM BOX
		POST MOUNTED PEDESTRIAN LIGHT
		UTILITY POLE
		DRAIN PIPE
		SEWER MAIN
		SEWER FORCE MAIN
		UNDERGROUND ELECTRIC
		WATER MAIN
		MAIL BOX
		HIGHWAY GUARD (TYPE NOTED)
		FENCE (SIZE AND TYPE NOTED)
		EASEMENT LINE
		PROPERTY LINE
		100 FT BUFFER ZONE

	BASE OR SURVEY LINE
	CONSTRUCTION BASELINE
	WHEELCHAIR RAMP (WCR)
	CONCRETE SIDEWALK
	HAND CORE
	SILT SOCK
	SILT FENCE
	WETLAND

SURVEY

	WETLAND DELINEATION FLAG
	CONCRETE BOUND
	STONE BOUND
	DRILL HOLE
	MASONRY NAIL
	IRON PIPE
	IRON ROD
	FOUND
	NOT FOUND

	ASSESSORS MAP AND PARCEL
--	--------------------------

- THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS. ANY PROPOSED REVISIONS TO THE WORK SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND REGULATING CITY AND/OR STATE AGENCIES.
- THE CONTRACTOR SHALL INSTALL ALL SYSTEM COMPONENTS IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND ALL APPLICABLE ELECTRICAL, PLUMBING, AND SANITARY CODES.
- ALL WORK SHALL CONFORM TO: THE SALISBURY PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, THE WETLANDS PROTECTION ACT (310 CMR 10.00), THE ORDER OF CONDITIONS ISSUED BY THE SALISBURY CONSERVATION COMMISSION, AND THESE PLANS.
- THE LOCATION OF ALL UTILITIES, AS SHOWN ON THESE PLANS, ARE BASED UPON PLANS AND RECORD INFORMATION PROVIDED BY MUNICIPAL AND PRIVATE UTILITY COMPANIES AND ARE CONSIDERED APPROXIMATE BOTH AS TO SIZE AND LOCATION. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UTILITIES ARE SHOWN. THE CONTRACTOR SHALL NOT RELY ON THESE PLANS FOR SUCH INFORMATION AND WILL MAKE EXAMINATIONS IN THE FIELD BY VARIOUS AVAILABLE RECORDS, UTILITY COMPANIES AND INDIVIDUALS, AS TO THE LOCATION OF ALL SUBSURFACE STRUCTURES.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES BY CONTACTING "DIG-SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION. DIG-SAFE TELEPHONE NUMBER: 1-888-344-7233.
- THE CONTRACTOR SHALL FIELD CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE NEW WORK. HE/SHE SHALL EXCAVATE TO VERIFY PERTINENT DRAINAGE INVERTS AND POTENTIAL UTILITY CONFLICTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
- ALL EXISTING STRUCTURES AND SURFACES, UNLESS OTHERWISE SHOWN, SHALL BE COMPLETELY REMOVED FROM THE AREAS OF WORK. ALL TREES SCHEDULED FOR REMOVAL SHALL BE FIELD MARKED AND APPROVED FOR REMOVAL BY THE OWNER AND TOWN PRIOR TO CUTTING OPERATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF THE PUBLIC, EMPLOYEES, AND ALL OTHER PERSONS ASSOCIATED WITH THE PROJECT. HE/SHE SHALL COORDINATE AND BE RESPONSIBLE FOR ALL SAFETY SIGNING, BARRIERS AND TEMPORARY PAVEMENT MARKINGS NECESSARY TO PROVIDE A SMOOTH AND PROPER TRANSITION FOR TRAFFIC FLOW.
- IF REQUIRED BY THE CONTRACTOR, OVERHEAD LINES SHALL BE RELOCATED BY THE UTILITY COMPANY AT THE CONTRACTORS EXPENSE.

GENERAL NOTES

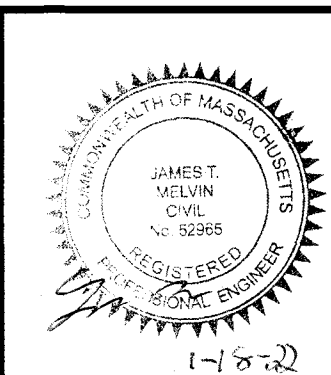
- ALL SEWER MAINS AND SERVICES SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY OR 18 INCHES VERTICALLY FROM PROPOSED WATER MAINS AND SERVICES AND SHALL MAINTAIN 5 FEET OF COVER OVER THE TOP OF THE PIPING, UNLESS OTHERWISE SHOWN OR APPROVED. PIPES SHALL BE ENCASED IN CONCRETE WHERE THIS SEPARATION CANNOT BE OBTAINED.
- ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 5 FEET OF COVER OVER THE TOP OF THE PIPE, UNLESS OTHERWISE SHOWN OR APPROVED.
- WHENEVER SEWER MAINS MUST CROSS WATER MAINS, THE SEWER SHALL BE CONSTRUCTED AS FOLLOWS: A) JOINTS SHALL BE MECHANICAL TYPE WATER PRESSURE RATED WITH ZERO LEAKAGE WHEN TESTED AT 25 PSI FOR GRAVITY SEWERS AND 1.5 TIMES WORKING PRESSURE FOR FORCE MAINS AND JOINTS NOT TO BE LOCATED WITHIN 9 FEET OF THE CROSSING; B) SEWER SERVICES SHOULD BE INSTALLED A MINIMUM OF 18 INCHES BELOW WATER MAINS. IF SEPARATION IS LESS THAN 18 INCHES, SEWER SERVICE SHALL BE CONCRETE ENCASED OR CONSTRUCTED WITH PRESSURE CLASS PVC FOR A DISTANCE OF 10 FEET EACH SIDE OF THE WATER MAIN. 10-FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE SHALL BE MAINTAINED.
- INDIVIDUAL BUILDING OWNERS ARE RESPONSIBLE FOR MAINTENANCE OF THEIR SEWER SERVICE FROM THE BUILDING TO THE CONNECTION TO THE SEWER MAIN.
- ALL STREET, WARNING, AND REGULATORY SIGNS SHALL BE IN CONFORMANCE WITH THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND STANDARD SPECIFICATIONS AND LATEST ADDENDA.
- 14 DAYS PRIOR TO COMMENCING CONSTRUCTION, THE OWNER/DEVELOPER SHALL PRESENT A CONSTRUCTION SCHEDULE TO THE PLANNING DEPARTMENT.
- THE OWNER/DEVELOPER SHALL SUBMIT TWO HARD COPIES OF AS-BUILT DRAWINGS TO THE PLANNING BOARD WITHIN 90 DAYS OF ISSUANCE OF OCCUPANCY PERMIT. AS-BUILTS SHALL INCLUDE ALL LANDBASE AND UTILITIES INFORMATION.
- ONSITE BURIAL OF STUMPS OR ANY OTHER DEBRIS IS PROHIBITED.
- THE PROPERTY DOES NOT LIE WITHIN THE 100-YEAR FLOOD PLAIN ACCORDING TO F.I.R.M. COMMUNITY PANEL NUMBER 25009C 0126F.
- ALL ELEVATIONS ARE BASED ON N.A.V.D. 1988.

CONSTRUCTION SEQUENCE

- INSTALL EROSION CONTROL AT LIMIT OF WORK & STAKE OUT STORMWATER AREAS
- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AS DEPICTED.
- CLEAR AND GRUB DEBRIS TO LIMIT OF WORK AND DISPOSE OF PROPERLY.
- STRIP, SCREEN AND STOCKPILE TOPSOIL. TOPSOIL CAN BE TEMPORARILY STOCKPILED ON SITE PROVIDING THAT THE PERIMETER OF THE STOCKPILES ARE PROPERLY STAKED WITH SILT FENCE AT THE TOE OF SLOPE.
- ROUGH GRADE BIO-RETENTION AREA.
- GRADE PAVEMENT TO TOP OF SUBGRADE ELEVATIONS. ALL ROADWAYS MUST BE STABILIZED IMMEDIATELY AFTER GRADING.
- BEGIN BUILDING CONSTRUCTION.
- INSTALL UTILITIES/DRAINAGE STRUCTURES.
- PLACE RIPRAP WHERE SHOWN ON PLANS. LOAM AND HYDROSEED SIDESLOPES AND ALL DISTURBED AREAS WITHIN 72 HOURS.
- ADD PLANTINGS TO BIORETENTION AREA.
- SPREAD, SHAPE, AND COMPACT PAVEMENT SUBBASE AS PER TYPICAL PAVEMENT SECTION TO ATTAIN FINAL DESIGN ELEVATIONS.
- PERFORM BINDER COURSE PAVING.
- LOAM AND HYDROSEED ANY DISTURBED SURFACES ALONG EDGES OF PAVEMENT AS REQUIRED.
- PERFORM FINAL PAVING (TOP COURSE).
- REMOVE EROSION CONTROL.

SHARED DRIVEWAY NOTES

- ALL STUMPS, ROCKS AND LEDGE WITHIN THE LIMITS OF THE PROPOSED PAVED WAY SHALL BE REMOVED. ALL LEDGE SHALL BE REMOVED TO A MINIMUM DEPTH OF 2' BELOW FINISHED PAVEMENT GRADE.
- DRIVEWAY SHALL NOT BE CONSTRUCTED DURING FREEZING WEATHER OR ON WET OR FROZEN SUBGRADE.
- GRADING AND ROLLING SHALL BE REQUIRED TO PROVIDE A SMOOTH, EVEN, AND UNIFORM COMPACTED BASE WHICH IS COMPACTED TO A MINIMUM DRY DENSITY OF 95 PERCENT.
- THE MINIMUM SLOPE FROM THE CROWN OF FINISHED BASE COURSE SHALL BE 1/4"PER FOOT UNLESS OTHERWISE SHOWN.
- ALL UNSUITABLE MATERIAL SHALL BE EXCAVATED AND REPLACED WITH SATISFACTORY MATERIAL AND BROUGHT UP TO GRADE WITH GRAVEL BORROW CONTAINING NO STONES GREATER THAN 6" DIAMETER.
- AT ALL TIMES DURING CONSTRUCTION, THE SUB-GRADE AND ALL DITCHES SHALL BE CONSTRUCTED AND MAINTAINED SO THAT THE ROADWAY WILL EFFECTIVELY BE DRAINED.
- THE CONTRACTOR SHALL REFER TO THE SALISBURY PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, SECTIONS I - VII.



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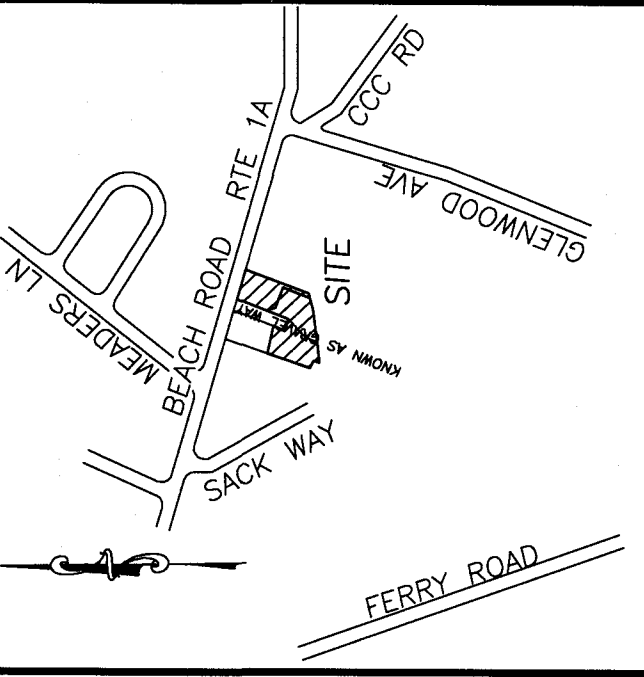
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NOT TO SCALE	CALC. BY: J.T.M.
DATE: NOV. 5, 2021	CHKD. BY: E.W.B.
PROJECT: M213965	

**FLEXIBLE RESIDENTIAL
DEVELOPMENT**
IN
SALISBURY, MA

AT
46 BEACH ROAD & 2 GRAVEL WAY

**TYPICAL
SECTIONS
&
GENERAL
NOTES**

SHEET: 2 OF 10



UTILITY INFORMATION STATEMENT

1. THE SUB-SURFACE UTILITY INFORMATION SHOWN HEREON IS COMPILED BASED ON FIELD SURVEY INFORMATION, RECORD INFORMATION AS SUPPLIED BY THE APPROPRIATE UTILITY COMPANIES, AND PLAN INFORMATION SUPPLIED BY THE CLIENT, IF ANY; THEREFORE WE CANNOT GUARANTEE THE ACCURACY OF SAID COMPILED SUB-SURFACE INFORMATION TO ANY CERTAIN DEGREE OF STATED TOLERANCE. ONLY PHYSICALLY LOCATED SUB-SURFACE UTILITY FEATURES FALL WITHIN NORMAL STANDARD OF CARE ASSURANCES.

WETLAND NOTE

WETLAND DELINEATED BY:
WEST ENVIRONMENTAL, INC.
48 STEVENS HILL ROAD
NOTTINGHAM, NH 03290
(603) 734-4298

PLANNING BOARD APPROVAL UNDER THE
SUBDIVISION CONTROL LAW NOT REQUIRED

LOCUS MAP

BASIS OF BEARINGS

MSPCS – NAD 83

OWNERS OF RECORD






















- 2 GRAVEL WAY LLC
2 GRAVEL WAY
BK. 38741 PG. 395
- 46 BEACH ROAD LLC
BK. 38747 PG. 538

PLAN REFERENCES

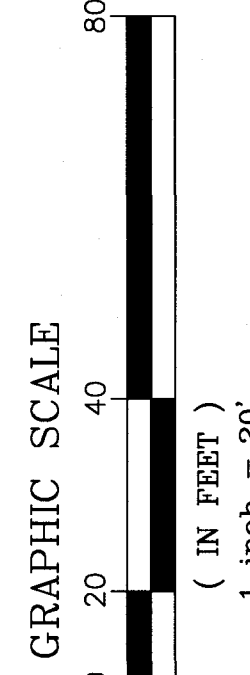
1913 STATE HIGHWAY LAYOUT - BEACH ROAD
PLAN BK. 306 PLAN 39
PLAN BK. 357 PLAN 2
PLAN BK. 419 PLAN 73



LEGEND

- ☐ M.H.B. MASSACHUSETTS HIGHWAY BOUND ☐ CB
 TREE LINE  DECIDUOUS TREE ☐ ELECTRIC METER
☐ BIT.  BITUMINOUS ☐ EXISTING ELEVATION CONTOUR
☒ I.P.  IRON PIPE  GAS VALVE
☒ I ROD  IRON PIPE  WATER SHUT OFF
FND.  FOUND, FORMERLY  MAIL BOX
N/F  FORCE MAIN  UTILITY POLE
FW  WATER  SEWER MANHOLE
W  GAS  INVERT
S  OVERHEAD WIRE  SIGN
G   ASSESSORS MAP#
HW   PARCEL#

- 144
N/F
THE VILLAGE AT SAWYER FARM
CONDOMINIUM
BK. 26453 PG. 136

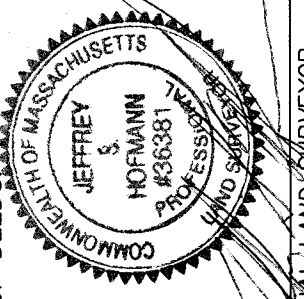


NOTES: THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST

THE CERTIFICATIONS SHOWN HEREON ARE NOT INTENDED AS CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN OF SALISBURY ASSESSORS RECORDS.

I CERTIFY: THAT THIS ACTUAL SURVEY WAS MADE ON THE GROUND BETWEEN JULY 11, 2019, AND DECEMBER 15, 2021, AND THAT THE STRUCTURES AND PHYSICAL FEATURES ARE LOCATED AS SHOWN TO THE BEST OF MY ABILITY AND BELIEF.

THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.



PROFESSIONAL LAND SURVEYOR DATE

PREPARED FOR

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13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

PROJECT: M213965

O.B.

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**FLEXIBLE RESIDENTIAL
DEVELOPMENT
IN
SALISBURY, MA**

AT
46 BEACH ROAD & 2 GRAVEL WAY

SHEET: 3 OF 10

BEACH ROAD

PROPOSED OPEN SPACE

PROP. UNIT 1

EUA

PROPOSED COMMON PARK AREA

PROPOSED 20' WIDE SHARED DRIVEWAY

PROP. UNIT 3

EUA

PRIMARY DRIVE

20.0'

SECONDARY DRIVE

100-FT WETLAND BUFFER ZONE

SECONDARY DRIVE

14.0'

SECONDARY DRIVE

PROPOSED BIT. CONC. DRIVE

PROP. UNIT 1

EUA

PROP. UNIT 2

EUA

50-FT WETLAND BUFFER ZONE PROP. SHED

PROPOSED BIT. CONC. DRIVE

PROP. UNIT 1

EUA

25-FT WETLAND BUFFER ZONE

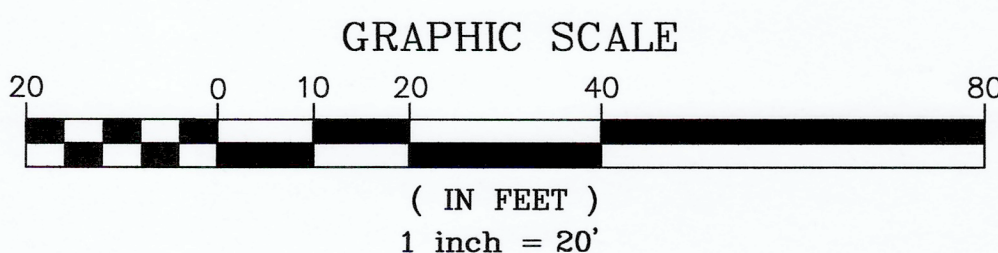
APPROXIMATE EDGE OF RESIDENTIAL 2 (R-2)

COMMERCIAL (C) RESIDENTIAL 2 (R-2)

EDGE OF BORDERING VEGETATED WETLAND

FRD CALCULATIONS

TRACT AREA: 79,665 S.F.
MIN. OPEN SPACE: 39,833 S.F.
OPEN SPACE PROVIDED: 55,954 S.F.
% OPEN SPACE: 70.2%
BASIC MAX. NUMBER: 3 UNITS
% DENSITY BONUS: 20%
TOTAL FRD UNITS: 4 UNITS



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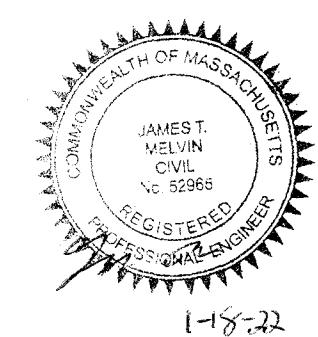
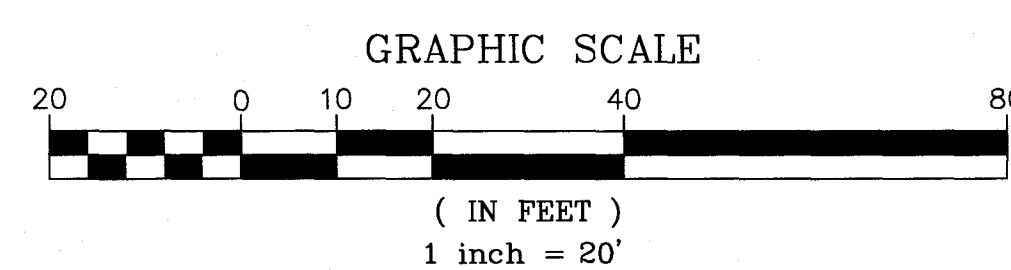
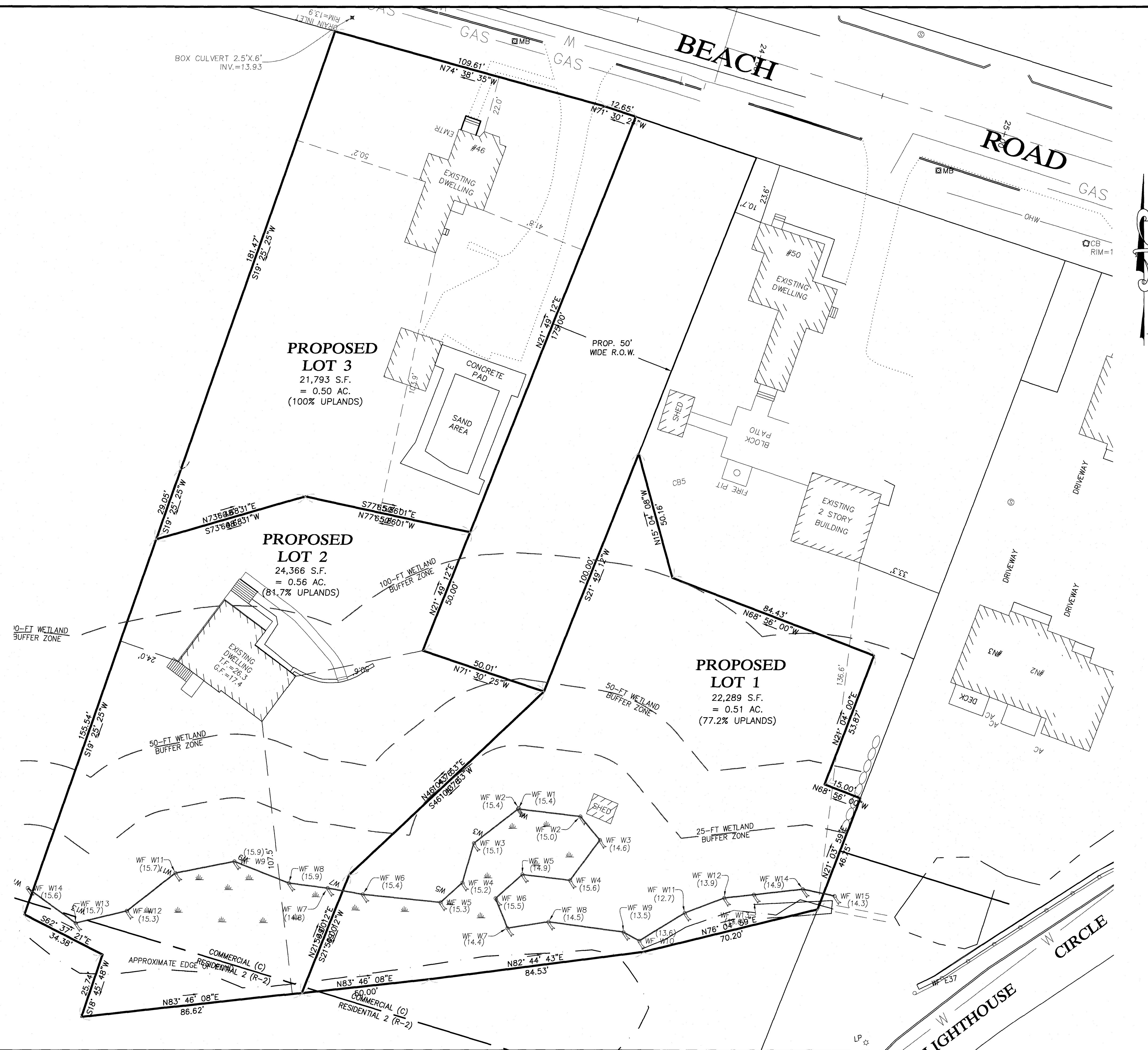
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IN
SALISBURY, MA

AT
46 BEACH ROAD & 2 GRAVEL WAY

SITE PLAN

LOT AREA:	1/2 ACRE
LOT FRONTAGE:	100 FEET
LOT WIDTH:	100 FEET
FRONT SETBACK:	50 FEET
SIDE SETBACK:	30 FEET
REAR SETBACK:	20 FEET
BLDG COVERAGE:	25%
BUILDING HEIGHT:	35 FEET



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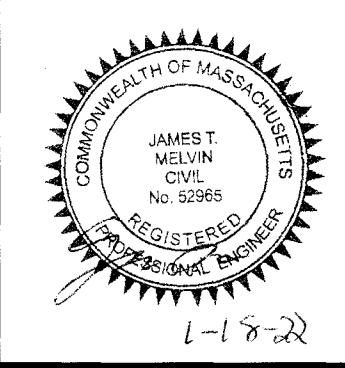
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FLEXIBLE RESIDENTIAL DEVELOPMENT IN SALISBURY, MA

46 BEACH ROAD ^{AT} & 2 GRAVEL WAY

CONVENTIONAL SUBDIVISION YIELD PLAN

SHEET: 4 OF 10



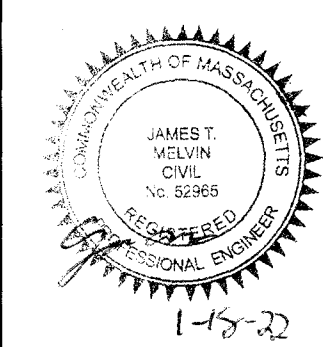
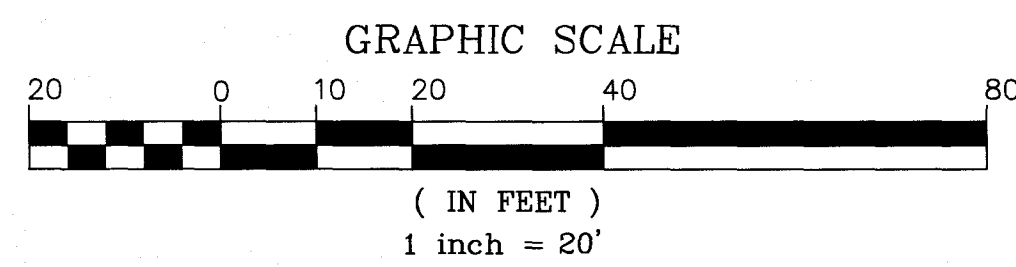
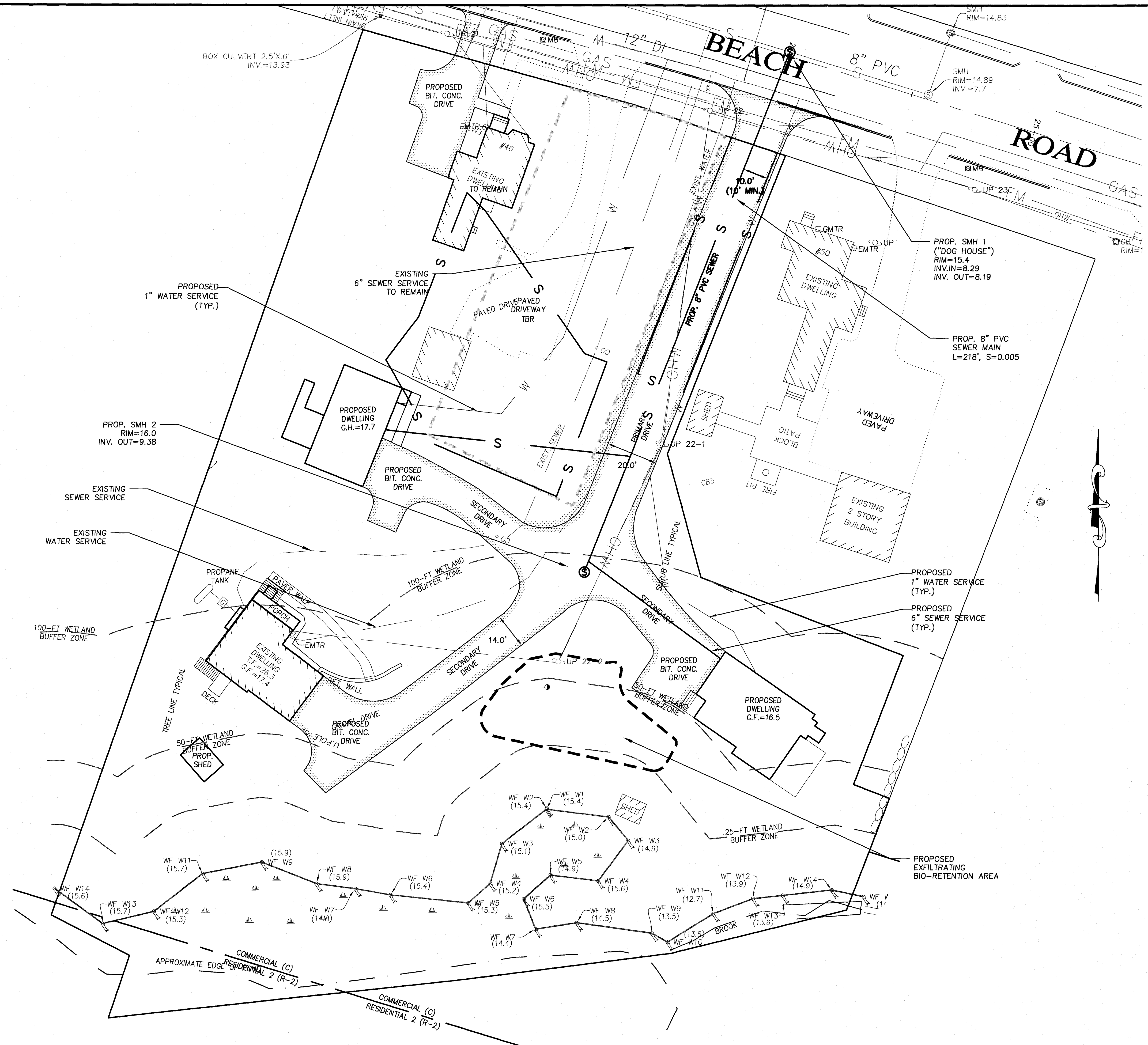
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**AT
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**GRADING
AND
DRAINAGE
PLAN**

SHEET: 6 OF 10



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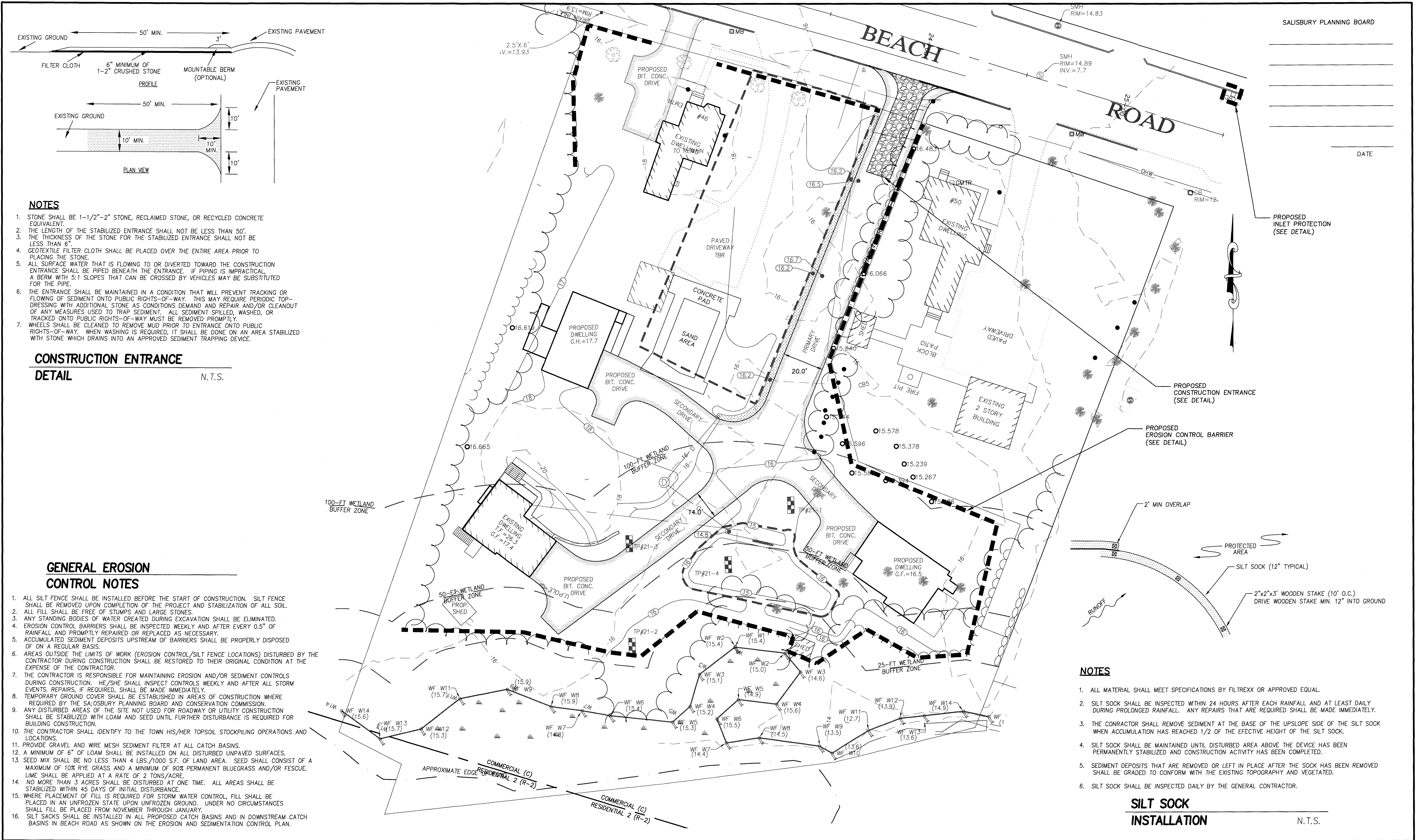


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AT
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NOTES

- 1. STONE SHALL BE 1-1/2"-2" STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- 2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50'.
- 3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6".
- 4. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
- 5. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- 6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP-DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED PROMPTLY.
- 7. WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

CONSTRUCTION ENTRANCE
DETAIL

N.T.S.

GENERAL EROSION
CONTROL NOTES

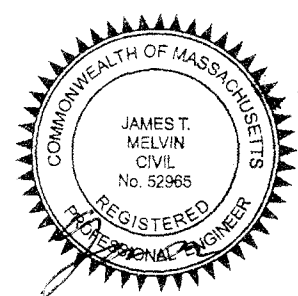
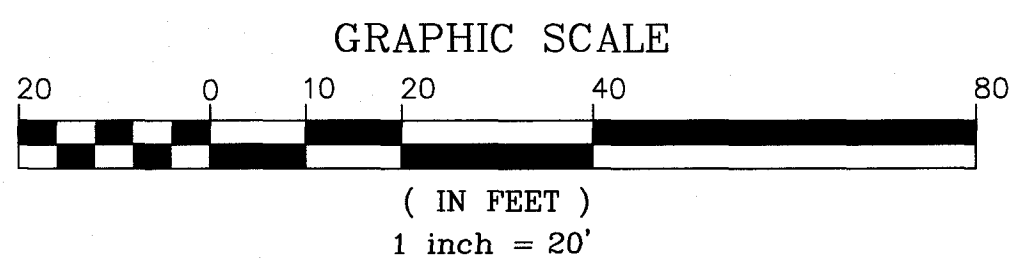
- 1. ALL SILT FENCE SHALL BE INSTALLED BEFORE THE START OF CONSTRUCTION. SILT FENCE SHALL BE REMOVED UPON COMPLETION OF THE PROJECT AND STABILIZATION OF ALL SOIL.
- 2. ALL FILL SHALL BE FREE OF STUMPS AND LARGE STONES.
- 3. ANY STANDING BODIES OF WATER CREATED DURING EXCAVATION SHALL BE ELIMINATED.
- 4. EROSION CONTROL BARRIERS SHALL BE INSPECTED WEEKLY AND AFTER EVERY 0.5" OF RAINFALL AND PROMPTLY REPAIRED OR REPLACED AS NECESSARY.
- 5. ACCUMULATED SEDIMENT DEPOSITS UPSTREAM OF BARRIERS SHALL BE PROPERLY DISPOSED OF ON A REGULAR BASIS.
- 6. AREAS OUTSIDE THE LIMITS OF WORK (EROSION CONTROL/SILT FENCE LOCATIONS) DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE EXPENSE OF THE CONTRACTOR.
- 7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EROSION AND/OR SEDIMENT CONTROLS DURING CONSTRUCTION. HE/SHE SHALL INSPECT CONTROLS WEEKLY AND AFTER ALL STORM EVENTS. REPAIRS, IF REQUIRED, SHALL BE MADE IMMEDIATELY.
- 8. TEMPORARY GROUND COVER SHALL BE ESTABLISHED IN AREAS OF CONSTRUCTION WHERE REQUIRED BY THE SALISBURY PLANNING BOARD AND CONSERVATION COMMISSION.
- 9. ANY DISTURBED AREAS OF THE SITE NOT USED FOR ROADWAY OR UTILITY CONSTRUCTION SHALL BE STABILIZED WITH LOAM AND SEED UNTIL FURTHER DISTURBANCE IS REQUIRED FOR BUILDING CONSTRUCTION.
- 10. THE CONTRACTOR SHALL IDENTIFY TO THE TOWN HIS/HER TOPSOIL STOCKPILING OPERATIONS AND LOCATIONS.
- 11. PROVIDE GRAVEL AND WIRE MESH SEDIMENT FILTER AT ALL CATCH BASINS.
- 12. A MINIMUM OF 6" OF LOAM SHALL BE INSTALLED ON ALL DISTURBED UNPAVED SURFACES.
- 13. SEED MIX SHALL BE NO LESS THAN 4 LBS./1000 S.F. OF LAND AREA. SEED SHALL CONSIST OF A MAXIMUM OF 10% RYE GRASS AND A MINIMUM OF 90% PERMANENT BLUEGRASS AND/OR FESCUE. LIME SHALL BE APPLIED AT A RATE OF 2 TONS/ACRE.
- 14. NO MORE THAN 3 ACRES SHALL BE DISTURBED AT ONE TIME. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- 15. WHERE PLACEMENT OF FILL IS REQUIRED FOR STORM WATER CONTROL, FILL SHALL BE PLACED IN AN UNFROZEN STATE UPON UNFROZEN GROUND. UNDER NO CIRCUMSTANCES SHALL FILL BE PLACED FROM NOVEMBER THROUGH JANUARY.
- 16. SILT SOCKS SHALL BE INSTALLED IN ALL PROPOSED CATCH BASINS AND IN DOWNSTREAM CATCH BASINS IN BEACH ROAD AS SHOWN ON THE EROSION AND SEDIMENTATION CONTROL PLAN.

NOTES

- 1. ALL MATERIAL SHALL MEET SPECIFICATIONS BY FILTREXX OR APPROVED EQUAL.
- 2. SILT SOCK SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- 3. THE CONTRACTOR SHALL REMOVE SEDIMENT AT THE BASE OF THE UPSLOPE SIDE OF THE SILT SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE SILT SOCK.
- 4. SILT SOCK SHALL BE MAINTAINED UNTIL DISTURBED AREA ABOVE THE DEVICE HAS BEEN PERMANENTLY STABILIZED AND CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
- 5. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE SOCK HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.
- 6. SILT SOCK SHALL BE INSPECTED DAILY BY THE GENERAL CONTRACTOR.

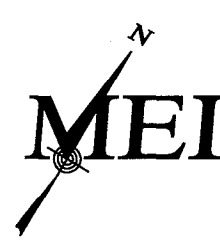
SILT SOCK
INSTALLATION

N.T.S.



PREPARED FOR
DOWNEAST BUILDING & DEVELOPMENT
18 MAPLE LANE
NORTHBOROUGH, MA 01532

NO.	DATE	DESCRIPTION	BY
2	1/18/22	RESPONSE TO PEER REVIEW	J.T.M.
1	12/15/21	RESPONSE TO PEER REVIEW	J.T.M.



MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

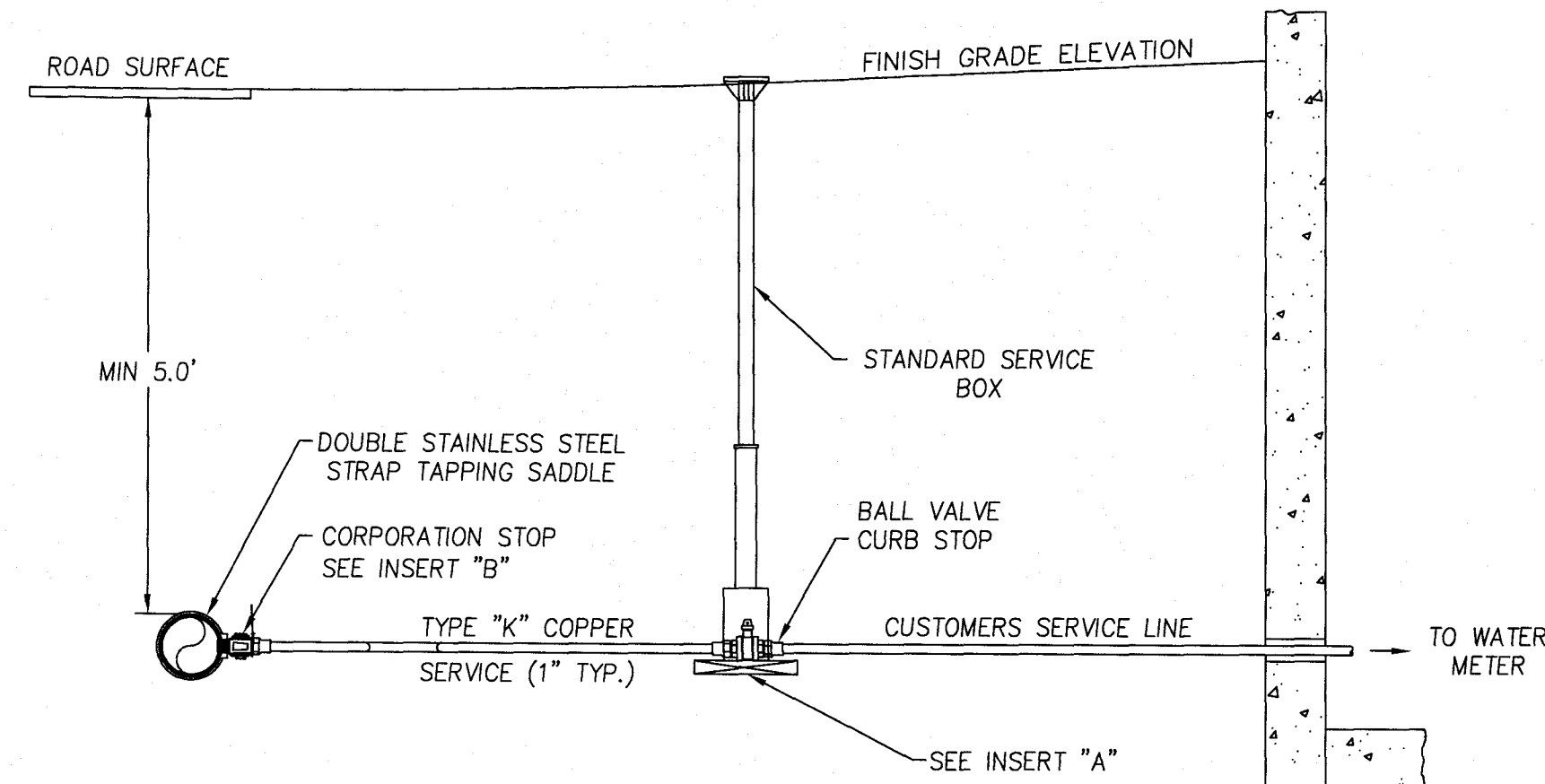
SCALE: 1"=20'	CALC. BY: J.T.M.	PROJECT: M213965
DATE: NOV. 5, 2021	CHKD. BY: E.W.B.	

**FLEXIBLE RESIDENTIAL
DEVELOPMENT**
IN
SALISBURY, MA

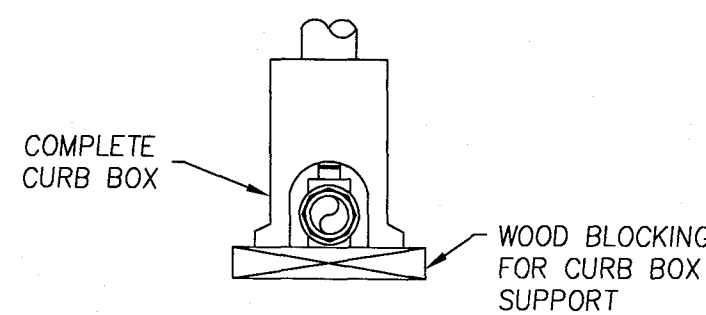
AT
46 BEACH ROAD & 2 GRAVEL WAY

**EROSION
AND
SEDIMENTATION
CONTROL
PLAN**

SHEET: 8 OF 10



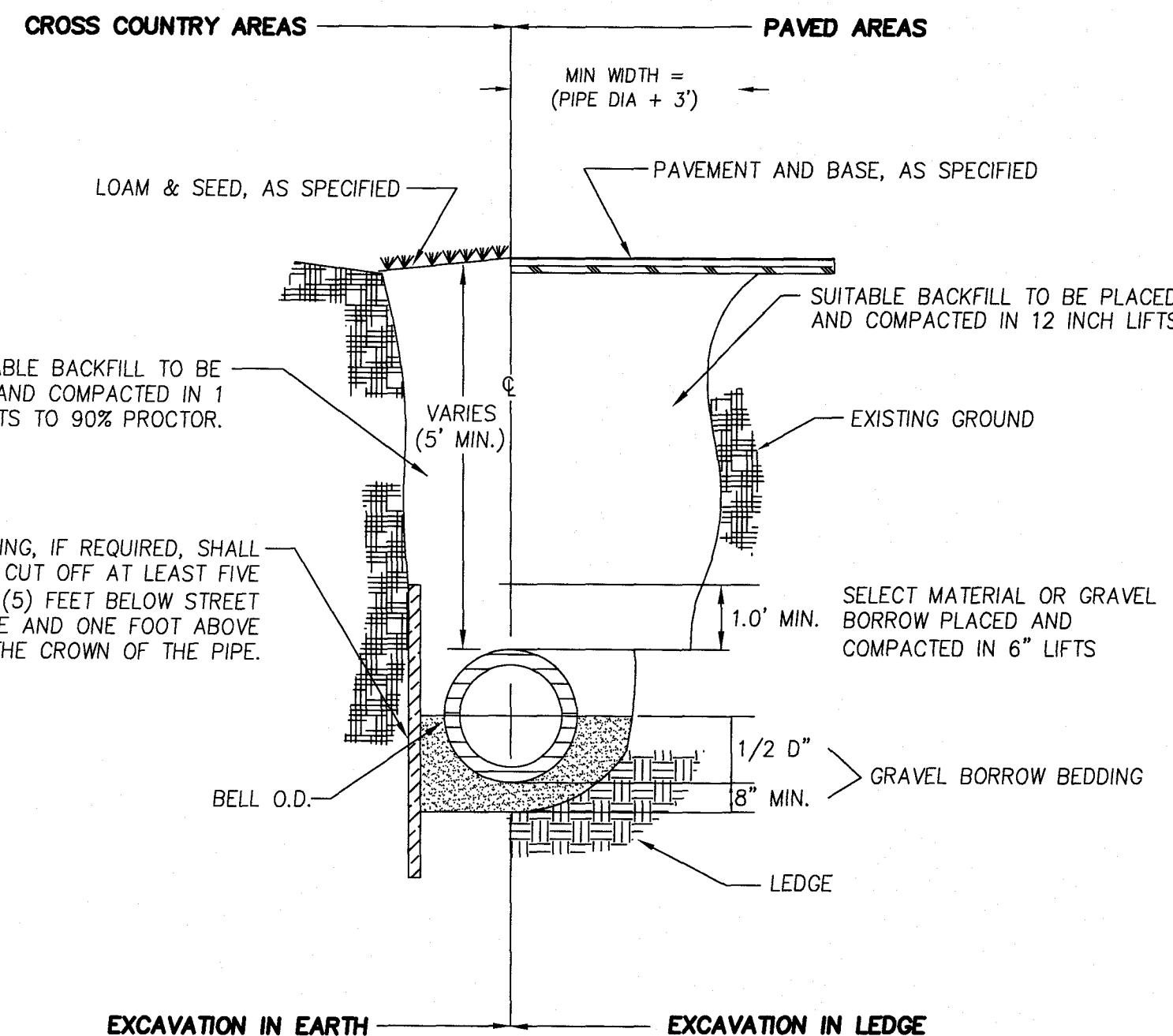
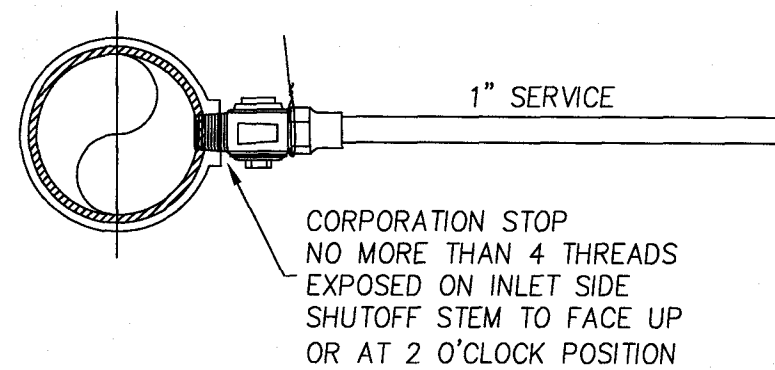
INSERT "A"



TYPICAL COPPER SERVICE CONNECTION

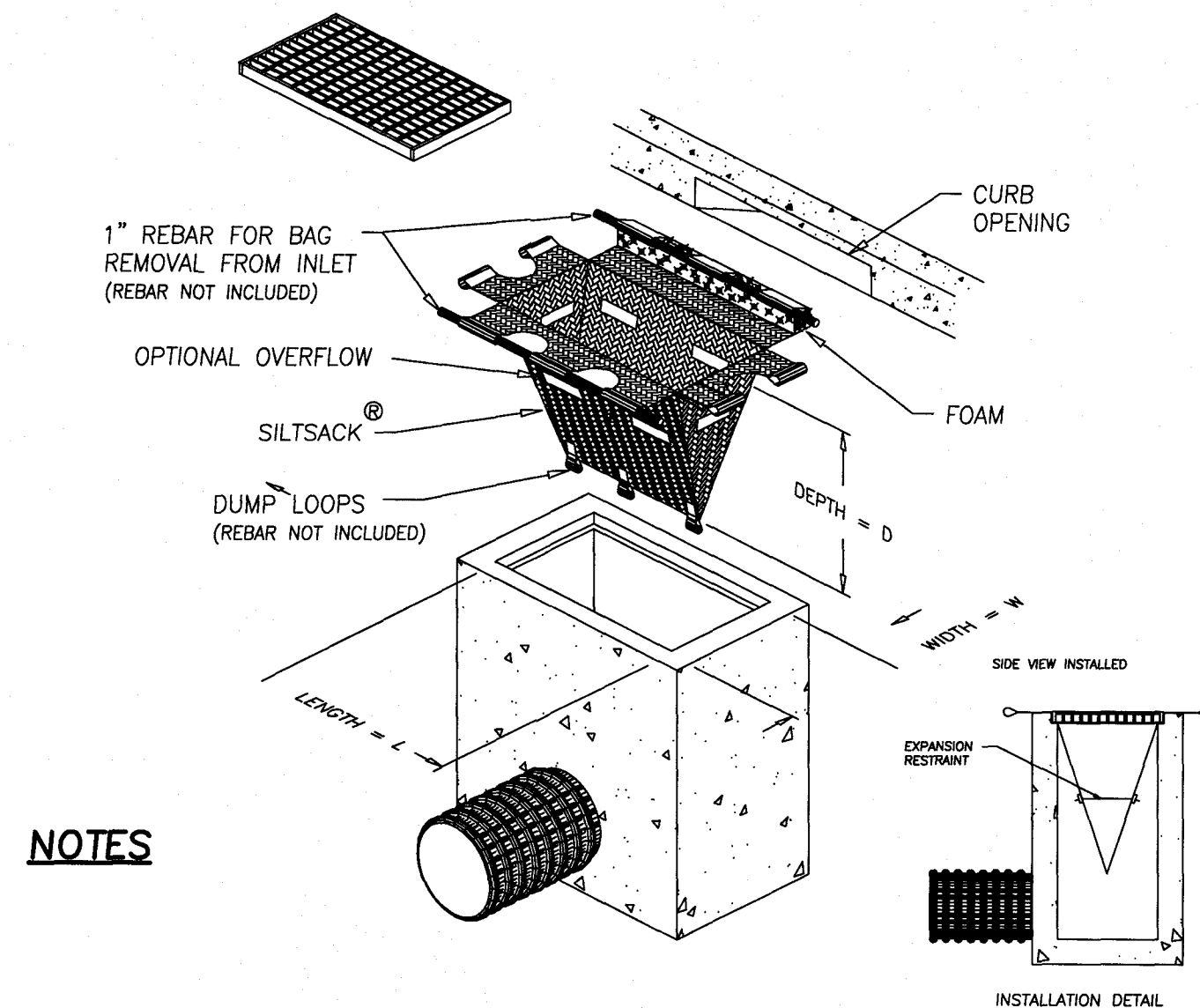
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INSERT "B"



TYPICAL TRENCH DETAIL

N.T.S.

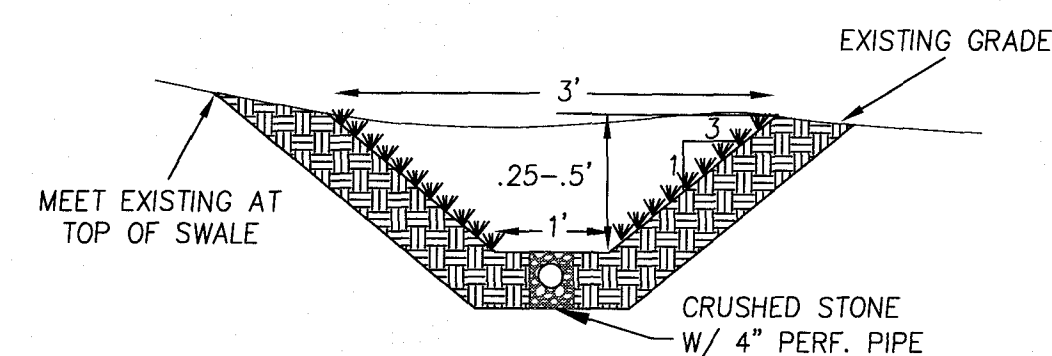


NOTES

1. TO INSTALL SILTSACK IN THE CATCH BASIN, REMOVE THE GRATE AND PLACE THE SACK IN THE OPENING. HOLD APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME. THIS IS THE AREA OF THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
2. WHEN THE RESTRAINT CORD IS NO LONGER VISIBLE, SILTSACK IS FULL AND SHOULD BE EMPTIED.
3. TO REMOVE SILTSACK, TAKE TWO PIECES OF 1" DIAMETER REBAR AND PLACE THROUGH THE LIFTING LOOPS ON EACH SIDE OF THE SACK TO FACILITATE THE LIFTING OF SILTSACK.
4. TO EMPTY SILTSACK, PLACE UNIT WHERE THE CONTENTS WILL BE COLLECTED. PLACE THE REBAR THROUGH THE LIFT STRAPS (CONNECTED TO THE BOTTOM OF THE SACK) AND LIFT. THIS WILL LIFT SILTSACK FROM THE BOTTOM AND EMPTY THE CONTENTS. CLEAN OUT AND RINSE. RETURN SILTSACK TO ITS ORIGINAL SHAPE AND PLACE BACK IN THE BASIN.
5. SILTSACK IS REUSABLE. ONCE THE CONSTRUCTION CYCLE IS COMPLETE, REMOVE SILTSACK FROM THE BASIN AND CLEAN. SILTSACK SHOULD BE STORED OUT OF SUNLIGHT UNTIL NEXT USE.

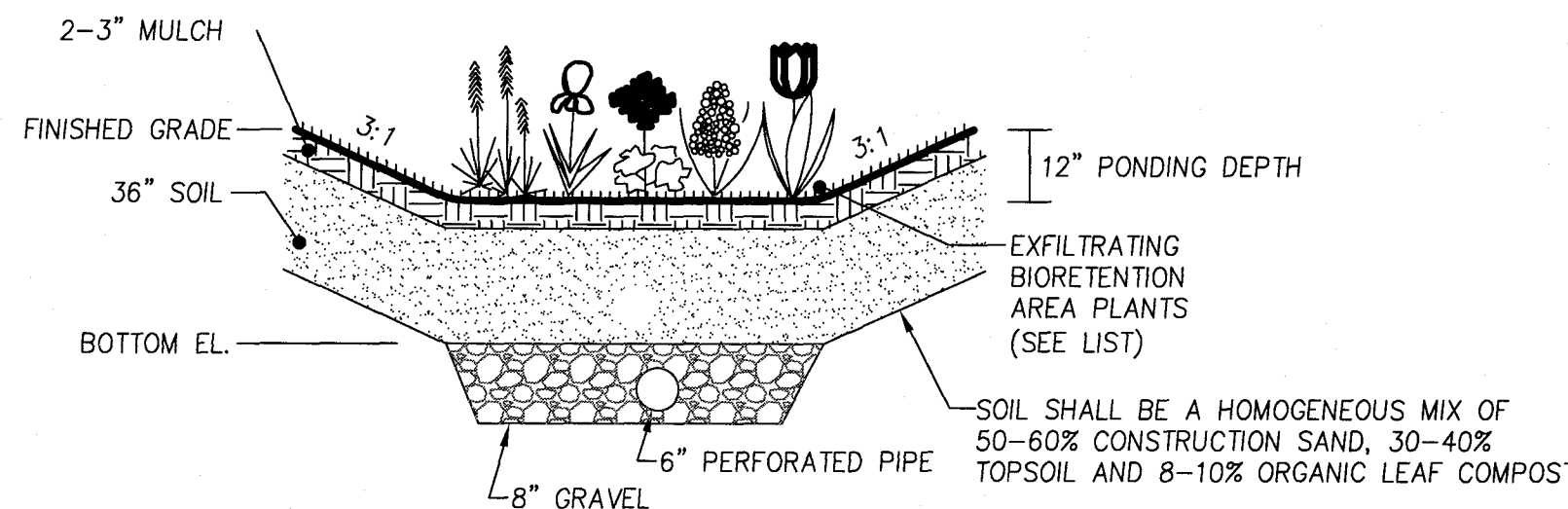
SILT SACK DETAIL

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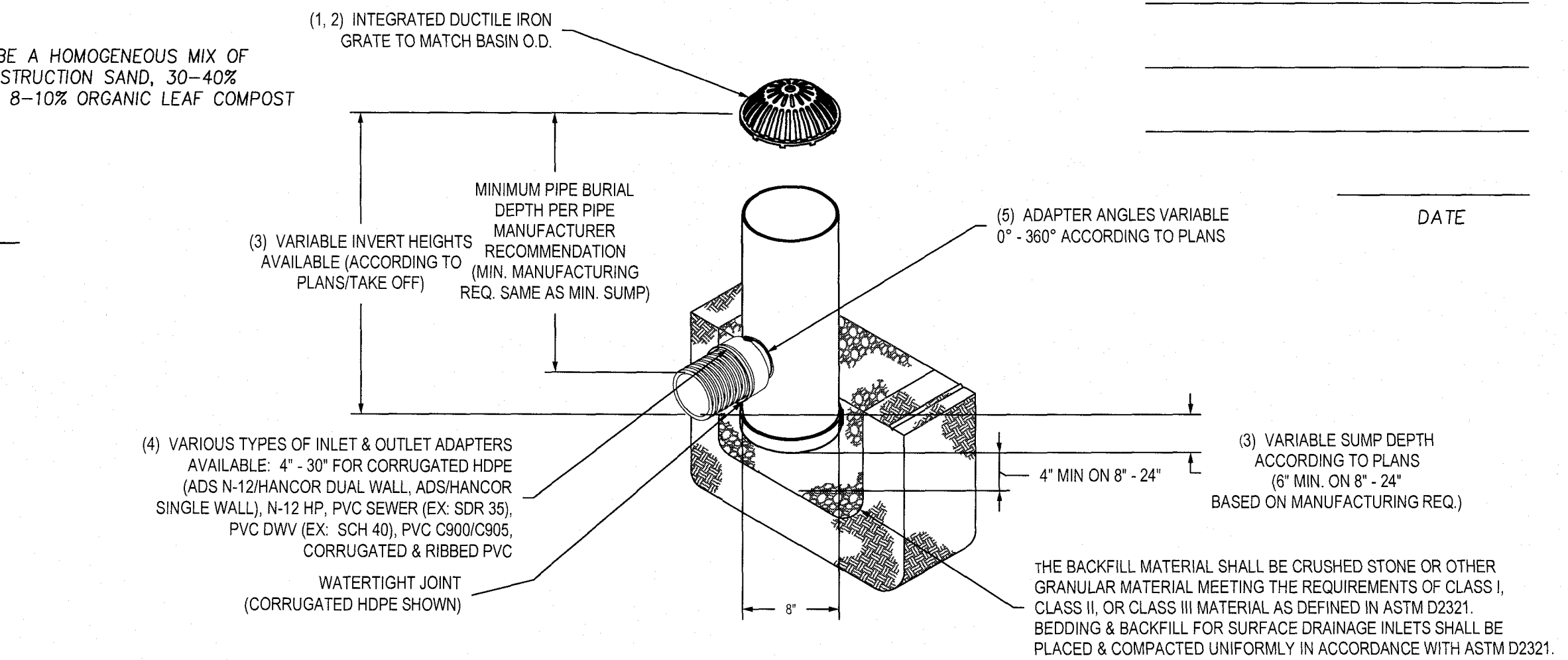
DRAINAGE SWALE DETAIL

N.T.S.



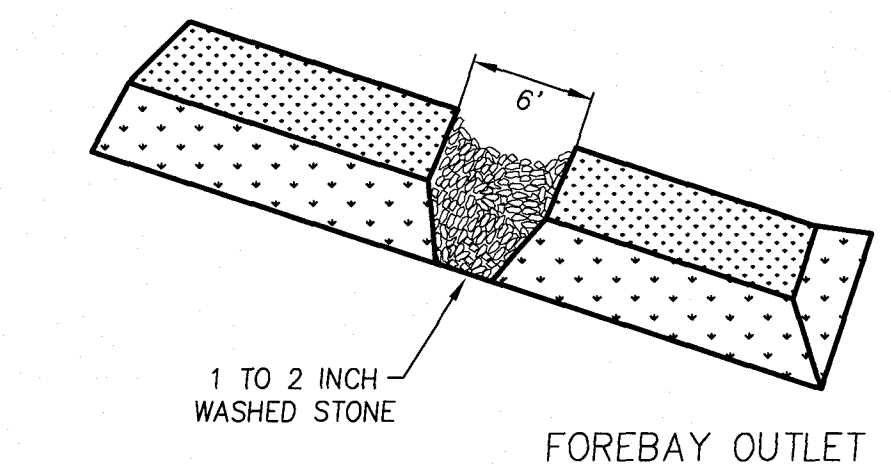
EXFILTRATING BIORETENTION AREA DETAIL

N.T.S.



AREA DRAIN DETAIL

N.T.S.

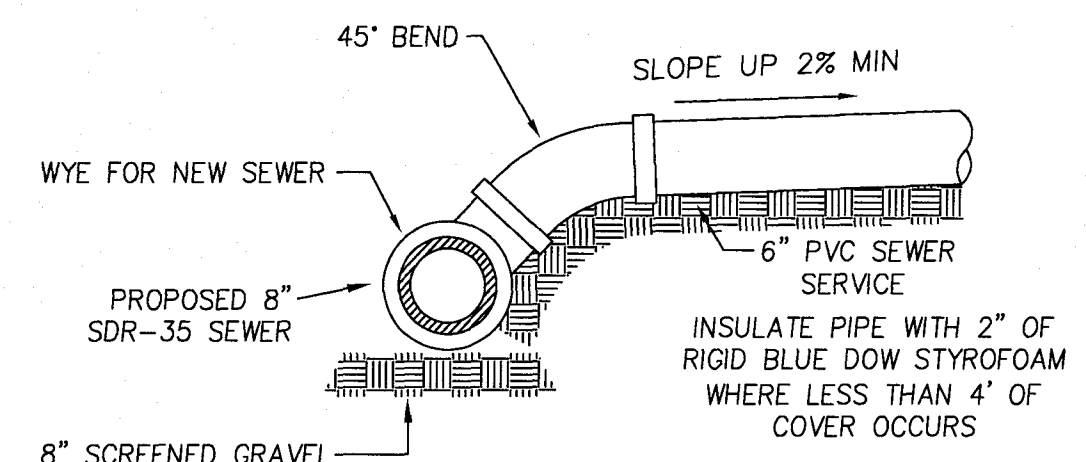


VOLUME OF SEDIMENT FOREBAY

DRAINAGE AREA (ACRES)	VOLUME (CU. YD)	VOLUME (CU. FT)	DIMENSIONS (L x W x H)	OUTLET LENGTH
FOREBAY 0.21	2.8	75	30'x6'x0.5'	6.0'

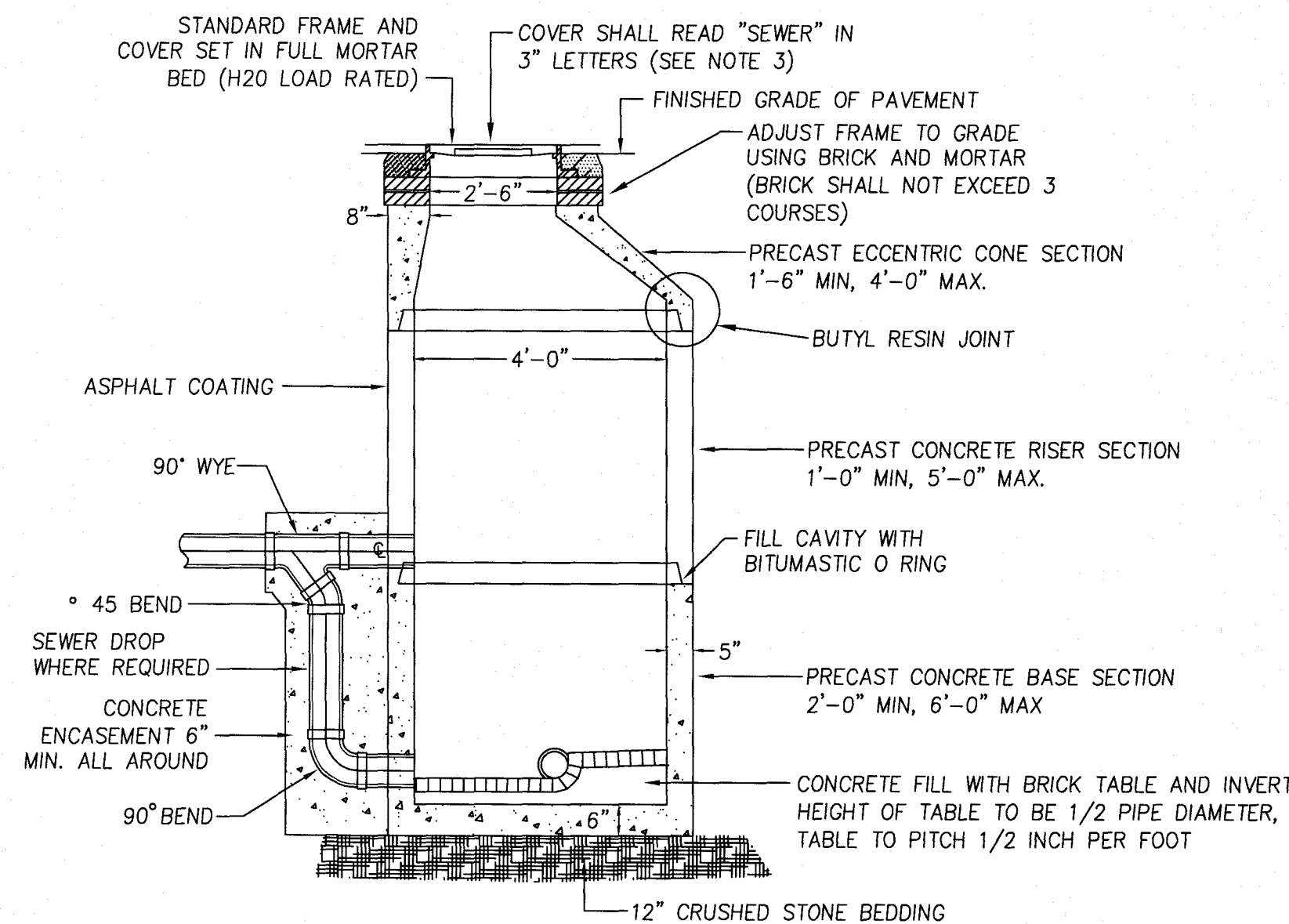
SEDIMENT FOREBAY DETAIL

N.T.S.



SEWER SERVICE DETAIL

N.T.S.



- NOTES: 1) SEWER MANHOLES SHALL CONFORM TO ASTM C478 AND ASTM C185
 2) STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC STEPS SHALL CONFORM TO LATEST ASTM C478 SPEC.
 3) COVER SHALL BE LEBARON FOUNDRY (MODEL NO. LA246), MECHANICS IRON FOUNDRY, NEEHAN FOUNDRY, OR EQUAL
 4) ALL PENETRATIONS IN THE MANHOLE FOR INSERTION OF PIPING SHALL BE SEALED WITH KOR-N-SEAL FLEXIBLE PIPE CONNECTION.
 5) FLAT TOP STRUCTURES SHALL BE PRECAST SECTIONS AND HAVE A 28 DAY COMPRESSIVE STRENGTH OF 5000 PSI REINFORCED FOR AASHTO H-20 LOADING.
 6) CONICAL SECTIONS MAY BE SUBSTITUTED FOR FLAT-TOP STRUCTURES IN AREAS WHERE MORE THAN 4 FEET OF COVER IS PROVIDED FOR DRAIN PIPE.

PRECAST SEWER MANHOLE DETAIL

N.T.S.



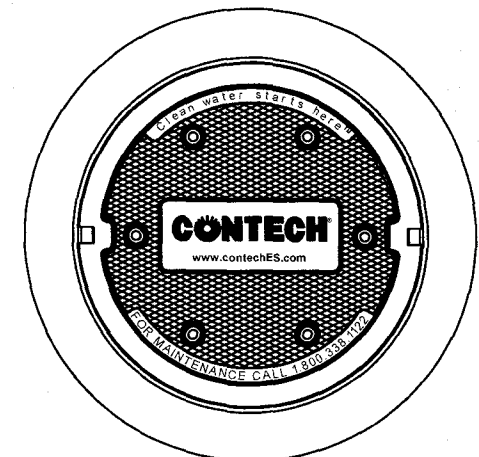
PREPARED FOR
DOWNEAST BUILDING & DEVELOPMENT
 18 MAPLE LANE
 NORTHBOROUGH, MA 01532

NO.	DATE	DESCRIPTION	BY
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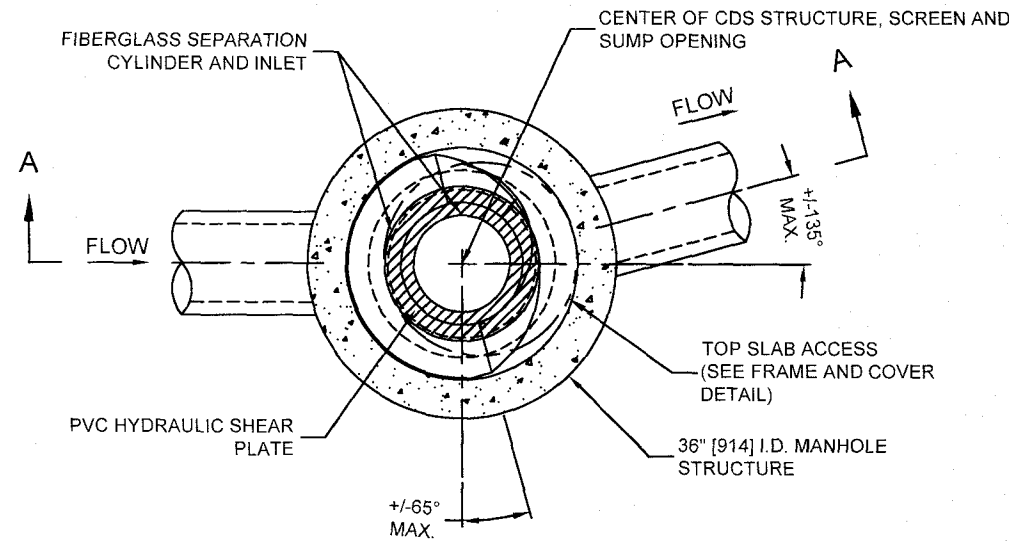
MILLENNIUM ENGINEERING, INC. ENGINEERING AND LAND SURVEYING 62 ELM ST. SALISBURY, MA 01952 (978) 463-8980 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528	
NOT TO SCALE	CALC. BY: J.T.M.
DATE: NOV. 5, 2021	CHKD. BY: E.W.B.
PROJECT: M213965	

FLEXIBLE RESIDENTIAL DEVELOPMENT
 IN
SALISBURY, MA
 AT
46 BEACH ROAD & 2 GRAVEL WAY

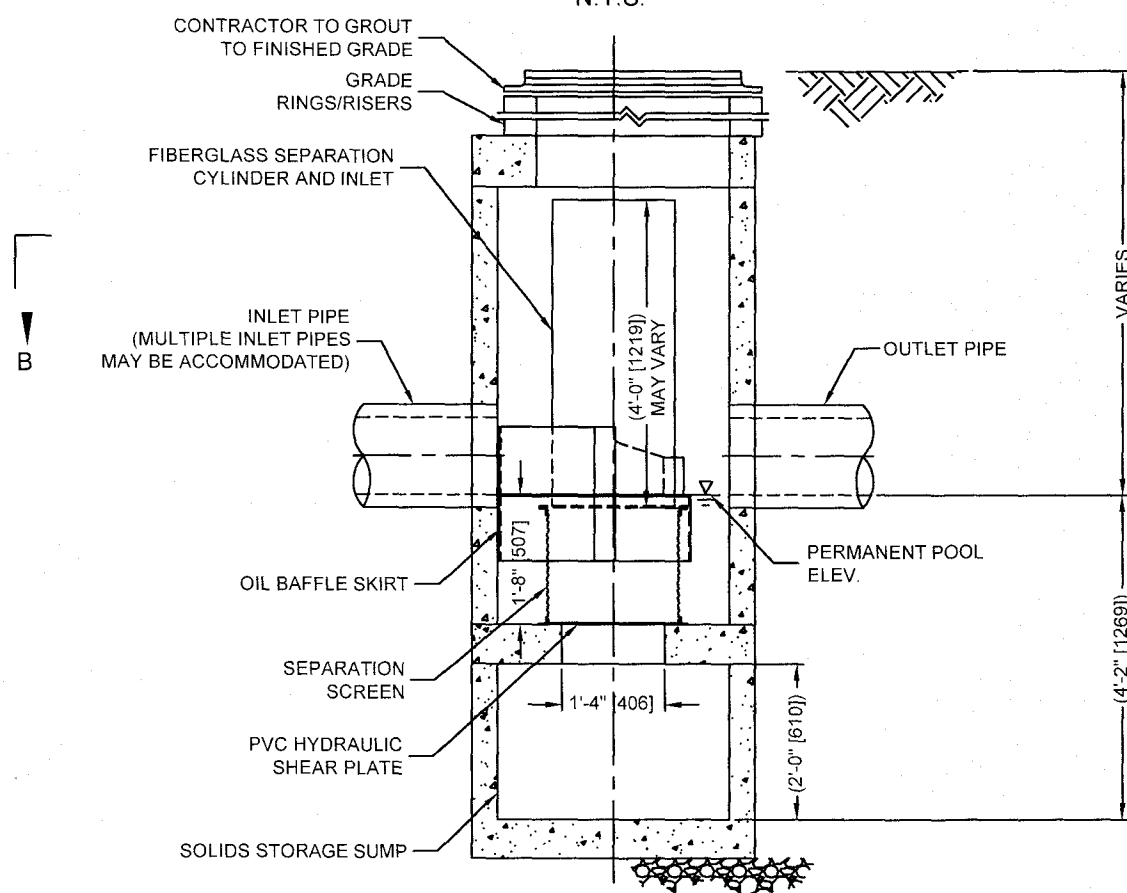
CONSTRUCTION DETAILS



FRAME AND COVER
(DIAMETER VARIES)
N.T.S.



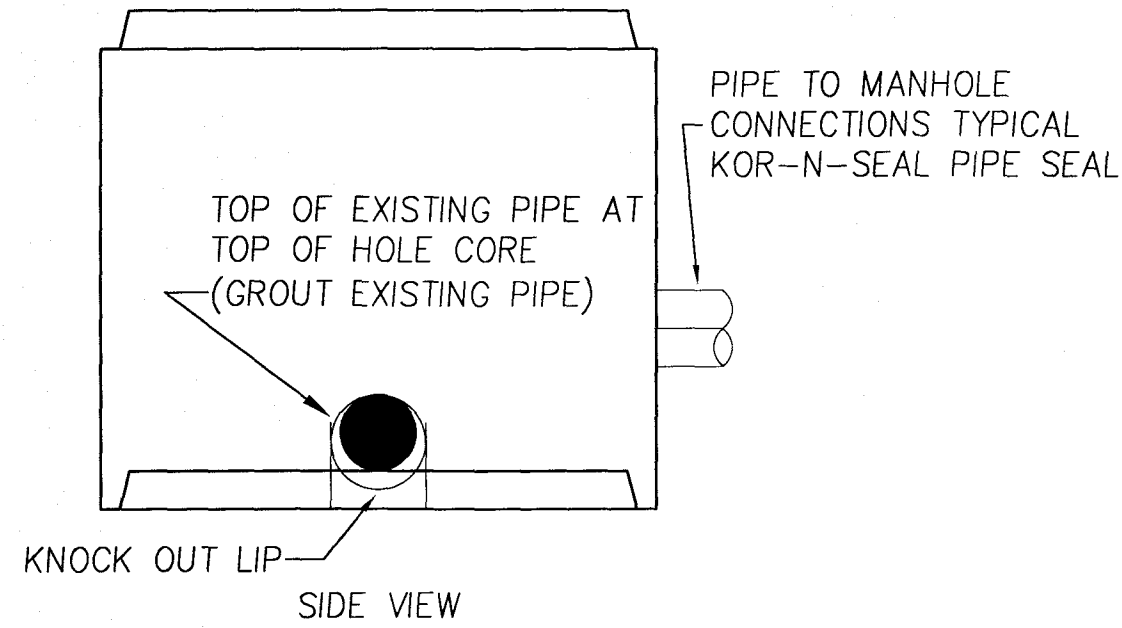
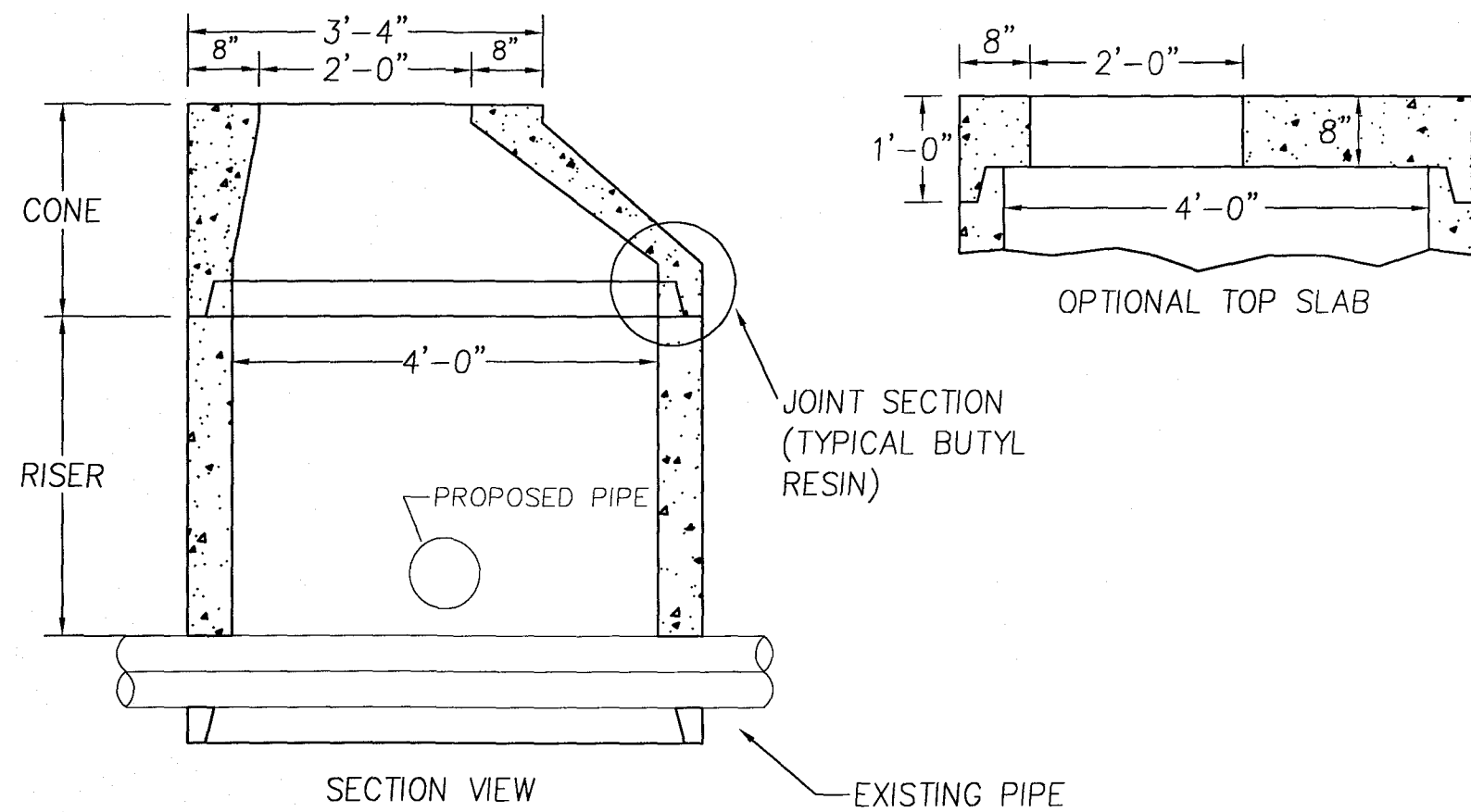
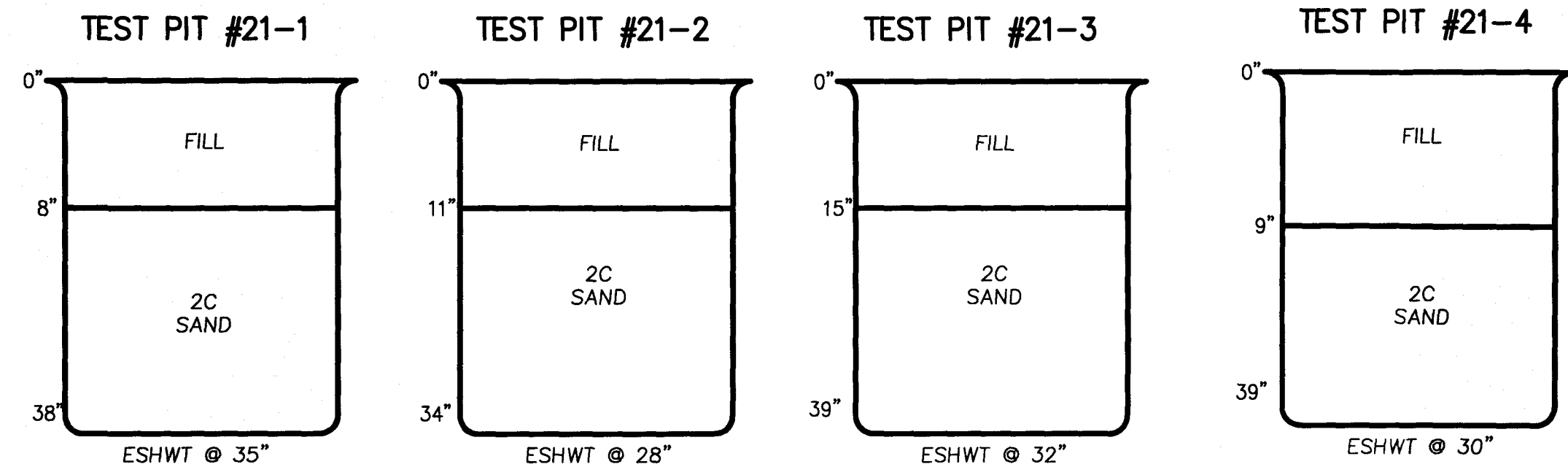
PLAN VIEW B-B
N.T.S.



ELEVATION A-A
N.T.S.

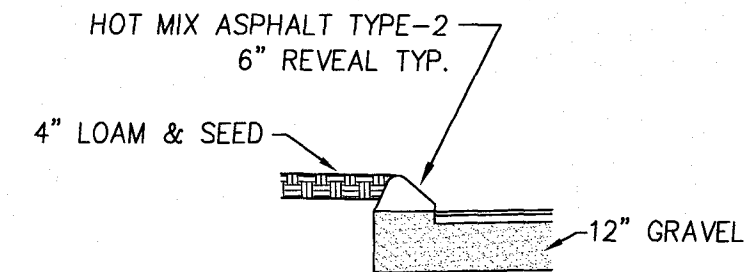
CONTECH CDS
DETAIL

N.T.S.



DOGHOUSE MANHOLE
DETAIL

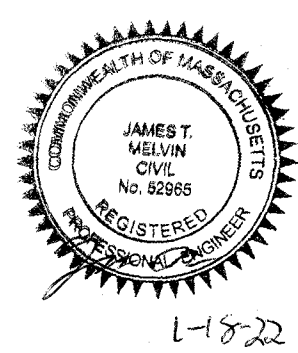
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TYPICAL BIT. CONC. CURB
INSTALLATION DETAIL

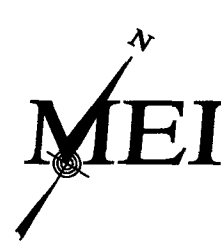
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DATE



PREPARED FOR
DOWNEAST BUILDING & DEVELOPMENT
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NORTHBOROUGH, MA 01532

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FLEXIBLE RESIDENTIAL
DEVELOPMENT
IN
SALISBURY, MA

AT
46 BEACH ROAD & 2 GRAVEL WAY

CONSTRUCTION
DETAILS