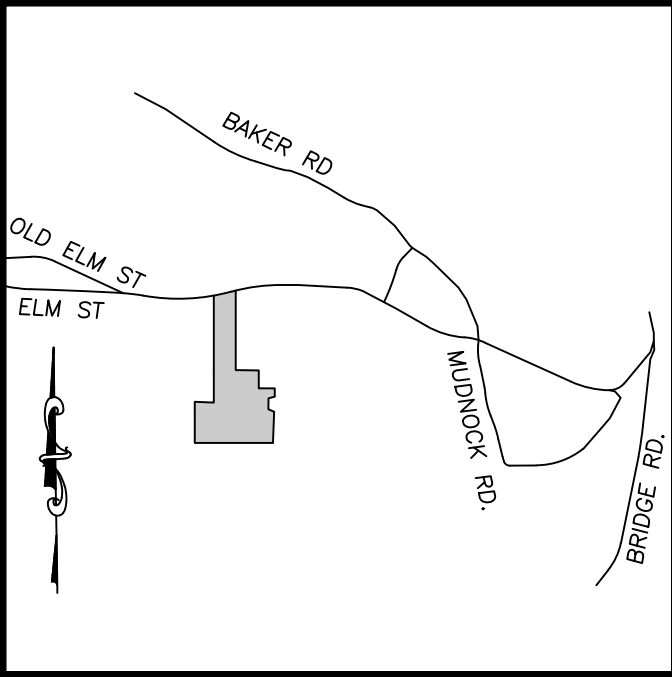




LOCUS MAP
N.T.S.

COMMERCIAL
DEVELOPMENT
AT
163 ELM STREET
IN
SALISBURY, MA

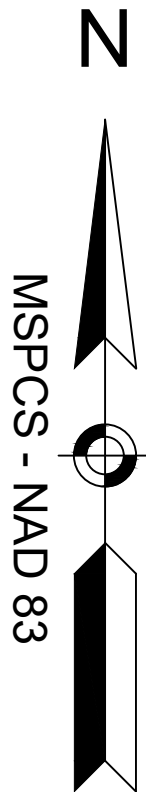
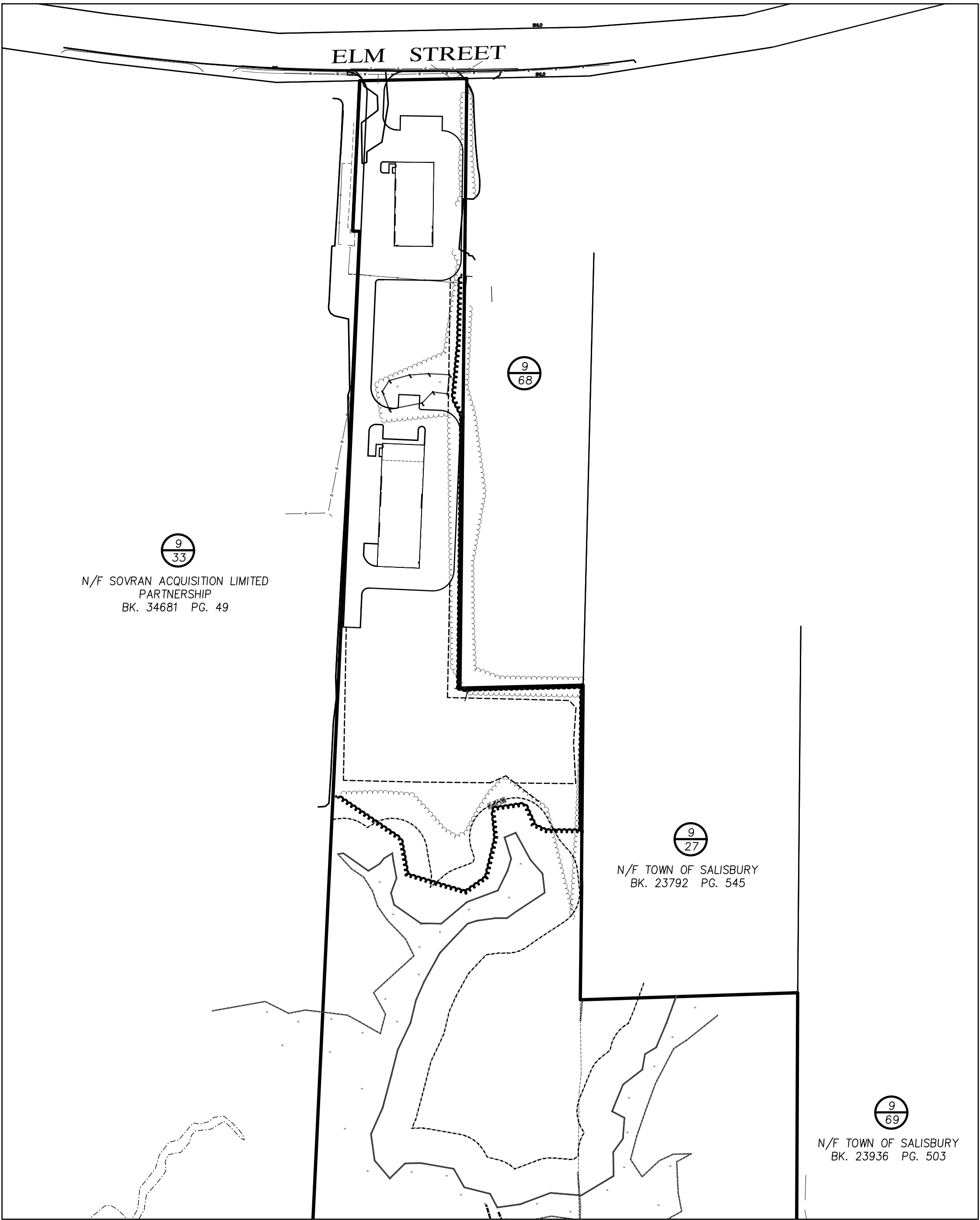
SALISBURY PLANNING BOARD APPROVAL

DATE

JANUARY 2023

9
31

RECORD OWNER
F & D REALTY LLC
1 MELVIN STREET
WAKEFIELD, MA 01880
BK. 39992 PG. 477



ZONING TABLE

163 ELM STREET – ASSESSORS MAP 9 LOT 31 ZONING DISTRICT COMMERCIAL (C)			
	REQUIRED	EXISTING	PROPOSED
LOT AREA:	½ AC.	25.04 AC.	25.04 AC.
LOT FRONTAGE:	100 FT.	153.00 FT	153.00 FT
FRONT SETBACK:	50 FT	**	127.9 FT
SIDE SETBACK:	20 FT./30 FT.	**	68.7 FT
REAR SETBACK:	20 FT.	**	> 2000 FT
LOT COVERAGE:	25% MAX	**	1.6%
PARKING SPACES:	5	**	6
BLDG HEIGHT:	35 FT.	**	26.5 FT.

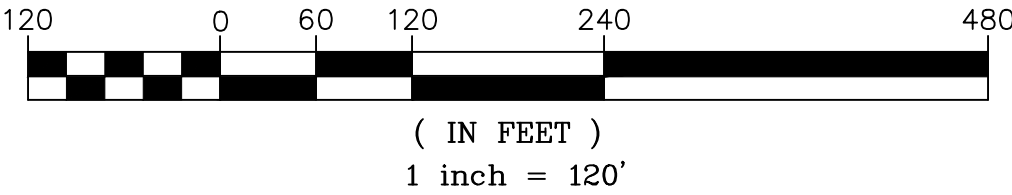
ZONING TABLE

163 ELM STREET – ASSESSORS MAP 9 LOT 31 ZONING DISTRICT OFFICE PARK (C-3)			
	REQUIRED	EXISTING	PROPOSED
LOT AREA:	2½ AC.	25.04 AC.	25.04 AC.
LOT FRONTAGE:	150 FT.	153.00 FT	153.00 FT
FRONT SETBACK:	30 FT	**	521.2 FT
SIDE SETBACK:	25 FT.	**	69.7 FT
REAR SETBACK:	40 FT.	**	> 1600 FT
LOT COVERAGE:	40% MAX	**	1.6%
PARKING SPACES:	**	**	8
BLDG HEIGHT:	35 FT.	**	< 35 FT.

PLAN INDEX

SHEET NO.	TITLE
C-1	COVER SHEET
C-2	EXISTING CONDITIONS PLAN
C-3	LEGEND/NOTES
C-4 THRU C-6	SITE PLANS
C-7 THRU C-10	GRADING PLANS
C-11	UTILITY PLAN & PROFILE
C-12 THRU C-16	DETAILS
E-1	LIGHTING PLAN
F-1 THRU F-2	TRUCK TURNING PLAN
L-1	LANDSCAPE PLAN

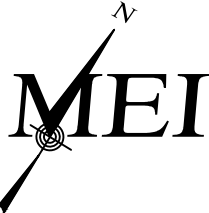
GRAPHIC SCALE



PREPARED FOR

F & D REALTY LLC
1 MELVIN STREET, SUITE C
WAKEFIELD, MA 01880

7	3/1/23	ADDRESS REVIEW COMMENTS	S.R.C.
6	2/7/23	REMOVE STORAGE AREA	J.T.M.
5	1/4/23	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
4	12/7/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
3	10/20/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
2	9/1/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
1	6/21/22	ADDRESS TOWN COMMENTS	C.M.Y.
NO.	DATE	DESCRIPTION	BY



MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=120'	DESIG. BY: C.M.Y.	PROJECT: M183284
DATE: JUN. 1, 2022	CHKD. BY: E.W.B.	

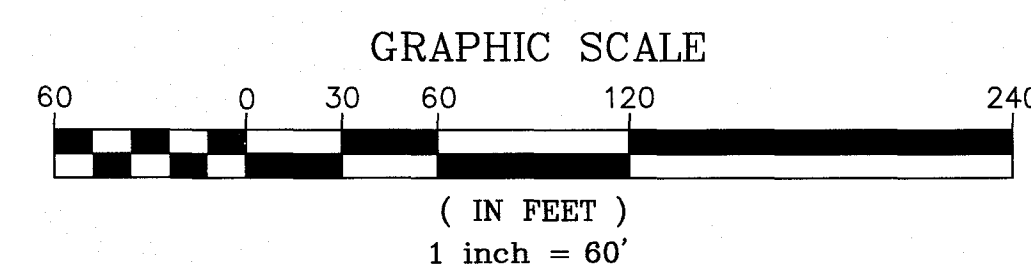
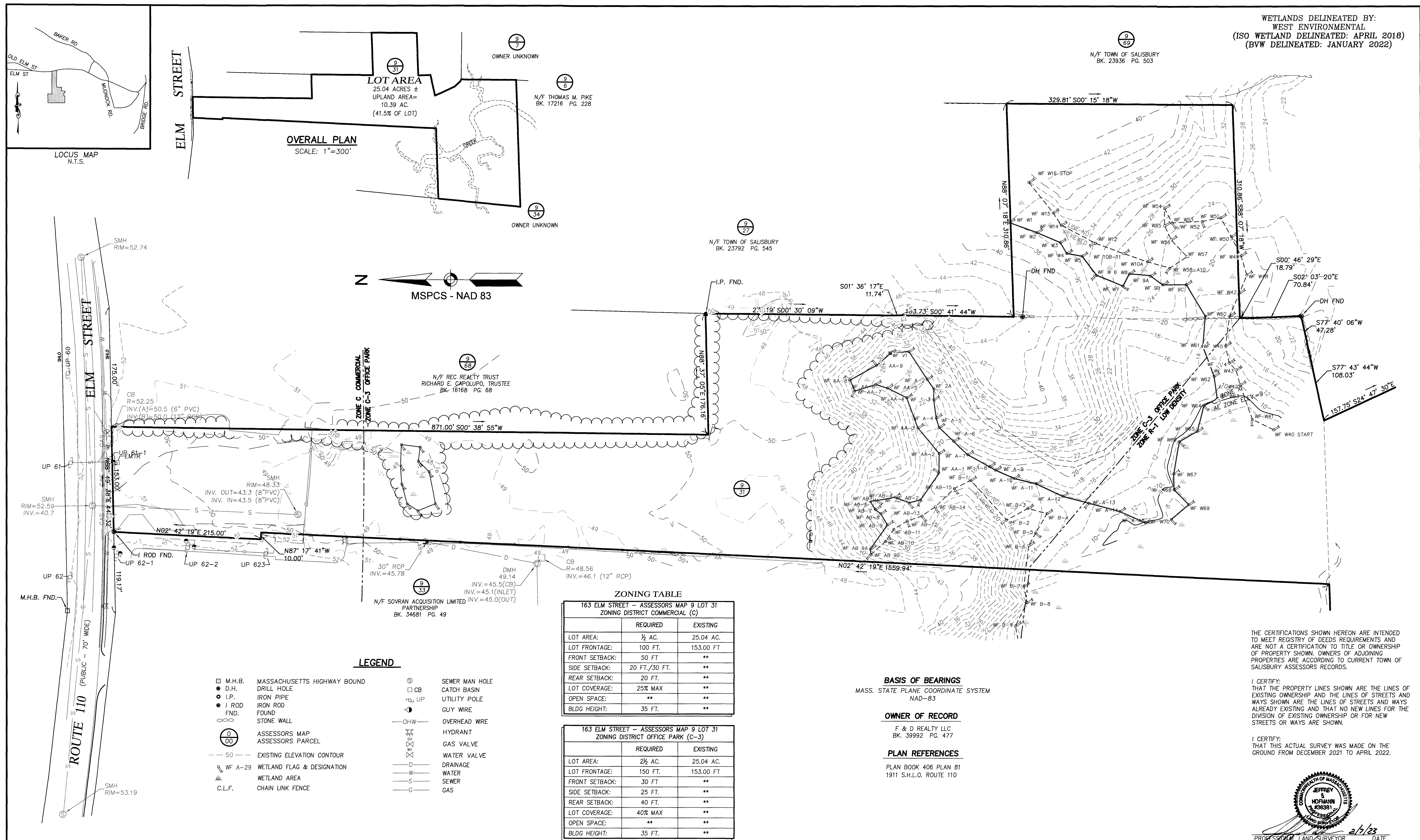
PLAN OF LAND
IN
SALISBURY, MA

SHOWING
PROPOSED SITE IMPROVEMENTS
AT
163 ELM STREET

COVER
SHEET

SHEET: C-1

WETLANDS DELINEATED BY:
WEST ENVIRONMENTAL
(ISO WETLAND DELINEATED: APRIL 2018)
(BVW DELINEATED: JANUARY 2022)



PREPARED FOR
F & D REALTY LLC
1 MELVIN STREET, SUITE C
WAKEFIELD, MA 01880
(MAP 9 - LOT 31)

6	2/7/23	REMOVE STORAGE AREA	J.T.M.
5	1/4/23	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
4	12/7/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
3	10/20/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
2	9/1/22	ADDRESS TOWN COMMENTS	C.M.Y.
1	6/21/22	ADDRESS TOWN COMMENTS	C.M.Y.
NO.	DATE	DESCRIPTION	BY

MEI **MILLENNIUM ENGINEERING, INC.**
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

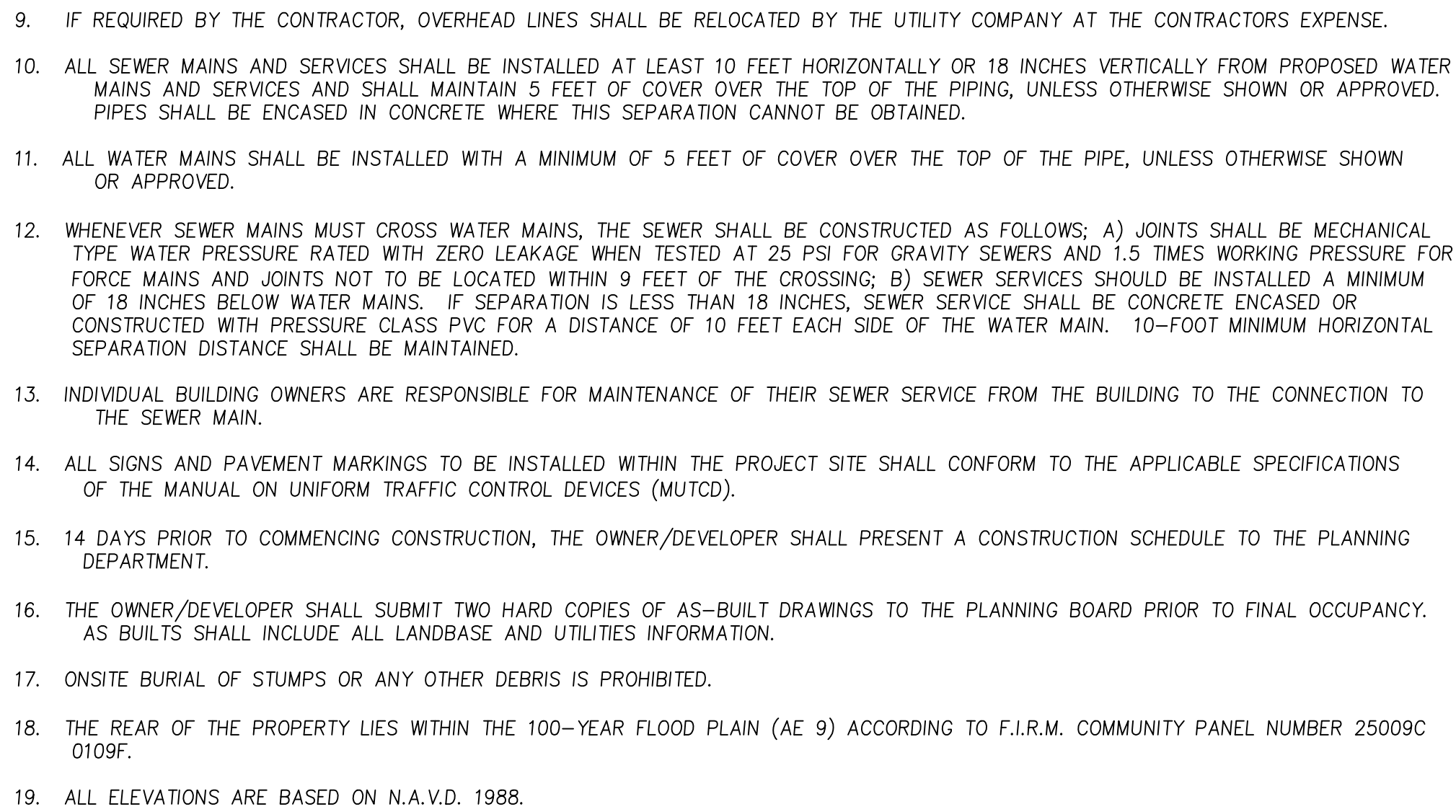
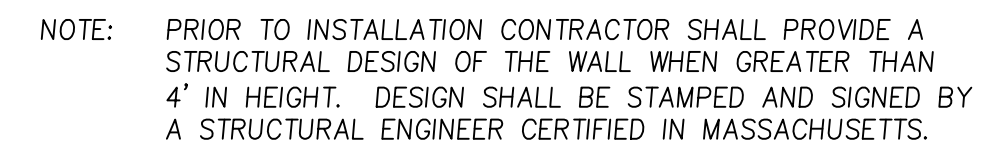
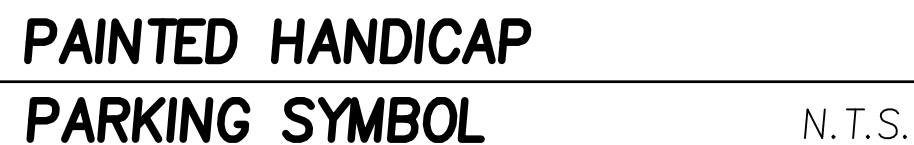
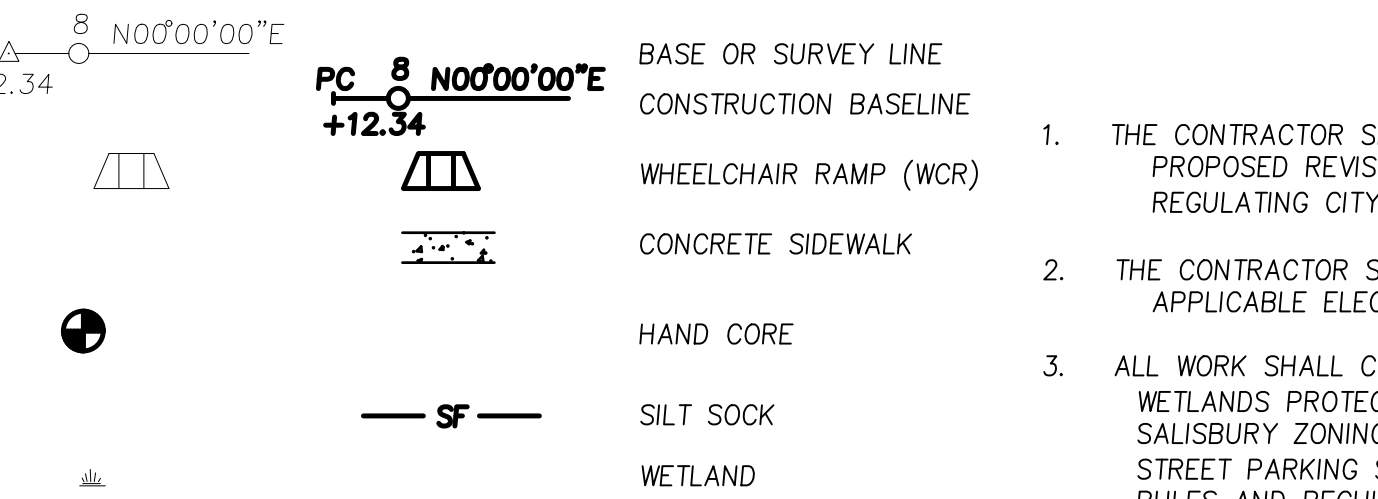
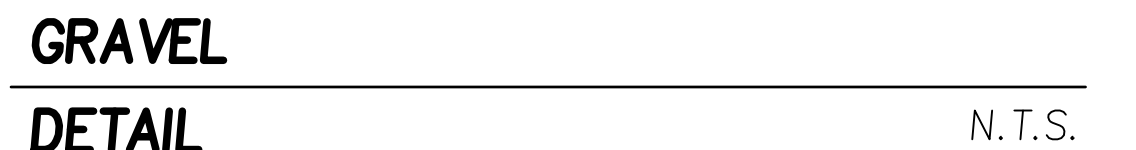
SCALE: 1"=60'
DATE: JUN. 1, 2022

CALC. BY: P.D.B.
CHKD. BY: J.S.H.

PROJECT: M183284

PLAN OF LAND
IN
SALISBURY, MA
SHOWING
PROPOSED SITE IMPROVEMENTS
AT
163 ELM STREET

EXISTING CONDITIONS
SHEET: C-2



3. THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS. ANY PROPOSED REVISIONS TO THE WORK SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND REGULATING CITY AND/OR STATE AGENCIES.
2. THE CONTRACTOR SHALL INSTALL ALL SYSTEM COMPONENTS IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND ALL APPLICABLE ELECTRICAL, PLUMBING, AND SANITARY CODES.
3. ALL WORK SHALL CONFORM TO; THE SALISBURY PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, THE WETLANDS PROTECTION ACT (310 CMR 10.00), THE ORDER OF CONDITIONS ISSUED BY THE SALISBURY CONSERVATION COMMISSION, TOWN OF SALISBURY ZONING CODE, CHAPTER 300. ZONING; ARTICLE III. USE REGULATIONS; ARTICLE IV. DIMENSIONAL REGULATIONS; TABLE C-4 OF STREET PARKING STANDARDS; ARTICLE XVII. SITE PLAN REVIEW; CHAPTER 463. PLANNING BOARD, §465 10-13; AND PLANNING BOARD RULES AND REGULATIONS, III. SITE PLAN REVIEW.
4. THE LOCATION OF ALL UTILITIES, AS SHOWN ON THESE PLANS, ARE BASED UPON PLANS AND RECORD INFORMATION PROVIDED BY MUNICIPAL AND PRIVATE UTILITY COMPANIES AND ARE CONSIDERED APPROXIMATE BOTH AS TO SIZE AND LOCATION. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UTILITIES ARE SHOWN. THE CONTRACTOR SHALL NOT RELY ON THESE PLANS FOR SUCH INFORMATION AND WILL MAKE EXAMINATIONS IN THE FIELD BY VARIOUS AVAILABLE RECORDS, UTILITY COMPANIES AND INDIVIDUALS, AS TO THE LOCATION OF ALL SUBSURFACE STRUCTURES.
5. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES BY CONTACTING "DIG-SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION. DIG-SAFE TELEPHONE NUMBER: 1-888-344-7233.
6. THE CONTRACTOR SHALL FIELD CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE NEW WORK. HE/SHE SHALL EXCAVATE TO VERIFY PERTINENT DRAINAGE INVERTS AND POTENTIAL UTILITY CONFLICTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
7. ALL EXISTING STRUCTURES AND SURFACES, UNLESS OTHERWISE SHOWN, SHALL BE COMPLETELY REMOVED FROM THE AREAS OF WORK. ALL TREES SCHEDULED FOR REMOVAL SHALL BE FIELD MARKED AND APPROVED FOR REMOVAL BY THE OWNER PRIOR TO CUTTING OPERATIONS.
8. THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF THE PUBLIC, EMPLOYEES, AND ALL OTHER PERSONS ASSOCIATED WITH THE PROJECT. HE/SHE SHALL COORDINATE AND BE RESPONSIBLE FOR ALL SAFETY SIGNING, BARRIERS AND TEMPORARY PAVEMENT MARKINGS NECESSARY TO PROVIDE A SMOOTH AND PROPER TRANSITION FOR TRAFFIC FLOW.

- ALL MATERIALS OF THE ELEMENTS IN THE SITE PLAN MUST CONFORM TO THE FOLLOWING STANDARDS:
1. COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES (LATEST EDITION)
 2. 521 CMR RULES AND REGULATIONS OF THE ARCHITECTURAL ACCESS BOARD (AAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA)
 3. SPECIFICATIONS BY THE TOWN OF SALISBURY AS SET FORTH BY SECTION 7 DESIGN STANDARDS IN THE PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, DATED NOVEMBER 1, 2013
 4. UTILITIES INSTALLED PER TOWN OF SALISBURY WATER DIVISION CONSTRUCTION DETAILS

- 1.) ALL STUMPS, ROCKS AND LEDGE WITHIN THE LIMITS OF THE PROPOSED PAVED WAY SHALL BE REMOVED. ALL LEDGE SHALL BE REMOVED TO A MINIMUM DEPTH OF 3' BELOW FINISHED PAVEMENT GRADE AND 1' BELOW UTILITY TRENCH BOTTOM.
- 2.) ROADWAY SHALL NOT BE CONSTRUCTED DURING FREEZING WEATHER OR ON WET OR FROZEN SUBGRADE.
- 3.) GRADING AND ROLLING SHALL BE REQUIRED TO PROVIDE A SMOOTH, EVEN, AND UNIFORM COMPACTED BASE WHICH IS COMPACTED TO A MINIMUM DRY DENSITY OF 95 PERCENT. APPROPRIATE PASSING TEST RESULTS MUST BE SUBMITTED TO PUBLIC WORKS.
- 4.) THE MINIMUM SLOPE FROM THE CROWN OF FINISHED BASE COURSE SHALL BE 1/4" PER FOOT UNLESS OTHERWISE SHOWN.
- 5.) ALL UNSUITABLE MATERIAL SHALL BE EXCAVATED AND REPLACED WITH SATISFACTORY MATERIAL AND BROUGHT UP TO GRADE WITH GRAVEL BORROW CONTAINING NO STONES GREATER THAN 6" DIAMETER.
- 6.) AT ALL TIMES DURING CONSTRUCTION, THE SUB-GRADE AND ALL DITCHES SHALL BE CONSTRUCTED AND MAINTAINED SO THAT THE ROADWAY WILL EFFECTIVELY BE DRAINED.
- 7.) THE CONTRACTOR SHALL REFER TO THE SALISBURY PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, SECTIONS I - VI.

120 WETLAND DELINEATION FLAG

	C.B.	CONCRETE BOUND
	S.B.	STONE BOUND
	D.H.	DRILL HOLE
	PK	MASONRY NAIL
	I.P.	IRON PIPE
	I ROD	IRON ROD
	FND.	FOUND
	N/FND.	NOT FOUND

 0
 00

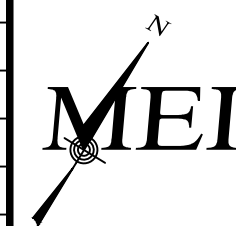
ASSESSORS MAP AND PARCEL



PREPARED FOR

F & D REALTY LLC
1 MELVIN STREET, SUITE C
WAKEFIELD, MA 01880

7	3/1/23	ADDRESS REVIEW COMMENTS	S.R.C.
6	2/7/23	REMOVE STORAGE AREA	J.T.M.
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2	9/1/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
1	6/21/22	ADDRESS TOWN COMMENTS	C.M.Y.
NO.	DATE	DESCRIPTION	BY



MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

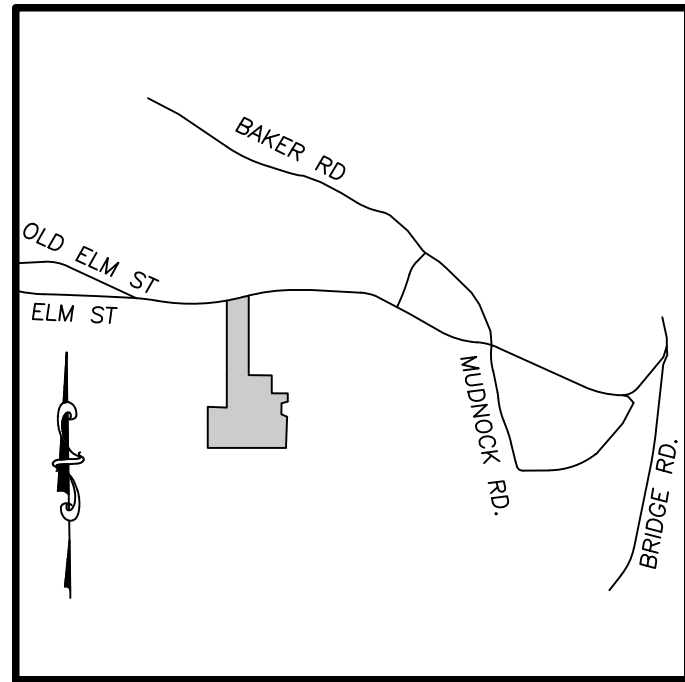
SCALE: AS NOTED	DESG. BY: C.M.Y.	PROJECT: M183284
DATE: JUN. 1, 2022	CHKD. BY: E.W.B.	

PLAN OF LAND
IN
SALISBURY, MA

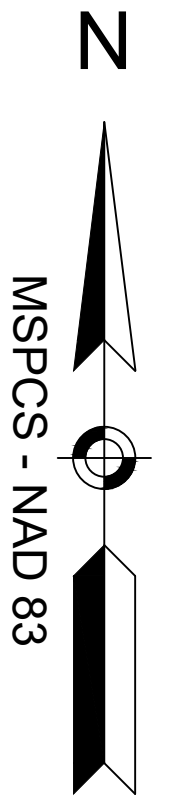
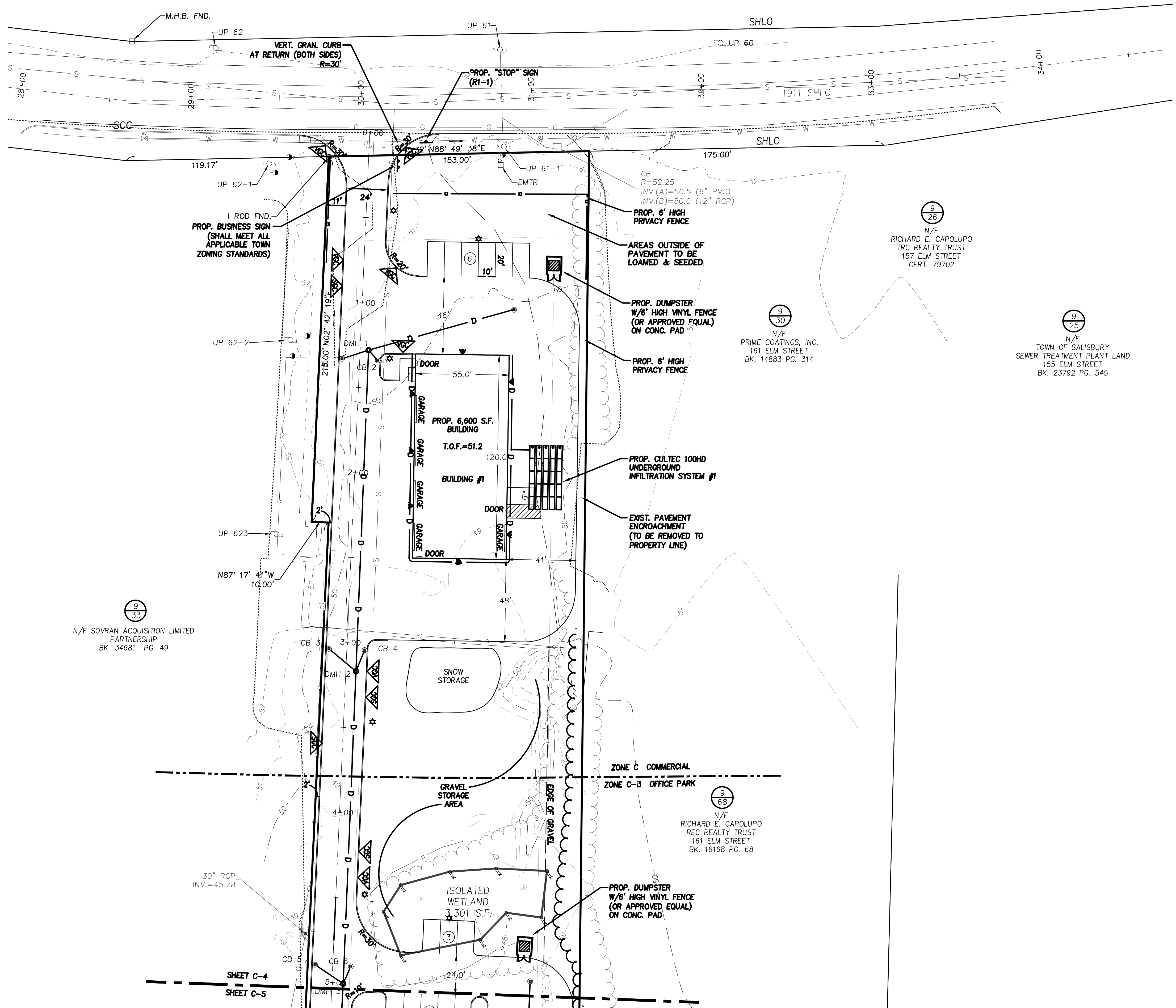
SHOWING
PROPOSED SITE IMPROVEMENTS
AT
163 ELM STREET

TYPICAL
SECTIONS/
LEGEND/
GENERAL
NOTES

SHEET: C-3

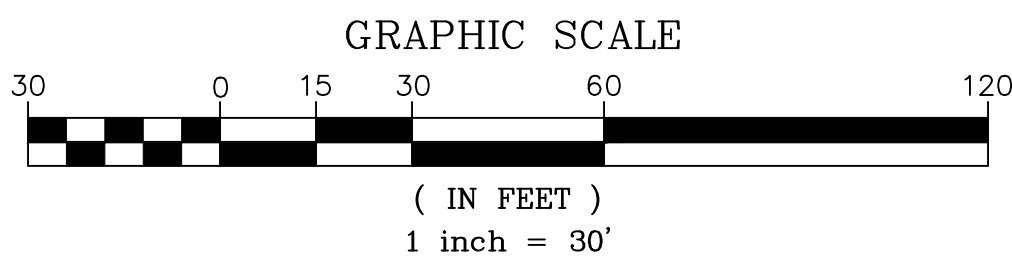


LOCUS MAP
N.T.S.



LEGEND

—W—	EXISTING WATER MAIN
—S—	EXISTING SEWER MAIN
—W—	PROPOSED WATER SERVICE
—S—	PROPOSED SEWER MAIN
—SS—	PROPOSED SEWER SERVICE
—G—	PROPOSED GAS MAIN
—GS—	PROPOSED GAS SERVICE
—UU—	PROPOSED UNDERGROUND UTILITIES
⊠	PROPOSED WATER GATE
⊠	EXISTING FIRE HYDRANT
▽	PROP. VERTICAL GRAN. CURB
▽	PROP. SLOPED GRAN. EDGING
★	PROPOSED STREET LIGHT
⊕	PROPOSED WATER SHUTOFF
●	PROPOSED SEWER SERVICE
◀	PROPOSED BUILDING LIGHT



PREPARED FOR

F & D REALTY LLC

1 MELVIN STREET, SUITE C
WAKEFIELD, MA 01880

NO.	DATE	DESCRIPTION	BY
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2	9/1/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
1	6/21/22	ADDRESS TOWN COMMENTS	C.M.Y.

MEI **MILLENNIUM ENGINEERING, INC.**

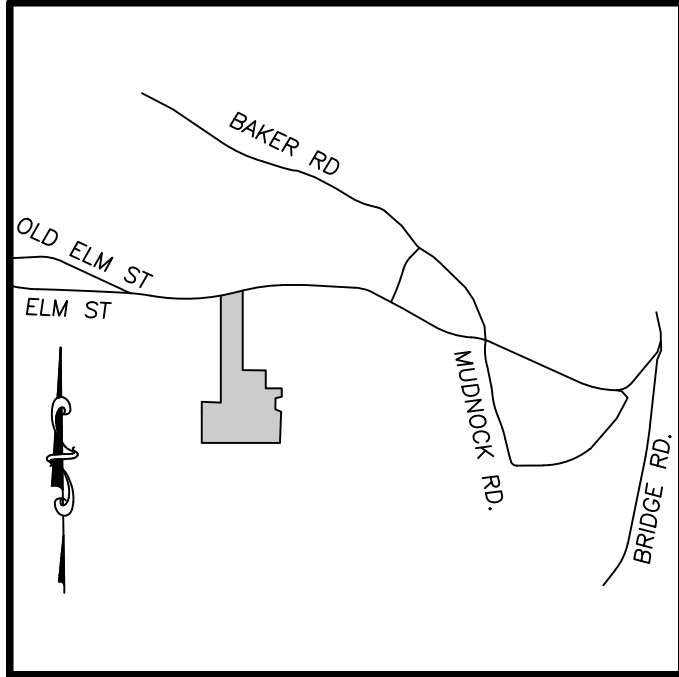
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=30'	DESIG. BY: C.M.Y.	PROJECT: M183284
DATE: JUN. 1, 2022	CHKD. BY: E.W.B.	

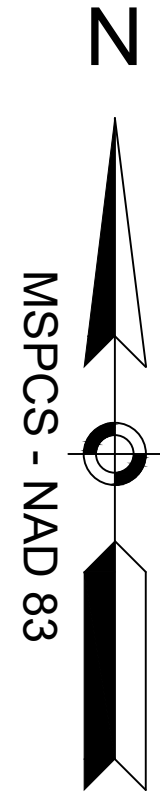
PLAN OF LAND
IN
SALISBURY, MA
SHOWING
PROPOSED SITE IMPROVEMENTS
AT
163 ELM STREET

SITE PLAN

SHEET: C-4



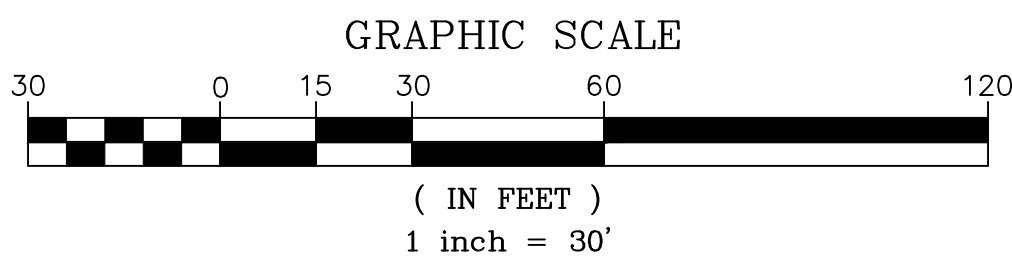
LOCUS MAP
N.T.S.



N/F SOVRAN ACQUISITION LIMITED
PARTNERSHIP
BK. 34681 PG. 49

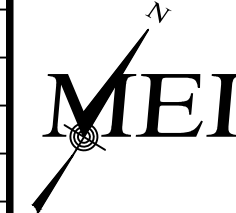
LEGEND

—W—	EXISTING WATER MAIN
—S—	EXISTING SEWER MAIN
—W—	PROPOSED WATER SERVICE
—S—	PROPOSED SEWER MAIN
—SS—	PROPOSED SEWER SERVICE
—G—	PROPOSED GAS MAIN
—GS—	PROPOSED GAS SERVICE
—UU—	PROPOSED UNDERGROUND UTILITIES
⊠	PROPOSED WATER GATE
⊠	EXISTING FIRE HYDRANT
▽	PROP. VERTICAL GRAN. CURB
▽	PROP. SLOPED GRAN. EDGING
★	PROPOSED STREET LIGHT
⊠	PROPOSED WATER SHUTOFF
⊠	PROPOSED SEWER SERVICE
⊠	PROPOSED BUILDING LIGHT



PREPARED FOR
F & D REALTY LLC
1 MELVIN STREET, SUITE C
WAKEFIELD, MA 01880

NO.	DATE	DESCRIPTION	BY
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1	6/21/22	ADDRESS TOWN COMMENTS	C.M.Y.



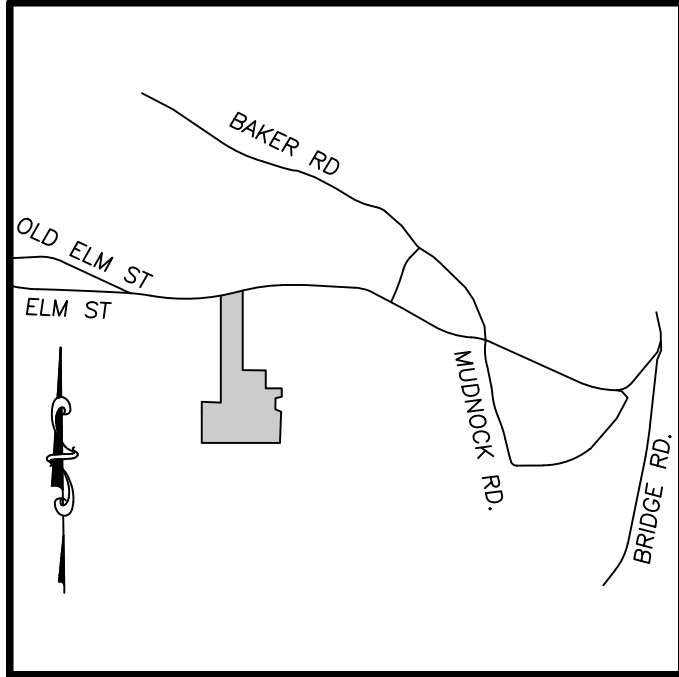
MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=30'	DESIG. BY: C.M.Y.	PROJECT: M183284
DATE: JUN. 1, 2022	CHKD. BY: E.W.B.	

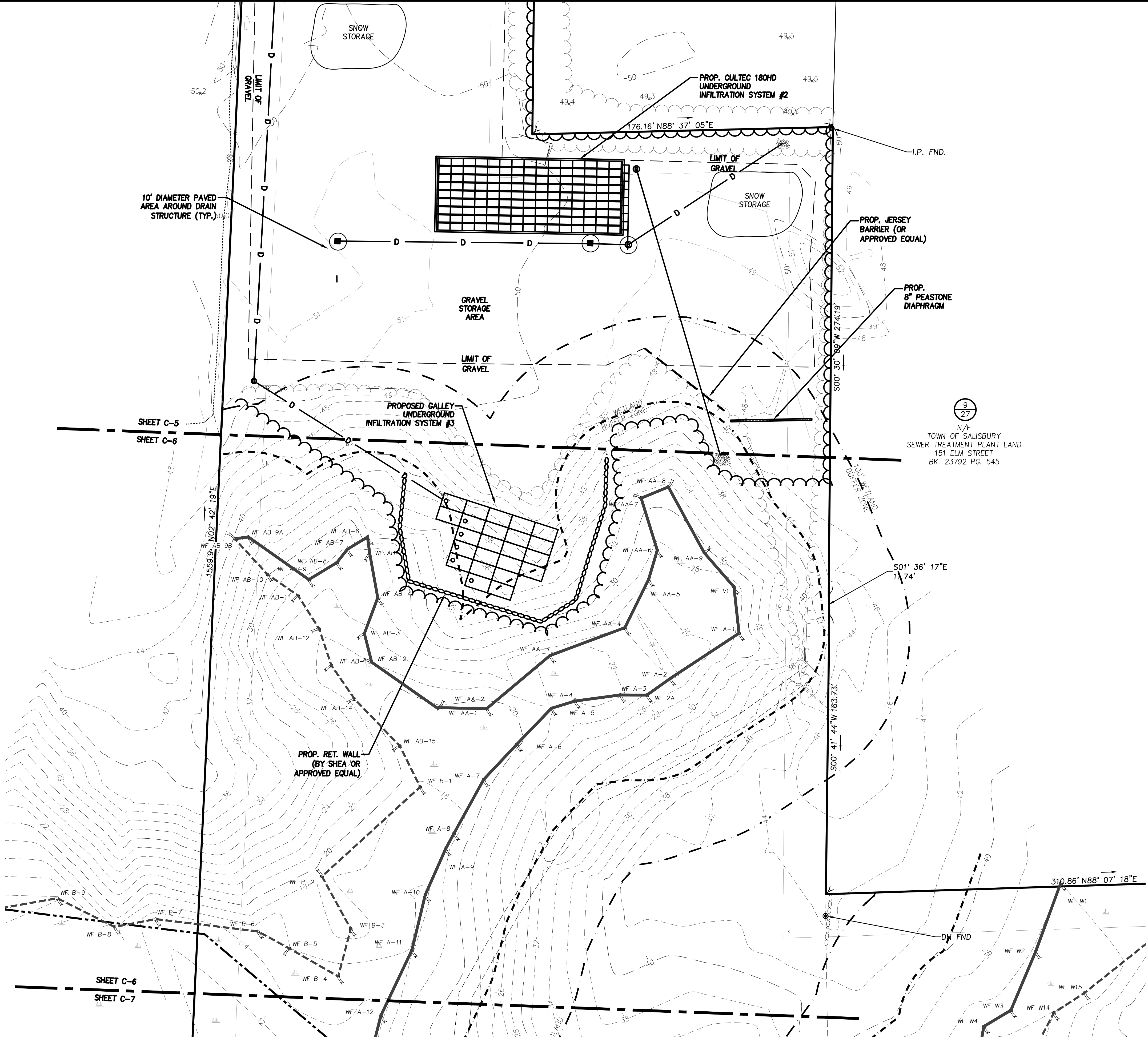
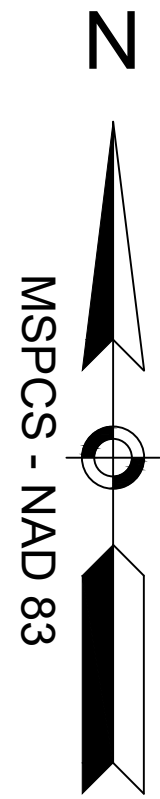
PLAN OF LAND
IN
SALISBURY, MA
SHOWING
PROPOSED SITE IMPROVEMENTS
AT
163 ELM STREET

**SITE
PLAN**

SHEET: C-5



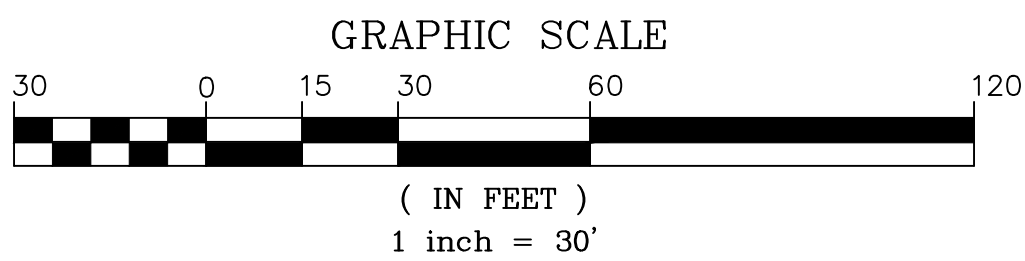
LOCUS MAP
N.T.S.



9
27
N/F
TOWN OF SALISBURY
SEWER TREATMENT PLANT LAND
151 ELM STREET
BK. 23792 PG. 545

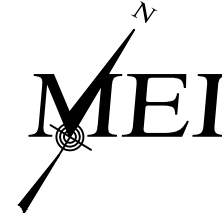
LEGEND

- W— EXISTING WATER MAIN
- S— EXISTING SEWER MAIN
- W— PROPOSED WATER SERVICE
- S— PROPOSED SEWER MAIN
- SS— PROPOSED SEWER SERVICE
- G— PROPOSED GAS MAIN
- GS— PROPOSED GAS SERVICE
- UU— PROPOSED UNDERGROUND UTILITIES
- ⚡ PROPOSED WATER GATE
- ⚡ EXISTING FIRE HYDRANT
- ⚡ PROPOSED VERTICAL GRAN. CURB
- ⚡ PROPOSED WATER SHUTOFF
- ⚡ PROPOSED SLOPED GRAN. EDGING
- ⚡ PROPOSED SEWER SERVICE
- ★ PROPOSED STREET LIGHT
- ⚡ PROPOSED BUILDING LIGHT



PREPARED FOR
F & D REALTY LLC
1 MELVIN STREET, SUITE C
WAKEFIELD, MA 01880

NO.	DATE	DESCRIPTION	BY
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3	10/20/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
2	9/1/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
1	6/21/22	ADDRESS TOWN COMMENTS	C.M.Y.



MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
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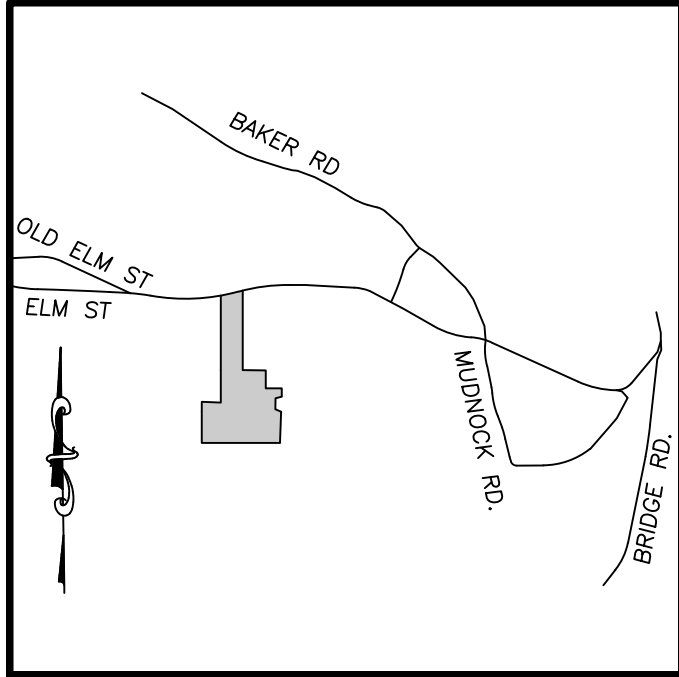
SCALE: 1"=30'	DESIG. BY: C.M.Y.	PROJECT: M183284
DATE: JUN. 1, 2022	CHKD. BY: E.W.B.	

PLAN OF LAND
IN
SALISBURY, MA

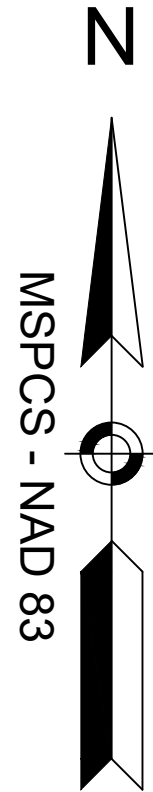
SHOWING
PROPOSED SITE IMPROVEMENTS
AT
163 ELM STREET

**SITE
PLAN**

SHEET: C-6



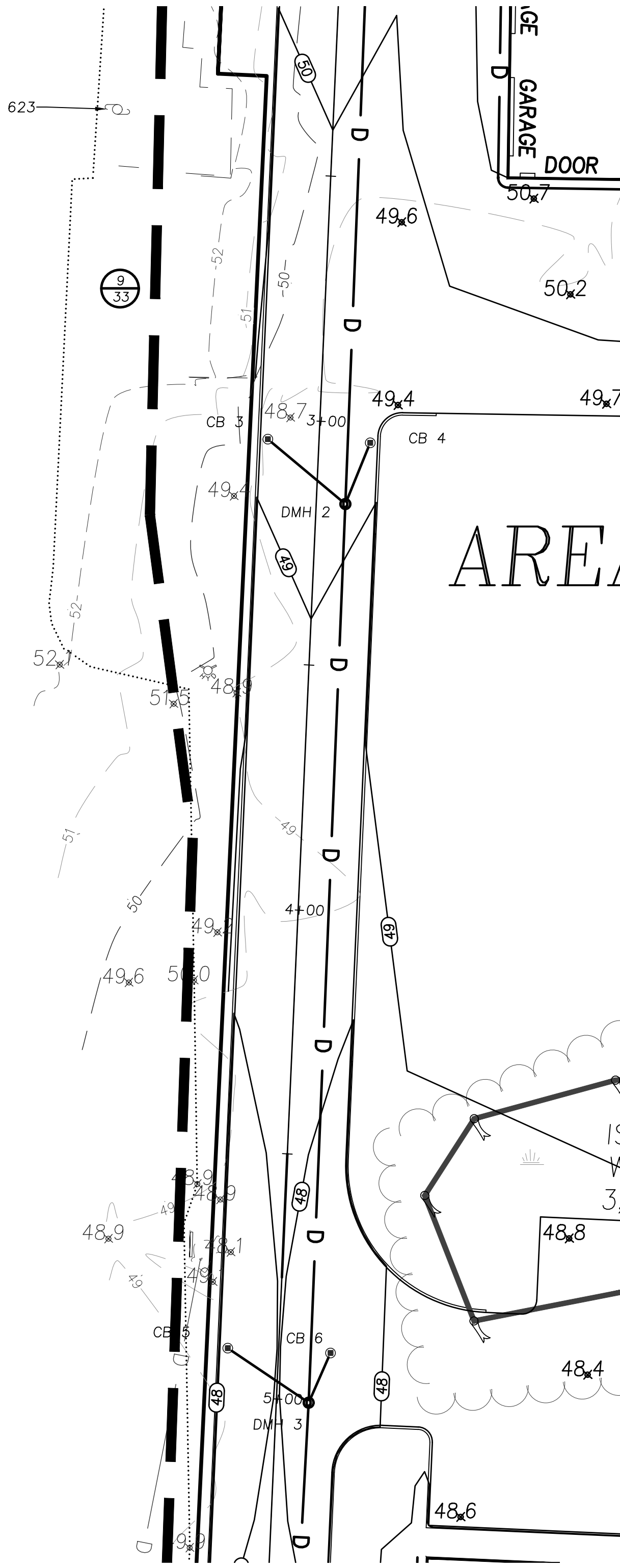
LOCUS MAP
N.T.S.



RESOURCE AREA IMPACTS

TOTAL BUFFER ZONE IMPACT = 31,638 S.F.
0' - 50' BUFFER ZONE IMPACT = 9,752 S.F.
50' - 100' BUFFER ZONE IMPACT = 21,886 S.F.

ISOLATED WETLAND FILL = 3,300 S.F.



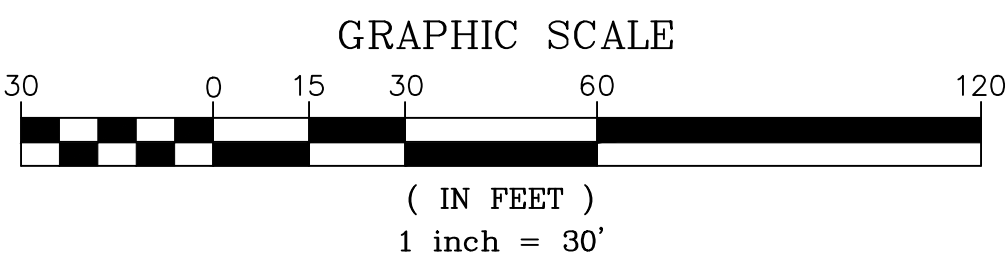
GRADING
BLOW-UP DETAIL

1"=20'

LEGEND

- 28 — EXIST. CONTOUR
- (27) — PROP. CONTOUR
- SF — PROP. SILTATION BARRIER
- — PROP. TREELINE/LIMIT OF WORK
- — PROP. CONC. SIDEWALK

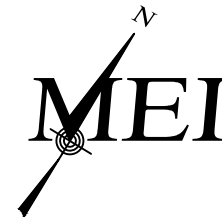
- PROP. CATCH BASIN
- EXIST. CATCH BASIN
- 28.3 PROP. SPOT GRADE
- EXIST. UTILITY POLE
- PROP. OUTLET STRUCTURE
- WETLANDS
- EXIST. TEST PIT



PREPARED FOR

F & D REALTY LLC
1 MELVIN STREET, SUITE C
WAKEFIELD, MA 01880

7	3/1/23	ADDRESS REVIEW COMMENTS	S.R.C.
6	2/7/23	REMOVE STORAGE AREA	J.T.M.
5	1/4/23	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
4	12/7/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
3	10/20/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
2	9/1/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
1	6/21/22	ADDRESS TOWN COMMENTS	C.M.Y.
NO.	DATE	DESCRIPTION	BY



MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

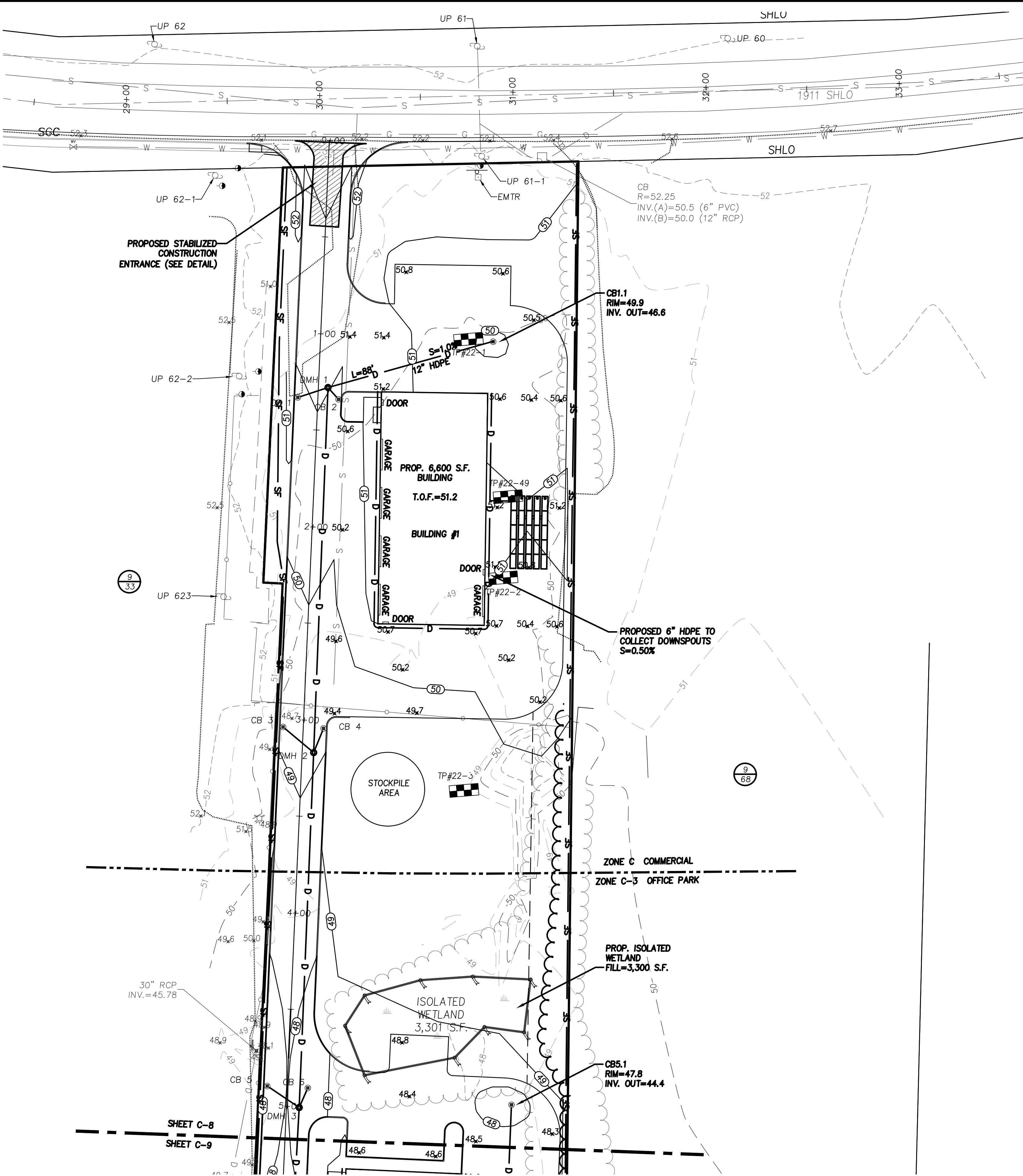
SCALE: 1"=30'
DATE: JUN. 1, 2022
DESIG. BY: C.M.Y.
CHKD. BY: E.W.B.
PROJECT: M183284

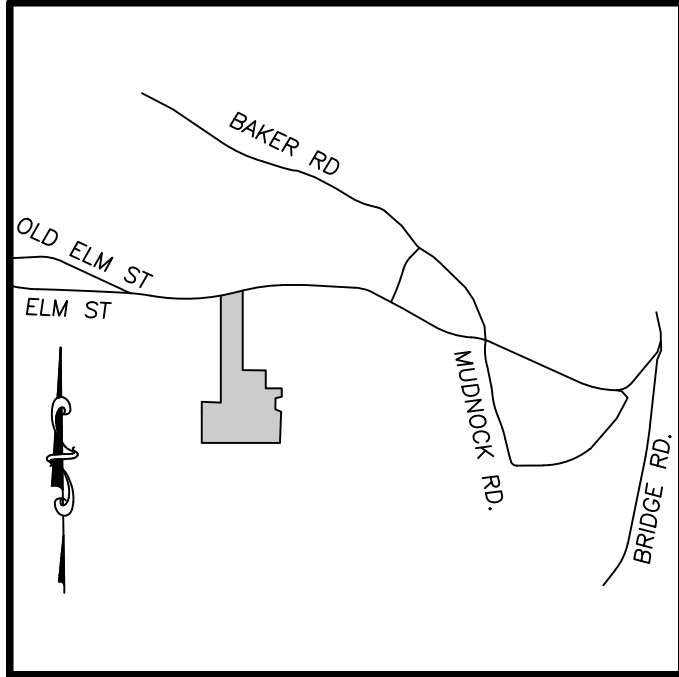
PLAN OF LAND
IN
SALISBURY, MA

SHOWING
PROPOSED SITE IMPROVEMENTS
AT
163 ELM STREET

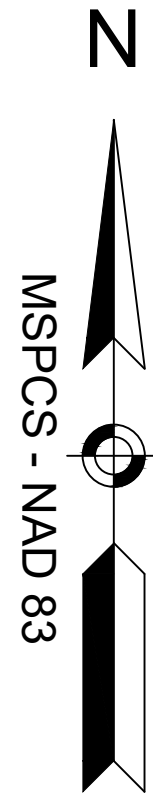
**GRADING
PLAN**

SHEET: C-7



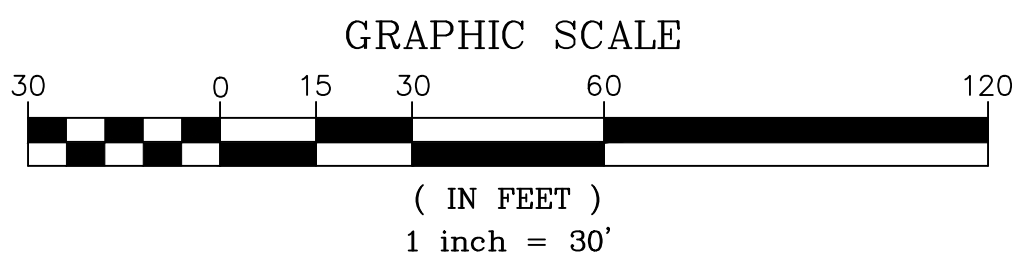
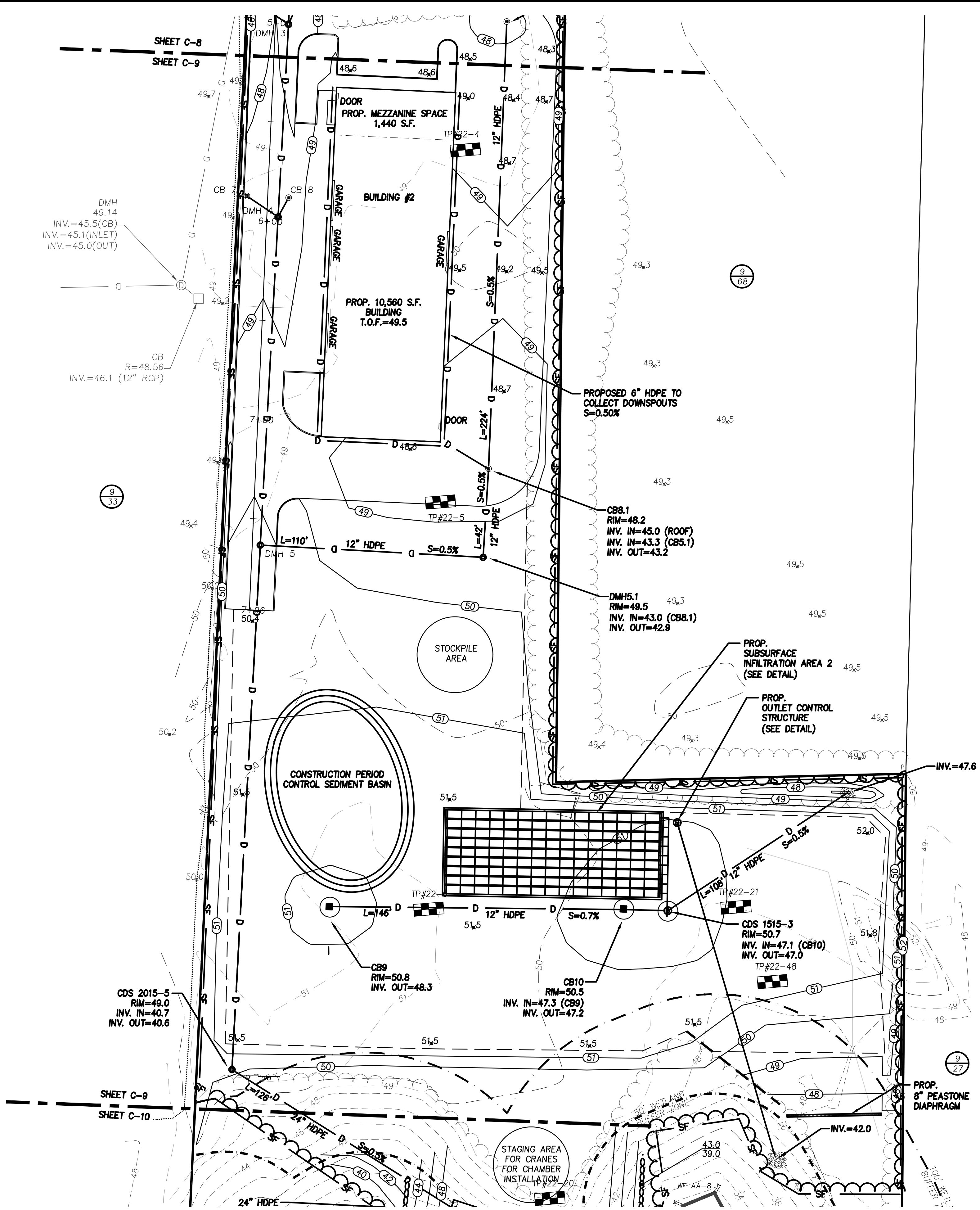
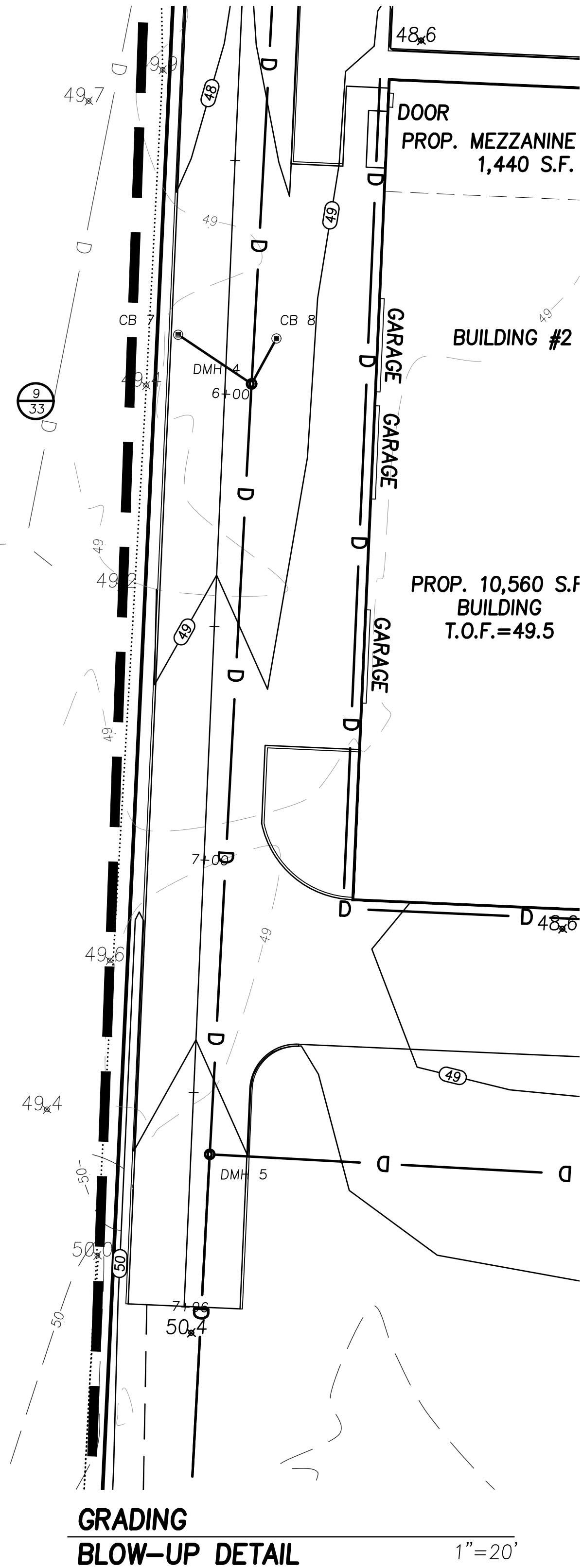


LOCUS MAP
N.T.S.



LEGEND

	EXIST. CONTOUR
	PROP. CONTOUR
	PROP. SILTATION BARRIER
	PROP. TREELINE/LIMIT OF WORK
	PROP. CONC. SIDEWALK
	PROP. CATCH BASIN
	EXIST. CATCH BASIN
	PROP. SPOT GRADE
	EXIST. UTILITY POLE
	PROP. OUTLET STRUCTURE
	WETLANDS
	EXIST. TEST PIT



PREPARED FOR
F & D REALTY LLC
1 MELVIN STREET, SUITE C
WAKEFIELD, MA 01880

7	3/1/23	ADDRESS REVIEW COMMENTS	S.R.C.
6	2/7/23	REMOVE STORAGE AREA	J.T.M.
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2	9/1/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
1	6/21/22	ADDRESS TOWN COMMENTS	C.M.Y.
NO.	DATE	DESCRIPTION	BY



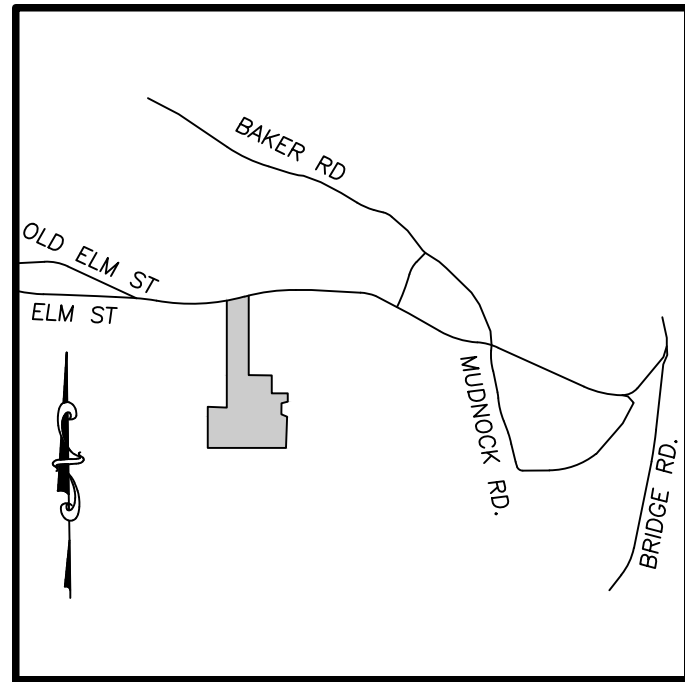
MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=30'	DESIG. BY: C.M.Y.	PROJECT: M183284
DATE: JUN. 1, 2022	CHKD. BY: E.W.B.	

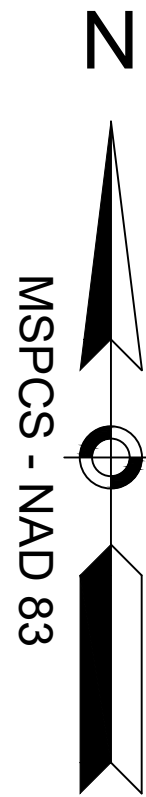
PLAN OF LAND
IN
SALISBURY, MA
SHOWING
PROPOSED SITE IMPROVEMENTS
AT
163 ELM STREET

**GRADING
PLAN**

SHEET: C-8

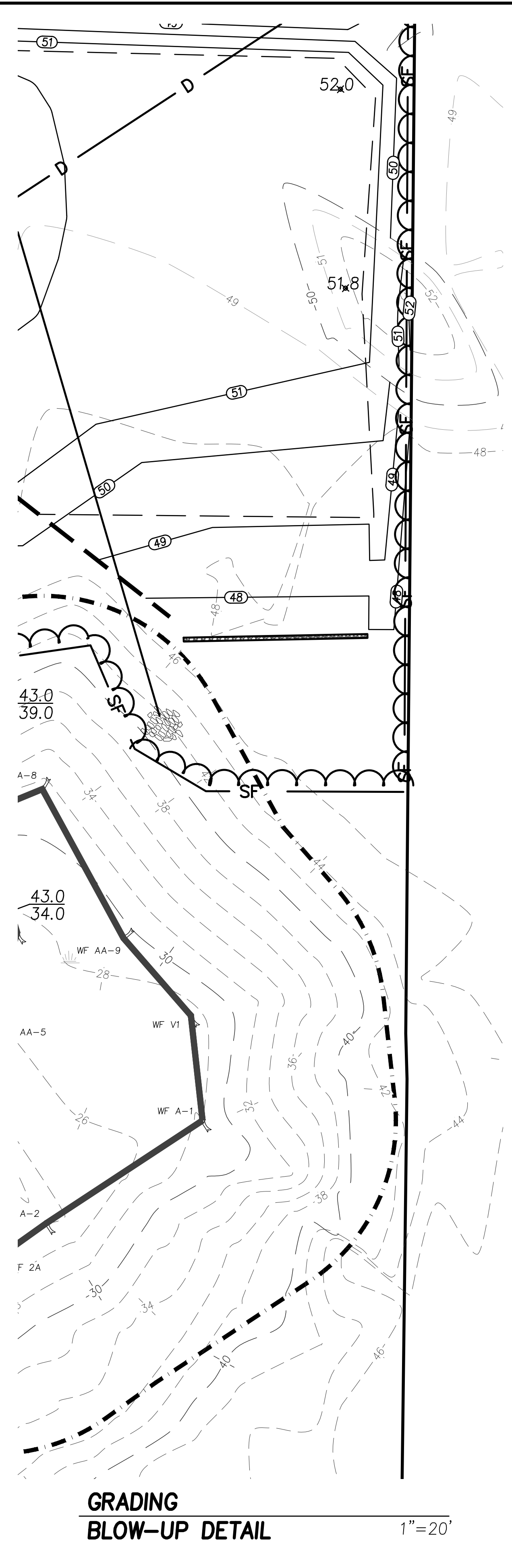
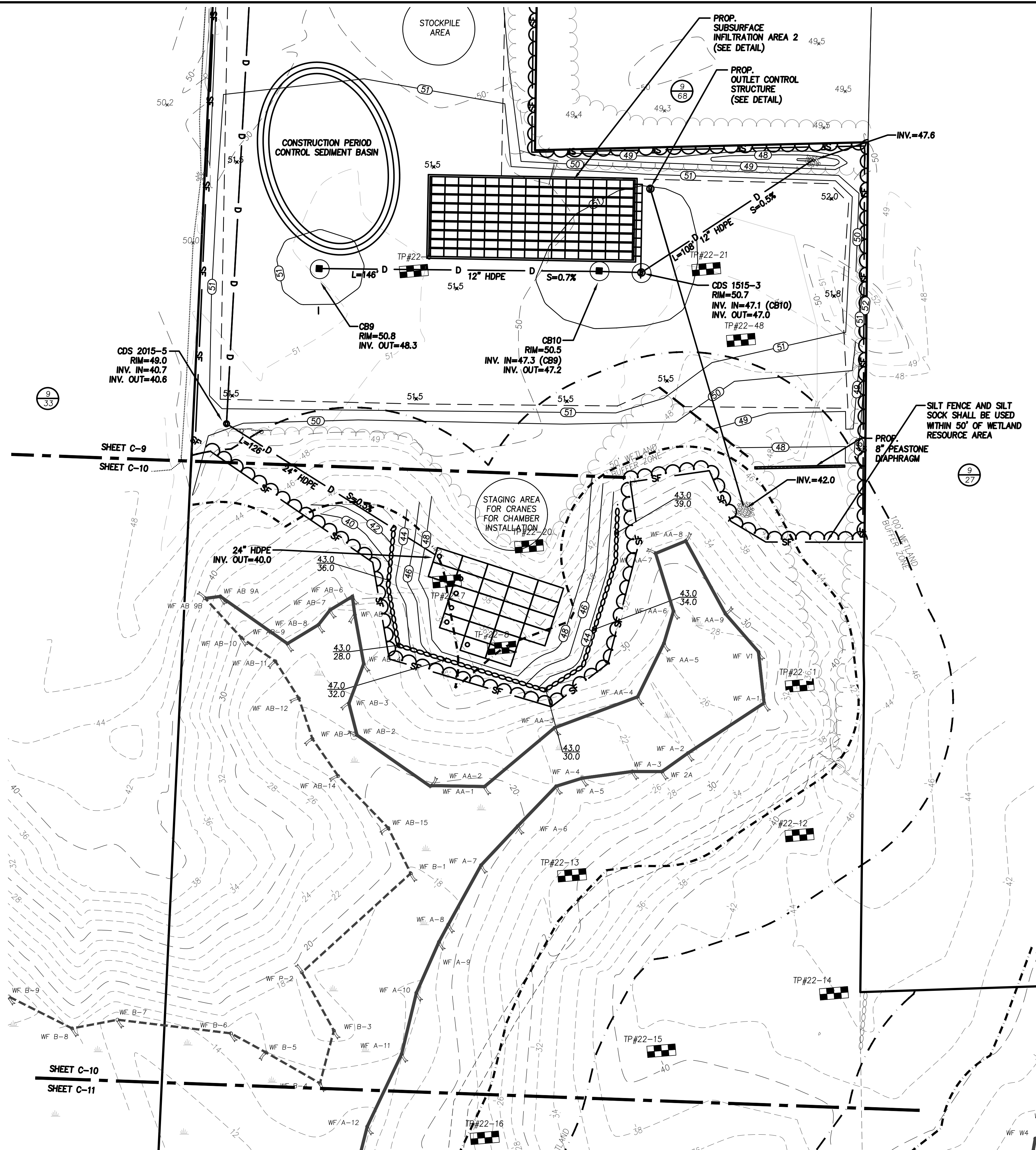


LOCUS MAP
N.T.S.

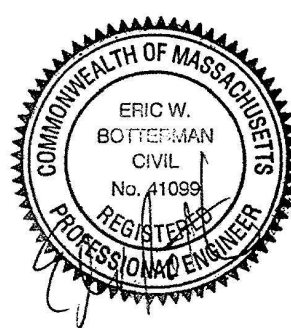
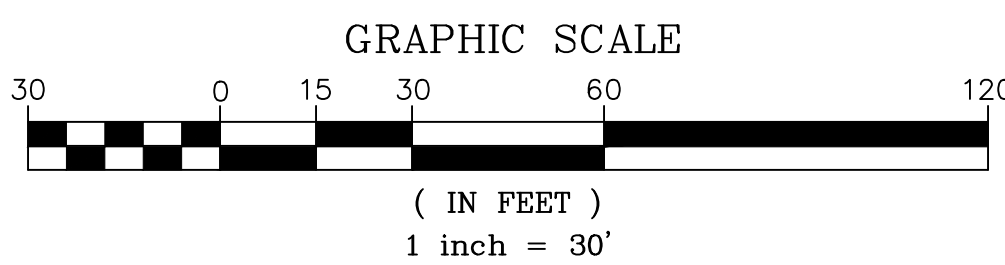


LEGEND

- | | | | |
|--|------------------------------|--|---------------------|
| | EXIST. CONTOUR | | EXIST. CATCH BASIN |
| | PROP. CONTOUR | | EXIST. UTILITY POLE |
| | PROP. SILTATION BARRIER | | WETLANDS |
| | PROP. TREELINE/LIMIT OF WORK | | EXIST. TEST PIT |
| | PROP. CONC. SIDEWALK | | |
| | PROP. CATCH BASIN | | |
| | PROP. SPOT GRADE | | |
| | PROP. OUTLET STRUCTURE | | |

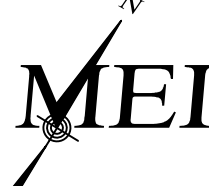


**GRADING
BLOW-UP DETAIL**
1"=20'



PREPARED FOR
F & D REALTY LLC
1 MELVIN STREET, SUITE C
WAKEFIELD, MA 01880

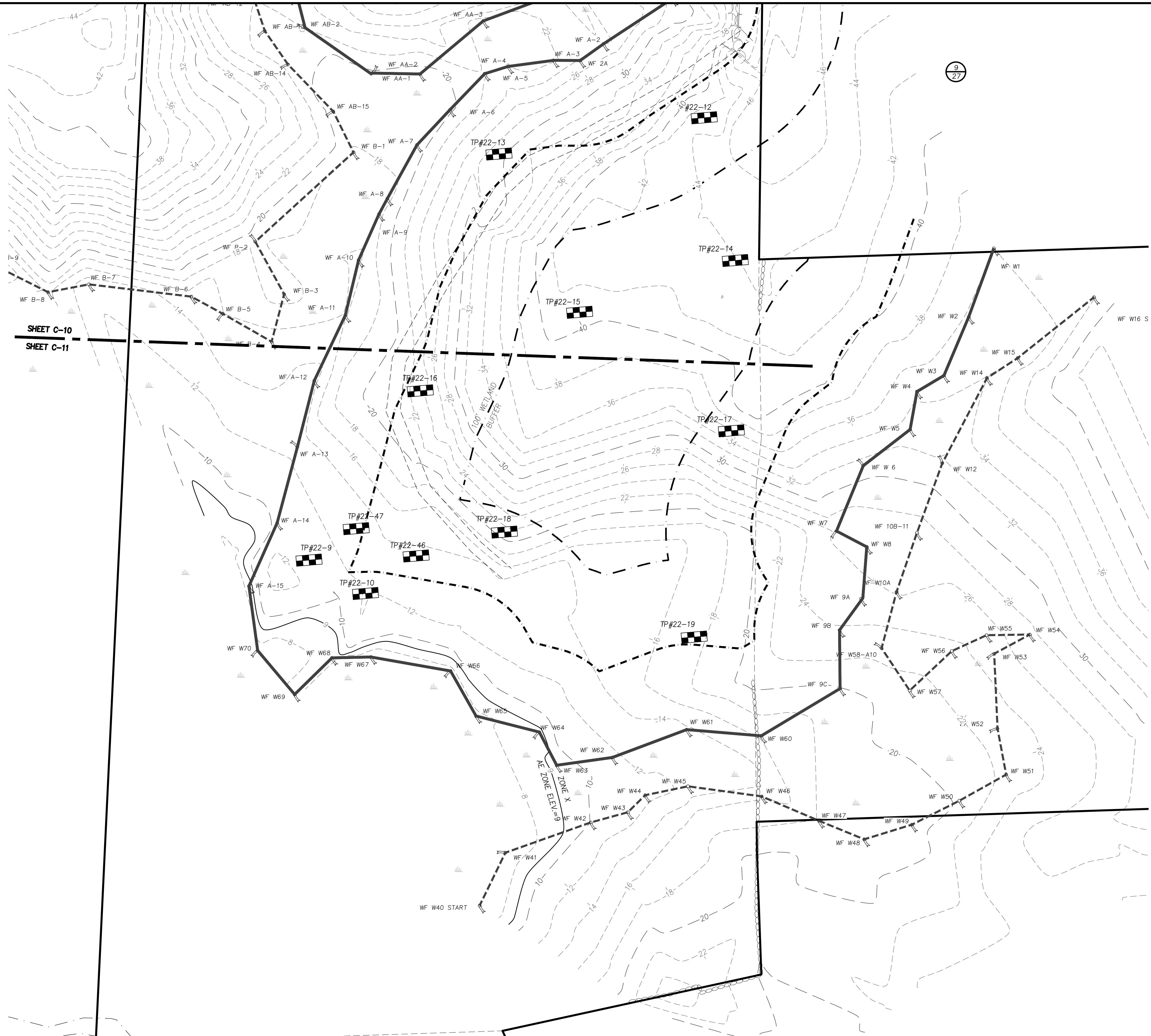
NO.	DATE	DESCRIPTION	BY
7	3/1/23	ADDRESS REVIEW COMMENTS	S.R.C.
6	2/7/23	REMOVE STORAGE AREA	J.T.M.
5	1/4/23	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
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2	9/1/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
1	6/21/22	ADDRESS TOWN COMMENTS	C.M.Y.

**MILLENNIUM ENGINEERING, INC.**
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

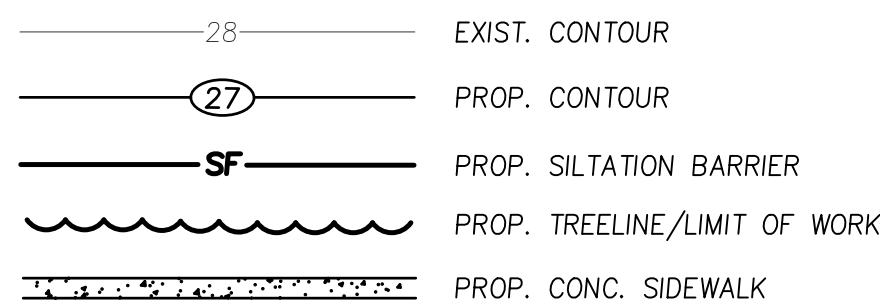
SCALE: 1"=30'	DESIG. BY: C.M.Y.	PROJECT: M183284
DATE: JUN. 1, 2022	CHKD. BY: E.W.B.	

PLAN OF LAND
IN
SALISBURY, MA
SHOWING
PROPOSED SITE IMPROVEMENTS
AT
163 ELM STREET

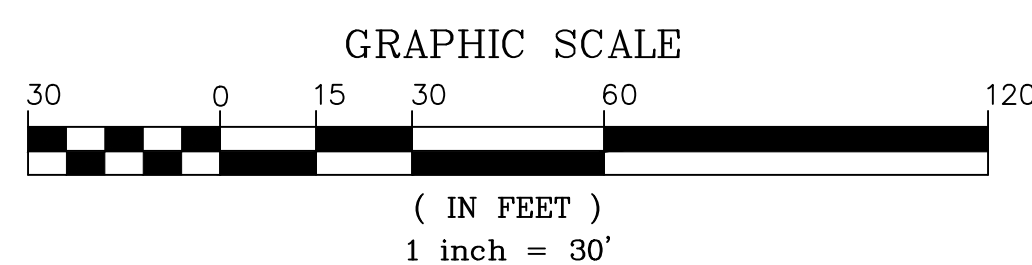
**GRADING
PLAN**
SHEET: C-9



LEGEND



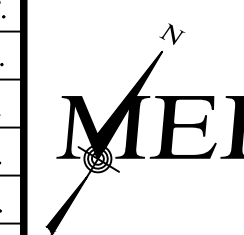
-  PROP. CATCH BASIN
  EXIST. CATCH BASIN
 PROP. SPOT GRADE
  EXIST. UTILITY POLE
 PROP. OUTLET STRUCTURE
  WETLANDS
 TP
  EXIST. TEST PIT



PREPARED FOR

F & D REALTY LLC
1 MELVIN STREET, SUITE C
WAKEFIELD, MA 01880

7	3/1/23	ADDRESS REVIEW COMMENTS	S.R.C.
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1	6/21/22	ADDRESS TOWN COMMENTS	C.M.Y.
NO.	DATE	DESCRIPTION	BY



MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

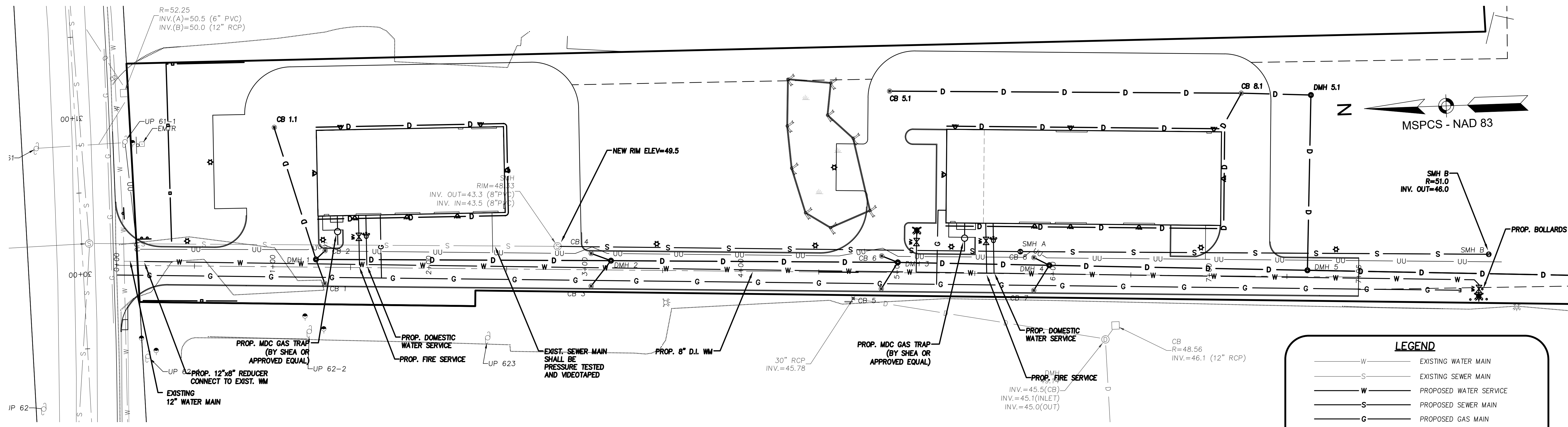
SCALE: 1"=30'	DESG. BY: C.M.Y.	PROJECT: M183284
DATE: JUN. 1, 2022	CHKD. BY: E.W.B.	

PLAN OF LAND
IN
SALISBURY, MA

SHOWING
PROPOSED SITE IMPROVEMENTS
AT
163 ELM STREET

GRADING PLAN

SHEET: C-10

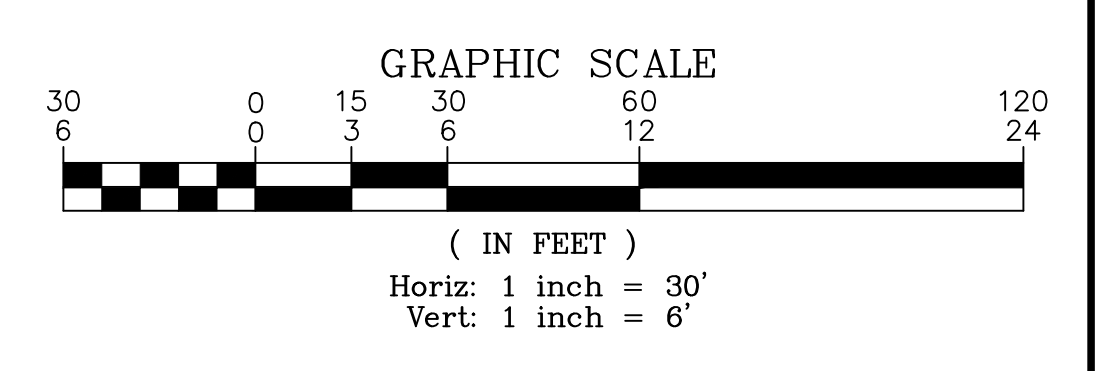
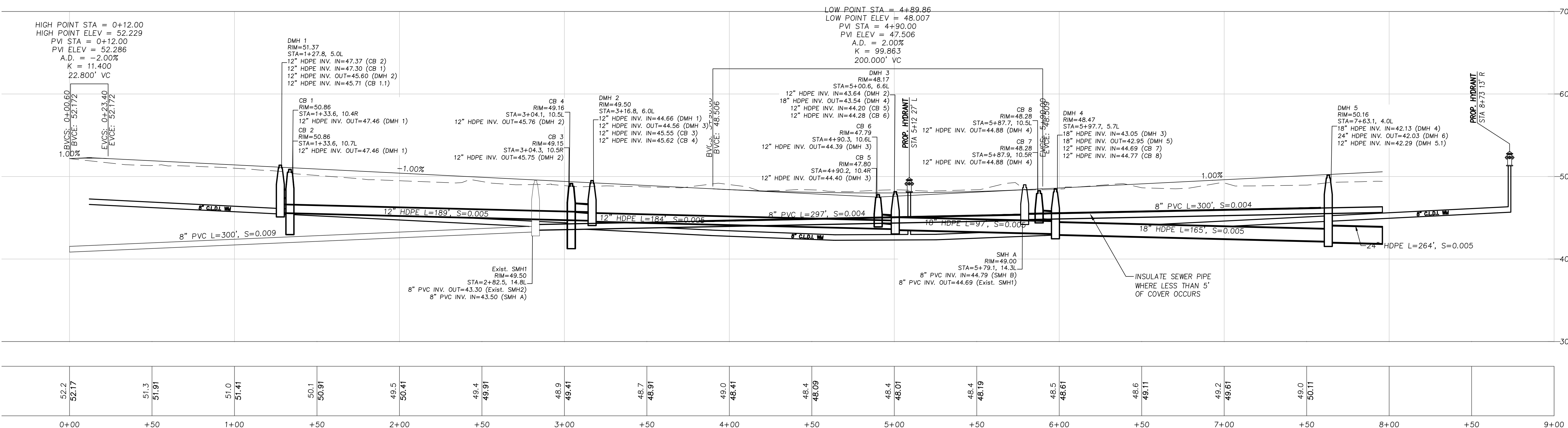


SEWER NOTES

THE EXISTING SEWER MAIN WITHIN THE SITE SHALL BE PRESSURE TESTED AND INSPECTED BY VIDEO PRIOR TO THE INSTALLATION OF ANY NEW SEWER MAIN.

LEGEND

- W — EXISTING WATER MAIN
- S — EXISTING SEWER MAIN
- W — PROPOSED WATER SERVICE
- S — PROPOSED SEWER MAIN
- G — PROPOSED GAS MAIN
- UU — PROPOSED UNDERGROUND UTILITIES
- Existing Fire Hydrant
- Proposed Water Gate
- Proposed Street Light
- Proposed Water Shutoff
- Proposed Sewer Service
- Proposed Fire Hydrant



PREPARED FOR

F & D REALTY LLC

1 MELVIN STREET, SUITE C
WAKEFIELD, MA 01880

NO.	DATE	DESCRIPTION	BY
7	3/1/23	ADDRESS REVIEW COMMENTS	S.R.C.
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MILLENNIUM ENGINEERING, INC.

ENGINEERING AND LAND SURVEYING

62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=30'

DESIGNER: C.M.Y.

DATE: JUN. 1, 2022

CHKD. BY: E.W.B.

PROJECT: M183284

PLAN OF LAND

IN

SALISBURY, MA

SHOWING

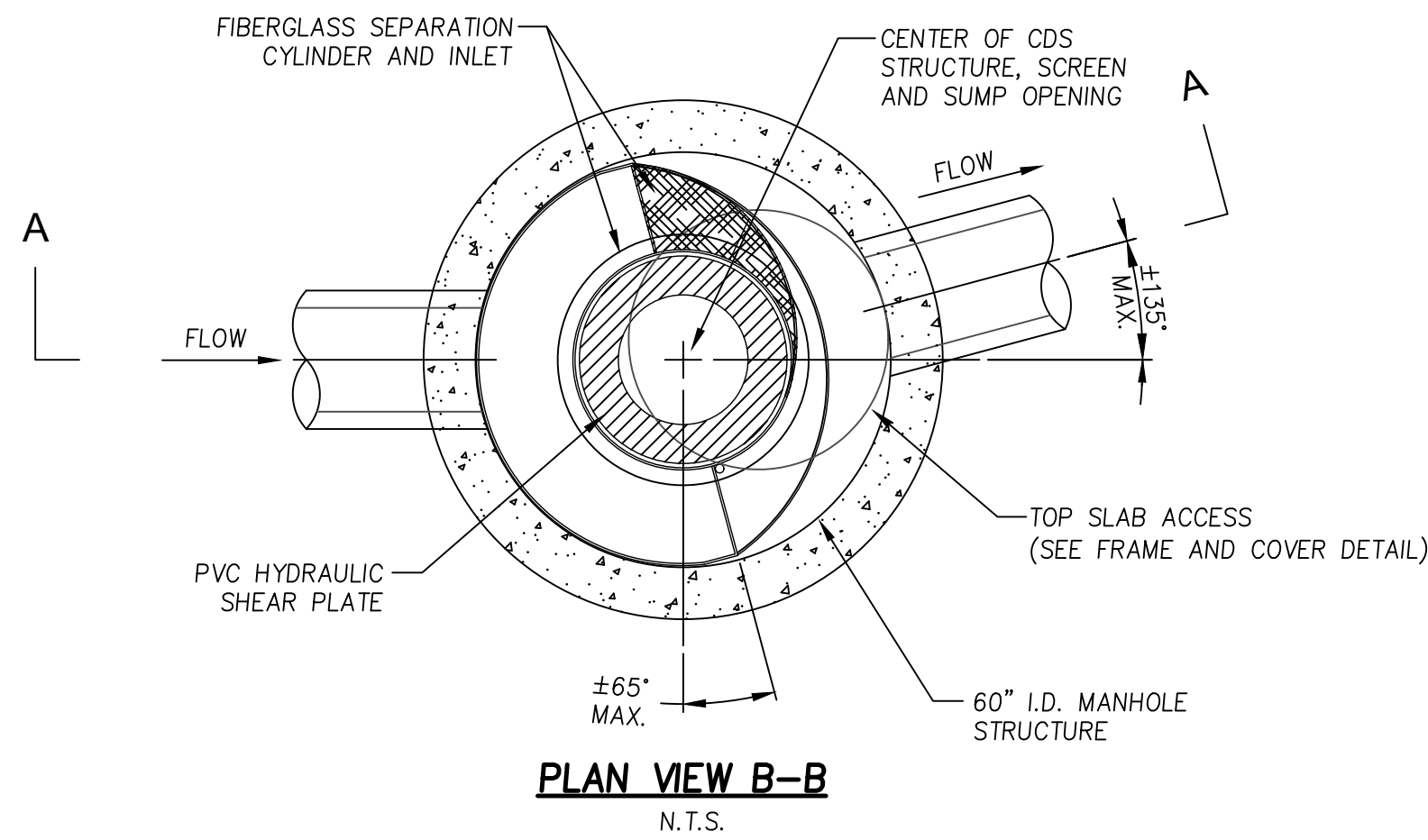
PROPOSED SITE IMPROVEMENTS

AT

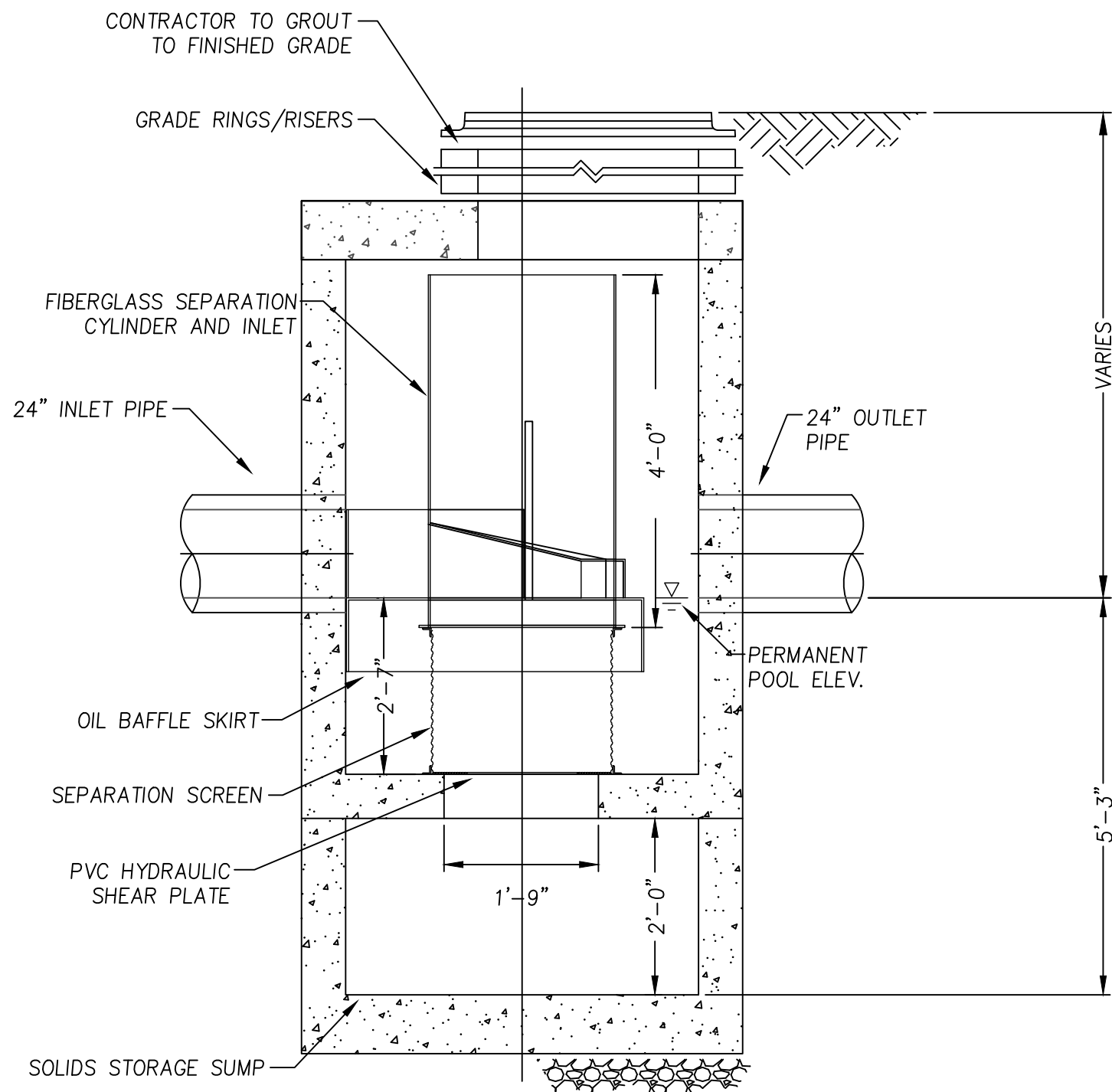
163 ELM STREET

UTILITY PLAN & PROFILE

SHEET: C-11

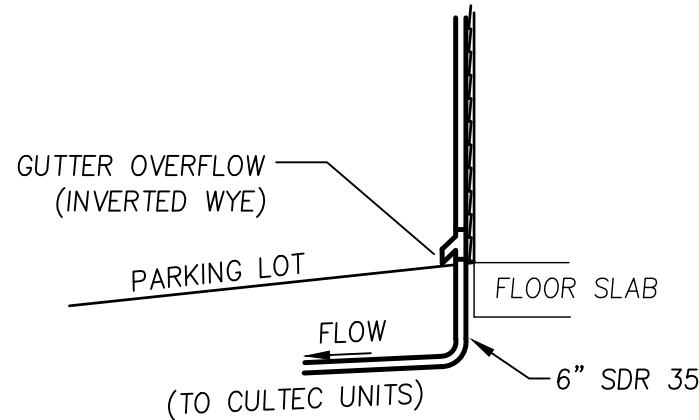


FRAME AND COVER
(DIAMETER VARIES)
N.T.S.



ELEVATION A-A
N.T.S.

CDS2015-5-C
DETAIL

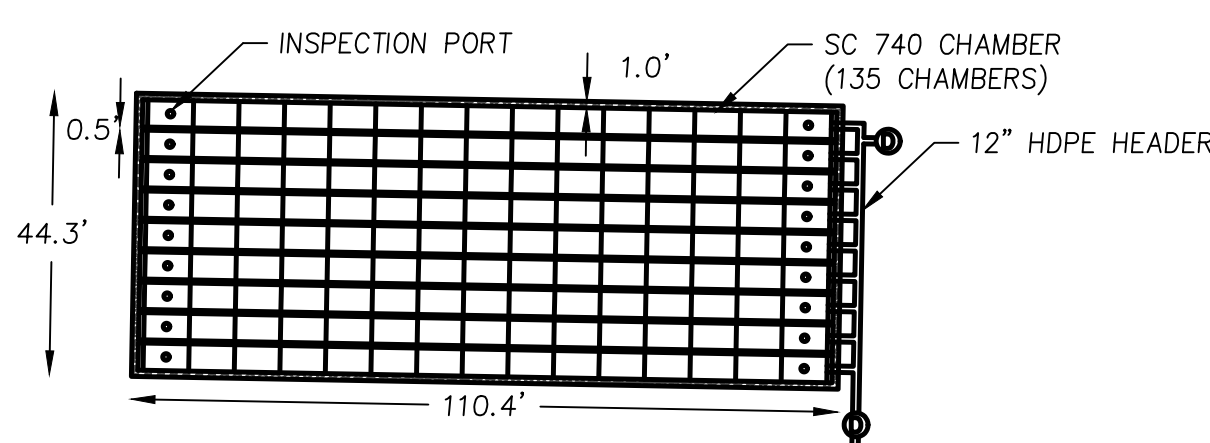


GUTTER DOWN
SPOUT DETAIL

N.T.S.

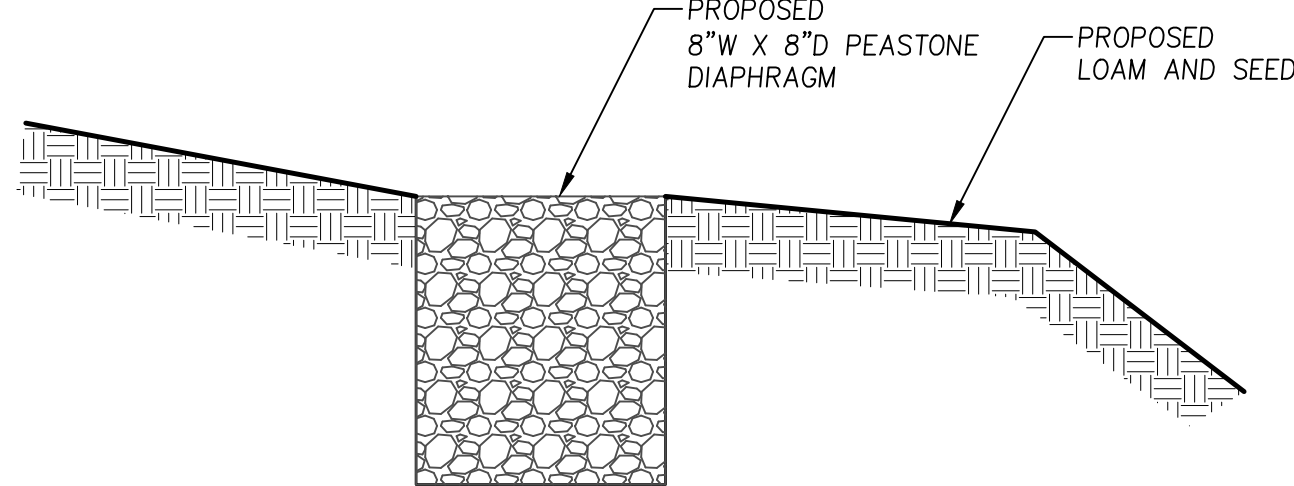
- GENERAL NOTES**
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 2. DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
 3. FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH CONSTRUCTION PRODUCTS REPRESENTATIVE: www.contech-cpi.com
 4. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
 5. STRUCTURE SHALL MEET AASHTO HS20 AND CASTINGS SHALL MEET AASHTO M306 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
 6. PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

- INSTALLATION NOTES**
1. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 2. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
 3. CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
 4. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
 5. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



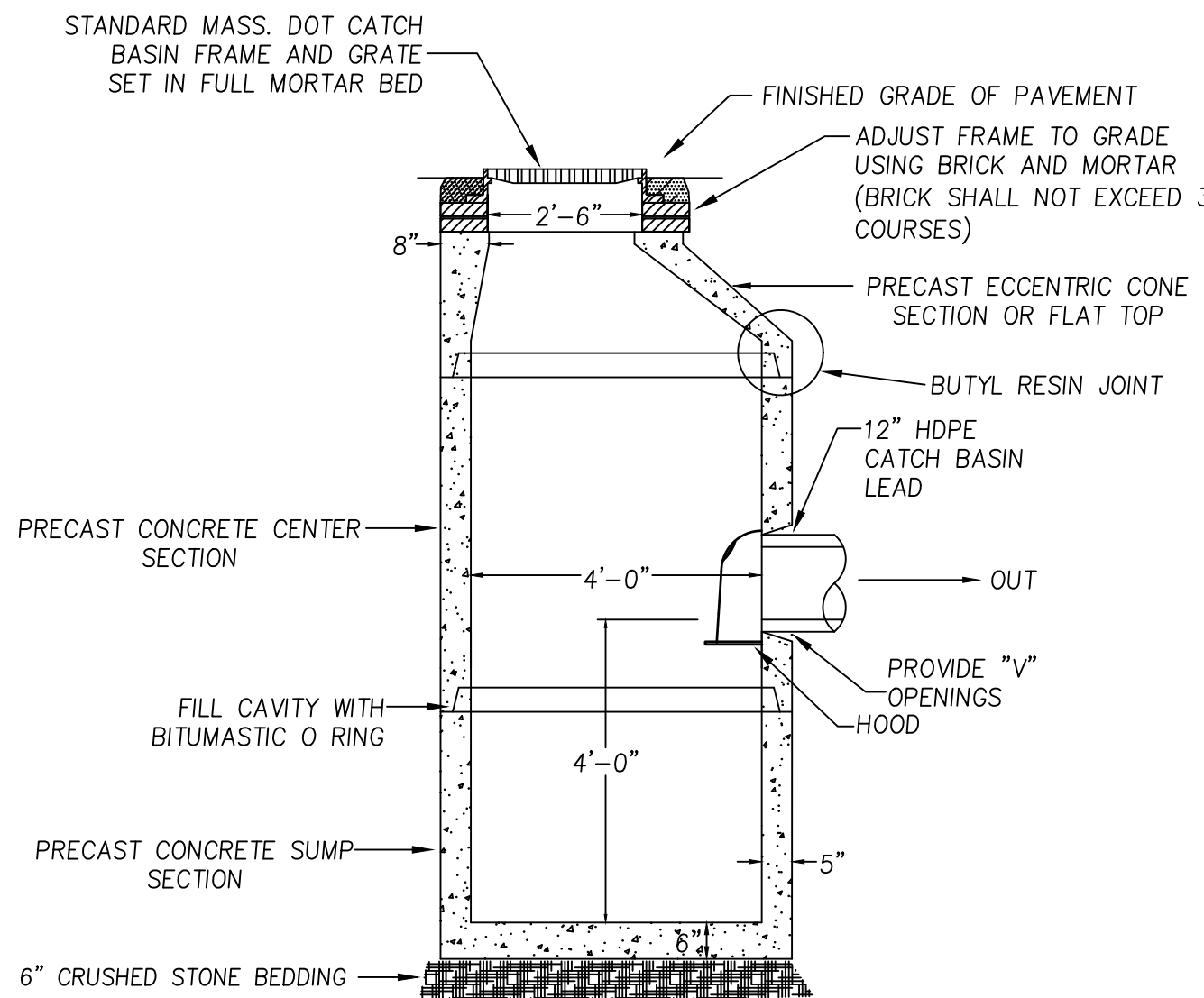
INFILTRATION AREA 2
DETAIL

N.T.S.



PEASTONE DIAPHRAGM
DETAIL

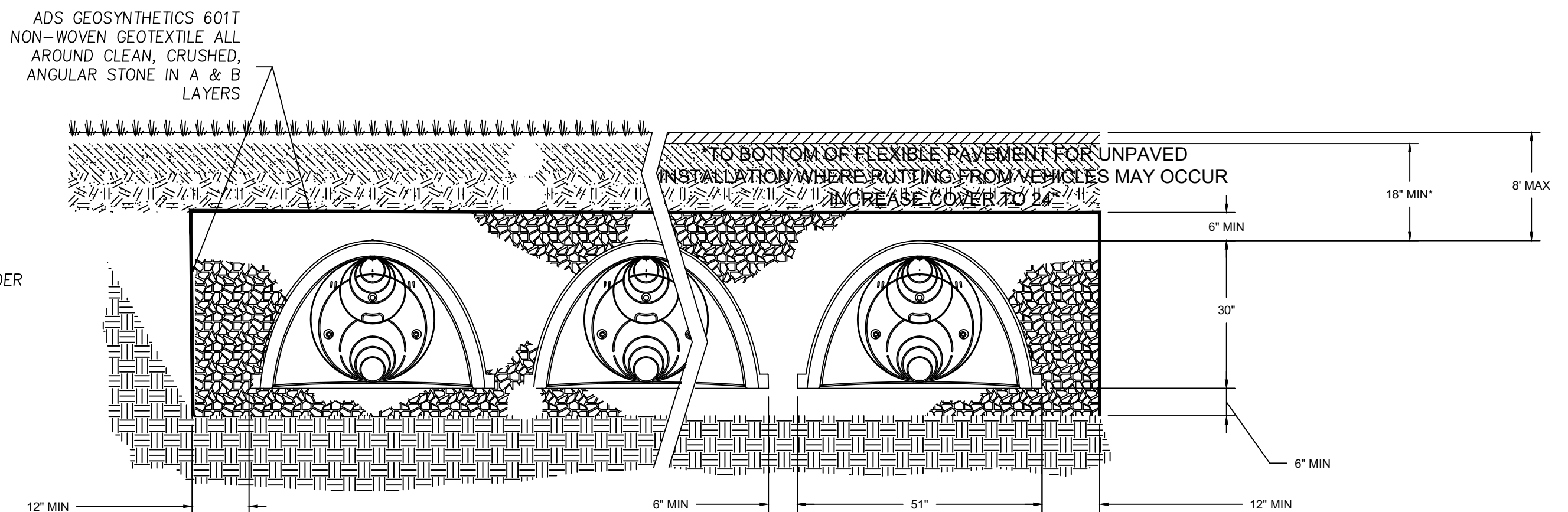
N.T.S.



- NOTES: 1) CATCH BASINS SHALL CONFORM TO ASTM C478 AND ASTM C185
2) FLAT TOP STRUCTURES SHALL BE PRECAST SECTIONS AND HAVE A 28 DAY COMPRESSIVE STRENGTH OF 5000 PSI REINFORCED FOR AASHTO H-20 LOADING.
3) CONICAL SECTIONS MAY BE SUBSTITUTED FOR FLAT-TOP STRUCTURES IN AREAS WHERE MORE THAN 4 FEET OF COVER IS PROVIDED FOR DRAIN PIPE.

PRECAST DEEP SUMP
CATCH BASIN DETAIL

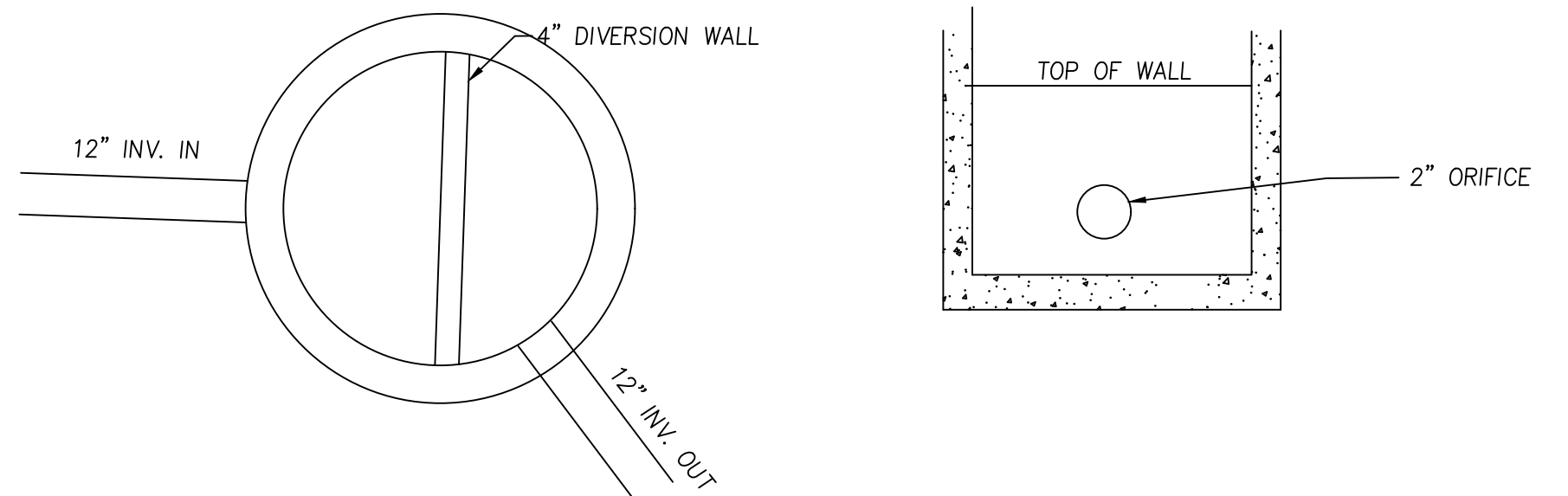
N.T.S.



SUBSURFACE AREA	BOT. STONE ELEV.	BOT. CHAMBER ELEV.	TOP CHAMBER ELEV.	TOP STONE ELEV.	100 YR STORM ELEV.
INF. AREA 2	46.50	47.00	49.50	50.00	49.89

STORMTECH SC 740
INFILTRATION CHAMBER

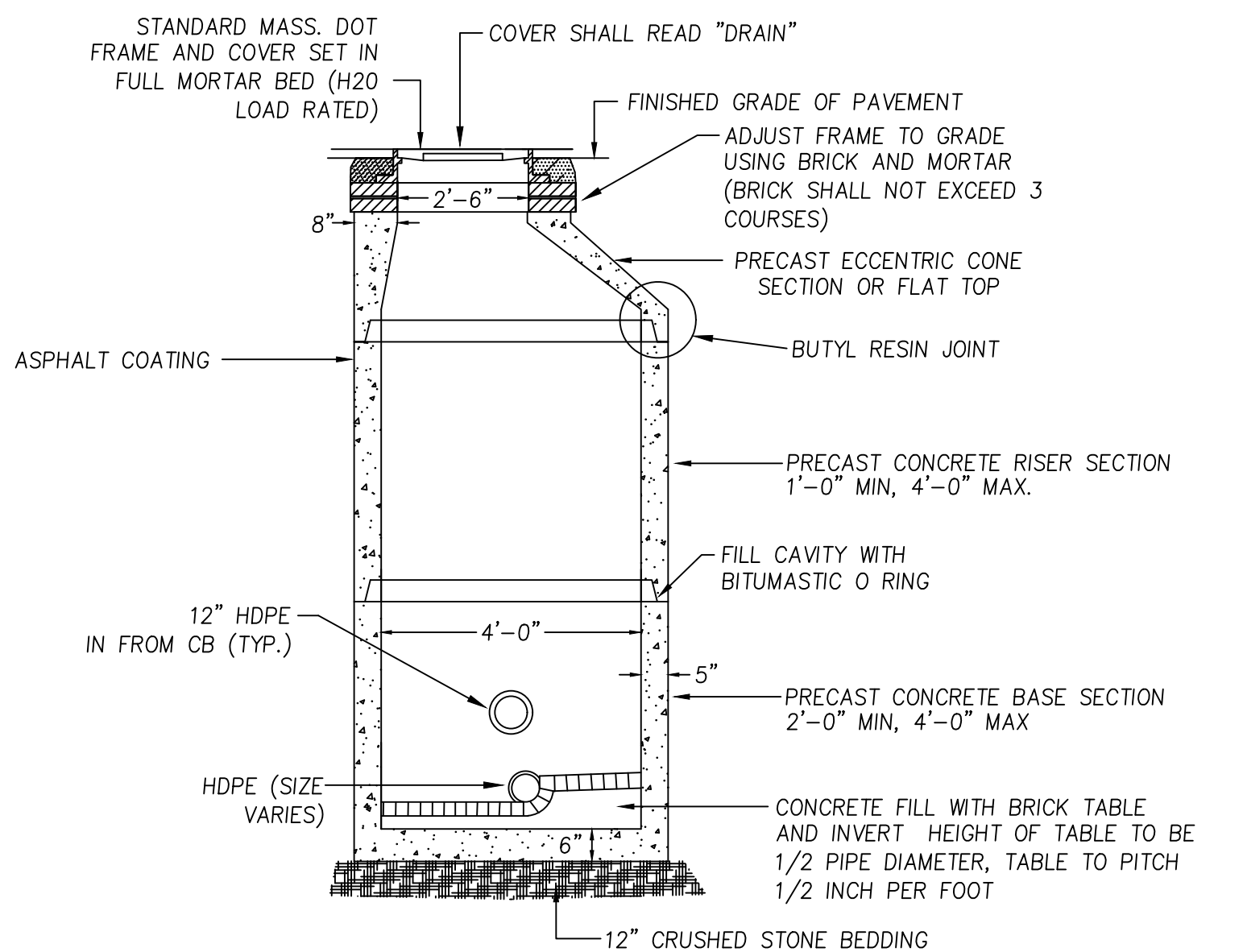
N.T.S.



SUBSURFACE AREA	INV. OUT ELEV.	INV. IN ELEV.	2\" ORIFICE ELEV.	TOP OF WALL ELEV.	RIM ELEV.
INF. AREA 2	76.50	47.00	48.20	49.20	51.0

DRAIN OUTLET MANHOLE 1
DETAIL

N.T.S.



- NOTES: 1) DRAIN MANHOLES SHALL CONFORM TO ASTM C478 AND ASTM C185

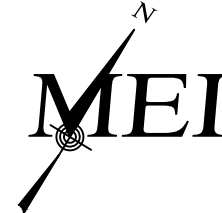
PRECAST DRAIN
MANHOLE DETAIL

N.T.S.



PREPARED FOR
F & D REALTY LLC
1 MELVIN STREET, SUITE C
WAKEFIELD, MA 01880

NO.	DATE	DESCRIPTION	BY
7	3/1/23	ADDRESS REVIEW COMMENTS	S.R.C.
6	2/7/23	REMOVE STORAGE AREA	J.T.M.
5	1/4/23	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
4	12/7/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
3	10/20/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
2	9/1/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
1	6/21/22	ADDRESS TOWN COMMENTS	C.M.Y.



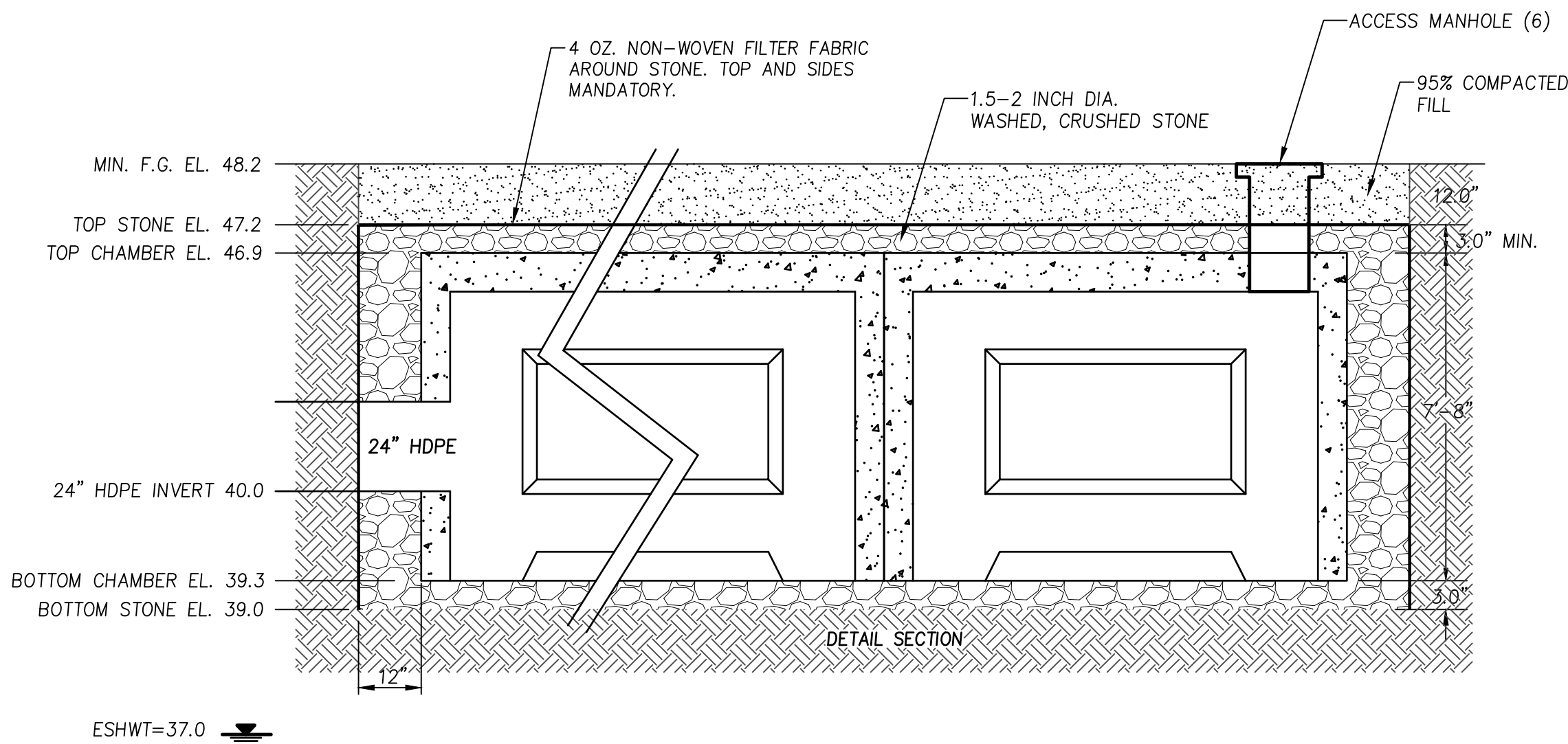
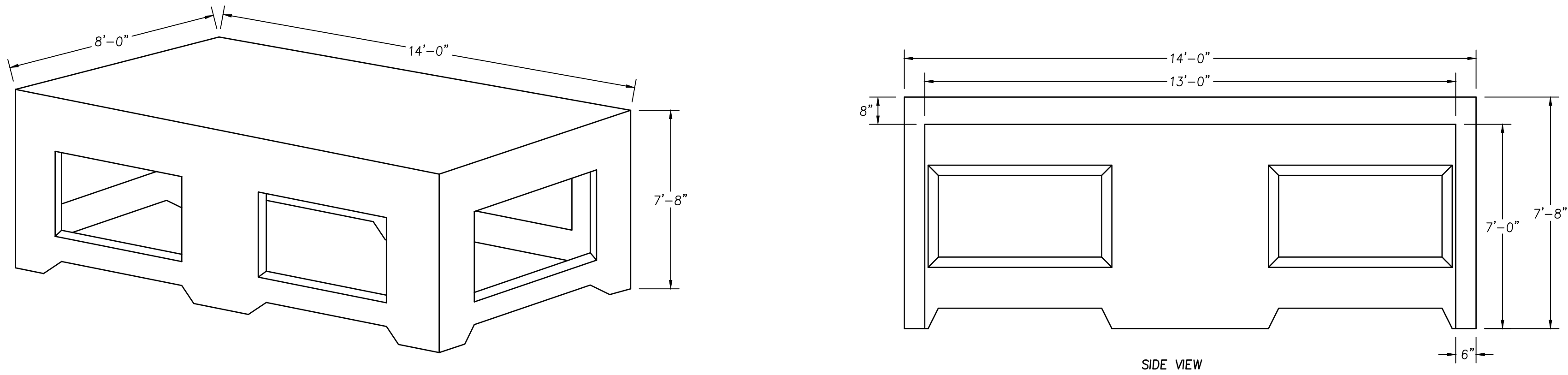
MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: AS NOTED	DESIG. BY: C.M.Y.	PROJECT: M183284
DATE: JUN. 1, 2022	CHKD. BY: E.W.B.	

PLAN OF LAND
IN
SALISBURY, MA
SHOWING
PROPOSED SITE IMPROVEMENTS
AT
163 ELM STREET

**DRAINAGE
DETAILS**

SHEET: C-12

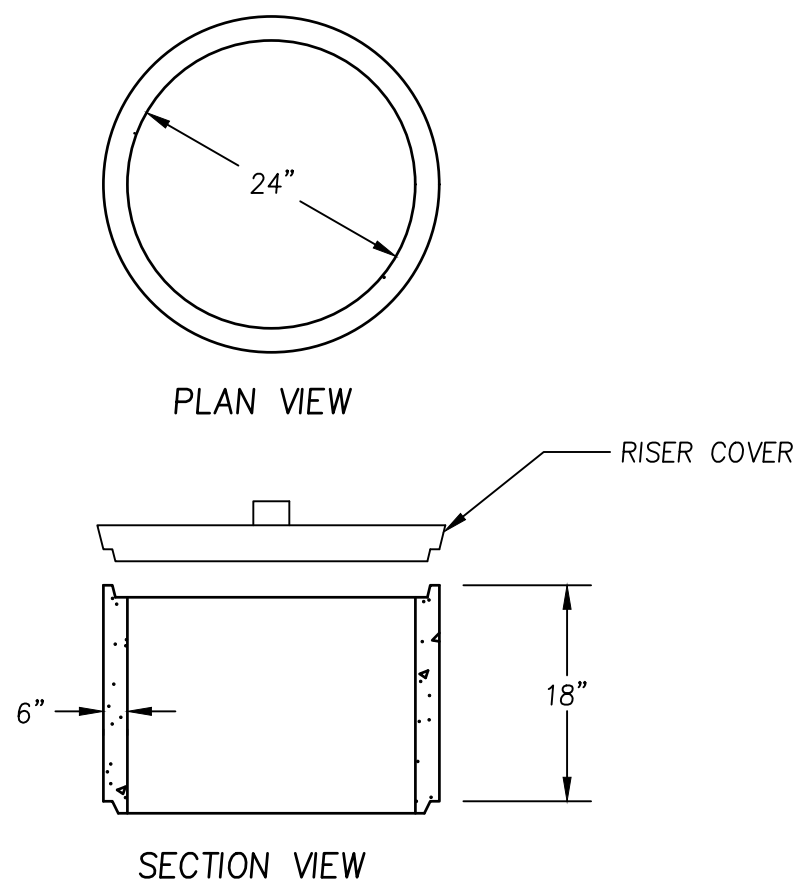


GENERAL NOTES:

1. LEACHING CHAMBER BY SHEA CONCRETE PRODUCTS OF AMESBURY, MA. CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. REFER TO SHEA CONCRETE PRODUCTS' CURRENT RECOMMENDED INSTALLATION.
2. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
3. END & SIDE UNITS DO NOT HAVE FLOW-THRU OPENINGS.
4. DESIGNED FOR AASHTO HS-20 LOAD, 0 TO 5FT COVER.

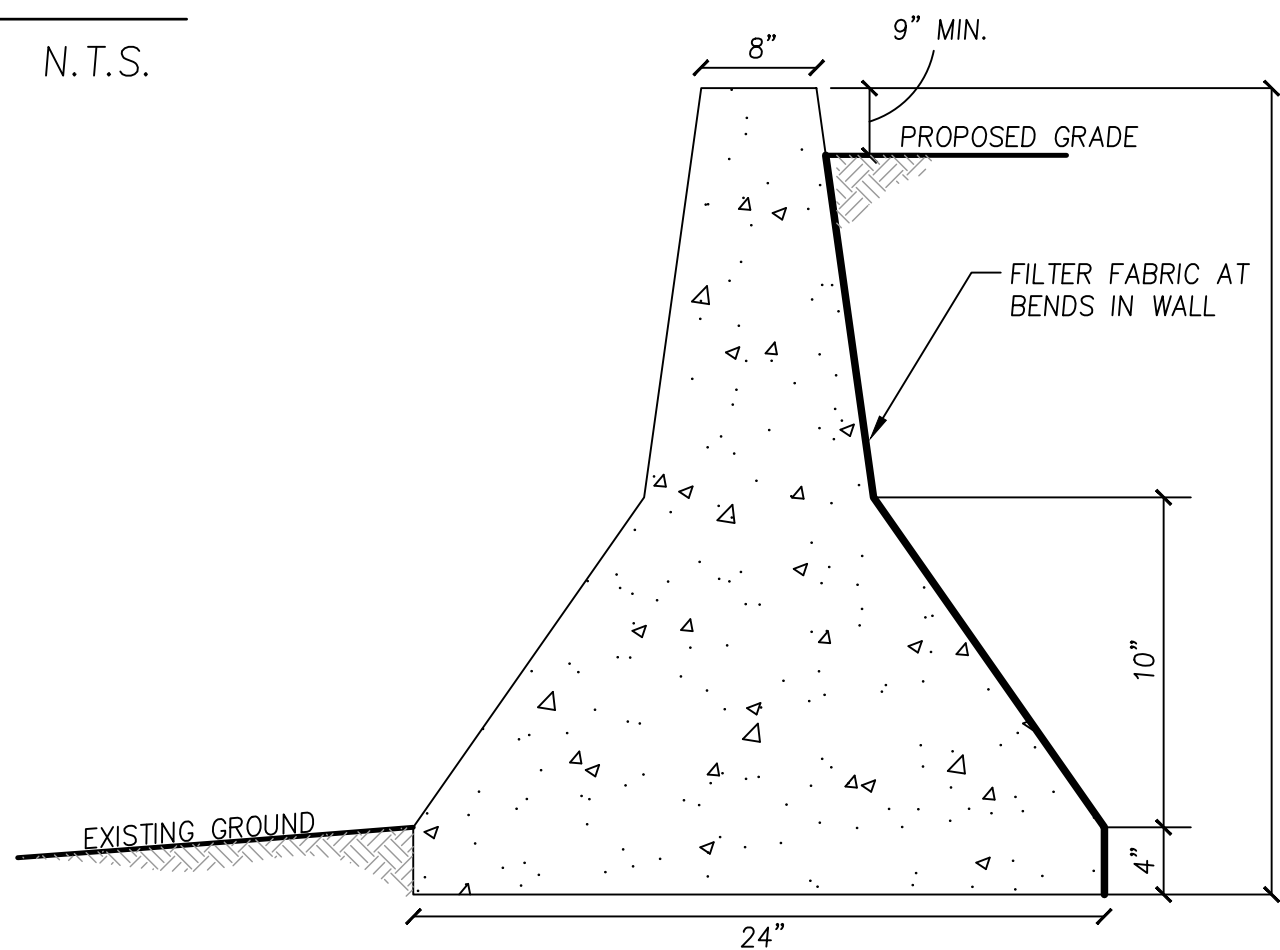
GALLEY LEACHING CHAMBER DETAIL

N.T.S.



ACCESS MANHOLE

DETAIL (H-20 LOADED) N.T.S.

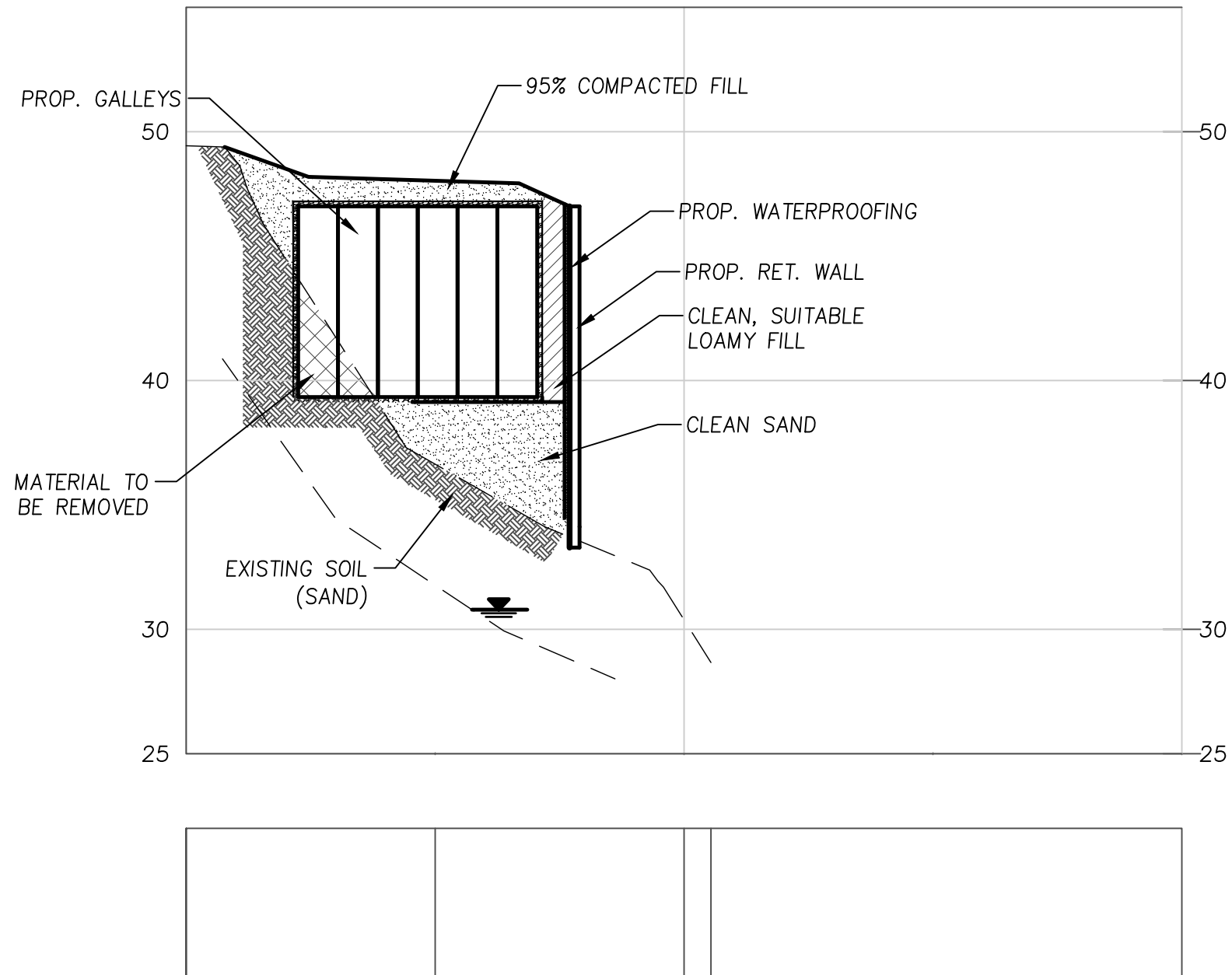


NOTES:

1. AT BENDS IN THE BARRIER WALL, FILTER FABRIC SHALL BE USED TO PREVENT EROSION.
2. BARRIERS SHALL BE CONNECTED TOGETHER WITH 1" ZINC-PLATED THREADED RODS, VARIABLE LENGTH, WITH A WASHER AND NUT AT BOTH ENDS. THE NUT SHALL BE FULLY ENGAGED. 2-PART EPOXY SHALL BE USED AS NECESSARY.

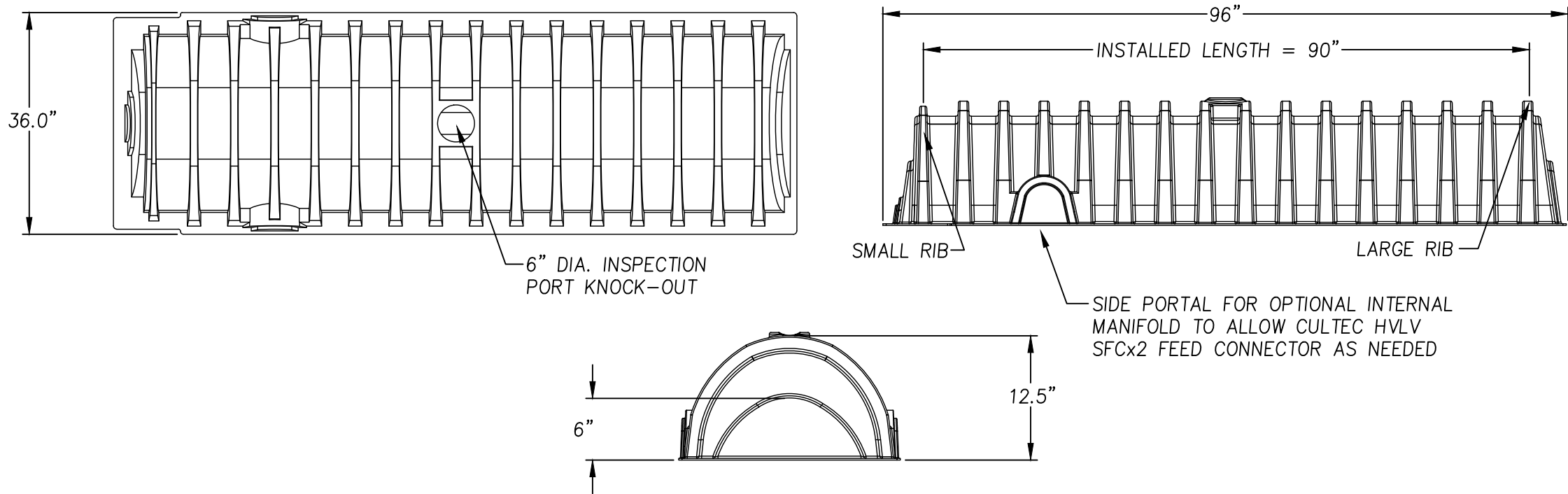
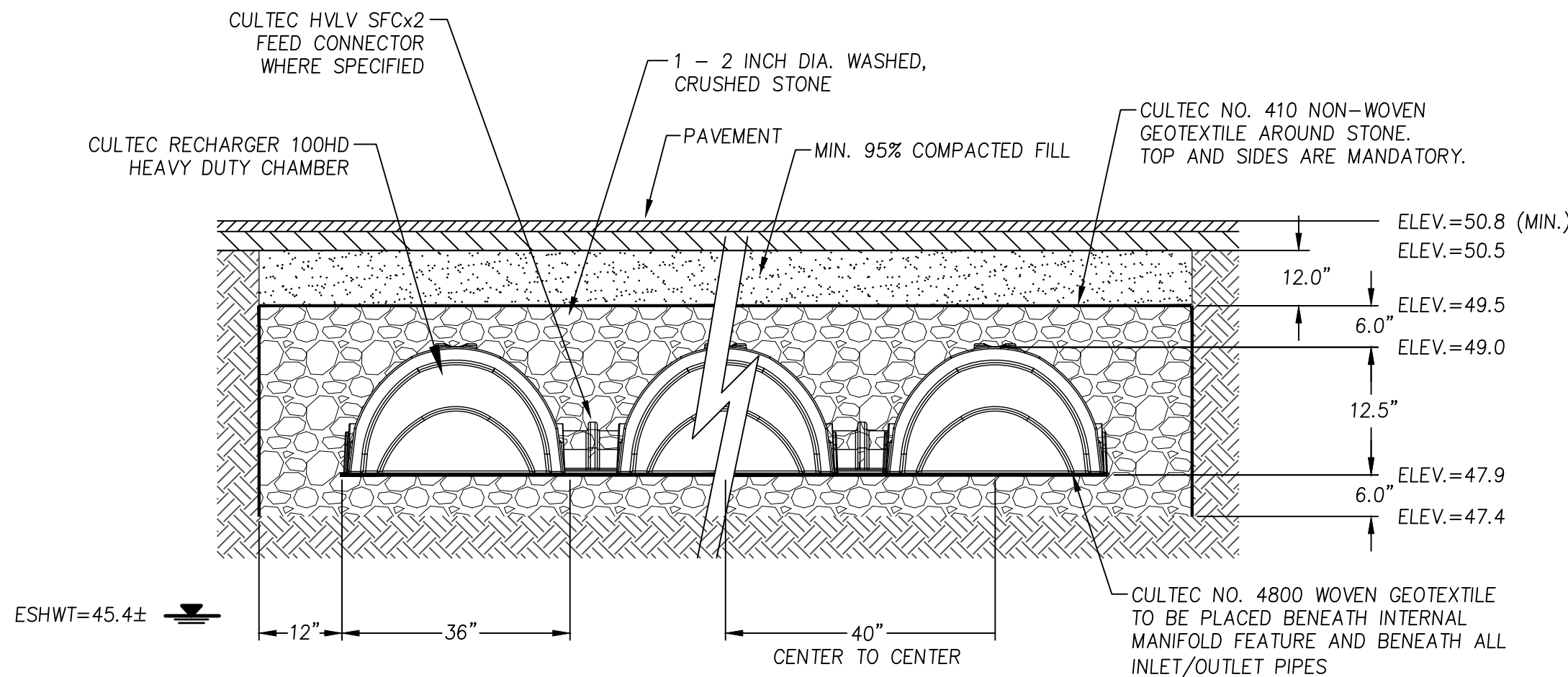
JERSEY BARRIER WALL DETAIL

N.T.S.



GALLEY LEACHING CHAMBER CROSS-SECTION

H: 1"=30'
V: 1"=6'



GENERAL NOTES:

- 1) RECHARGER 100HD BY CULTEC, INC. OF BROOKFIELD, CT. ALL RECHARGER 100HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION.
- 2) PRIOR TO FILL MATERIAL INSTALLATION, ALL TOPSOIL, SUBSOIL, AND UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH COARSE SAND.

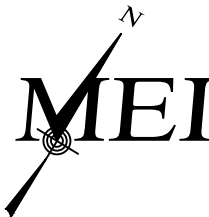
CULTEC RECHARGER 100HD DETAILS

N.T.S.



PREPARED FOR
F & D REALTY LLC
1 MELVIN STREET, SUITE C
WAKEFIELD, MA 01880

NO.	DATE	DESCRIPTION	BY
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6	2/7/23	REMOVE STORAGE AREA	J.T.M.
5	1/4/23	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
4	12/7/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
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2	9/1/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
1	6/21/22	ADDRESS TOWN COMMENTS	C.M.Y.



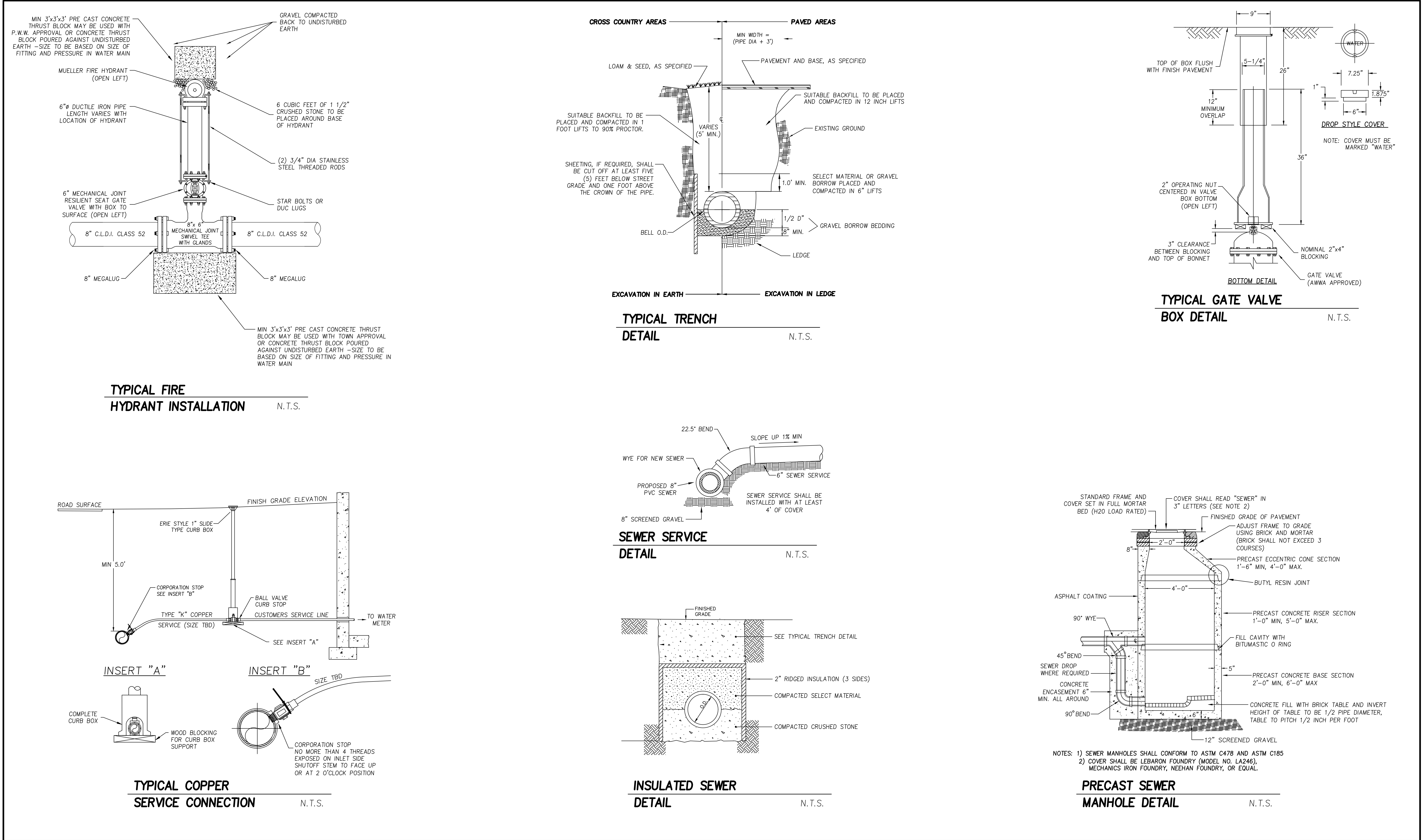
MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

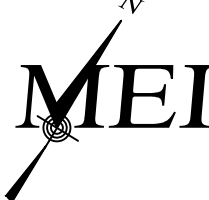
SCALE: AS NOTED	DESIG. BY: C.M.Y.	PROJECT: M183284
DATE: JUN. 1, 2022	CHKD. BY: E.W.B.	

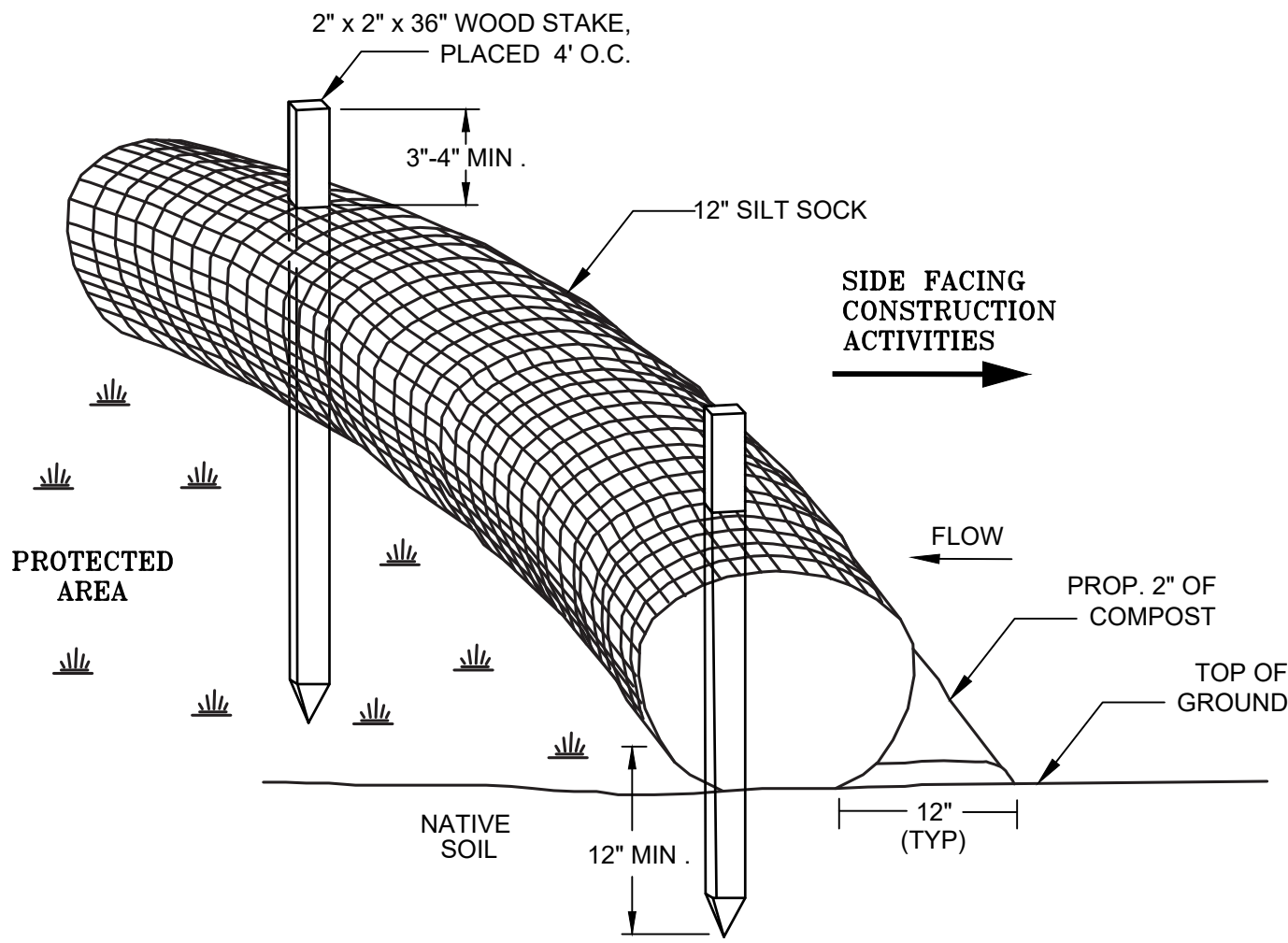
PLAN OF LAND
IN
SALISBURY, MA
SHOWING
PROPOSED SITE IMPROVEMENTS
AT
163 ELM STREET

DRAINAGE DETAILS

SHEET: C-13



			PREPARED FOR F & D REALTY LLC 1 MELVIN STREET, SUITE C WAKEFIELD, MA 01880	<table><tr><td>7</td><td>3/1/23</td><td>ADDRESS REVIEW COMMENTS</td><td>S.R.C.</td></tr><tr><td>6</td><td>2/7/23</td><td>REMOVE STORAGE AREA</td><td>J.T.M.</td></tr><tr><td>5</td><td>1/4/23</td><td>ADDRESS REVIEWER'S COMMENTS</td><td>C.M.Y.</td></tr><tr><td>4</td><td>12/7/22</td><td>ADDRESS REVIEWER'S COMMENTS</td><td>C.M.Y.</td></tr><tr><td>3</td><td>10/20/22</td><td>ADDRESS REVIEWER'S COMMENTS</td><td>C.M.Y.</td></tr><tr><td>2</td><td>9/1/22</td><td>ADDRESS REVIEWER'S COMMENTS</td><td>C.M.Y.</td></tr><tr><td>1</td><td>6/21/22</td><td>ADDRESS TOWN COMMENTS</td><td>C.M.Y.</td></tr><tr><td>NO.</td><td>DATE</td><td>DESCRIPTION</td><td>BY</td></tr></table>	7	3/1/23	ADDRESS REVIEW COMMENTS	S.R.C.	6	2/7/23	REMOVE STORAGE AREA	J.T.M.	5	1/4/23	ADDRESS REVIEWER'S COMMENTS	C.M.Y.	4	12/7/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.	3	10/20/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.	2	9/1/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.	1	6/21/22	ADDRESS TOWN COMMENTS	C.M.Y.	NO.	DATE	DESCRIPTION	BY	MILLENNIUM ENGINEERING, INC. ENGINEERING AND LAND SURVEYING 62 ELM ST. SALISBURY, MA 01952 (978) 463-8980 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528 <table><tr><td>SCALE: AS NOTED</td><td>DESIG. BY: C.M.Y.</td><td rowspan="2">PROJECT: M183284</td></tr><tr><td>DATE: JUN. 1, 2022</td><td>CHKD. BY: E.W.B.</td></tr></table>	SCALE: AS NOTED	DESIG. BY: C.M.Y.	PROJECT: M183284	DATE: JUN. 1, 2022	CHKD. BY: E.W.B.	<table><tr><td>PLAN OF LAND IN SALISBURY, MA SHOWING PROPOSED SITE IMPROVEMENTS AT 163 ELM STREET</td><td rowspan="2">UTILITY DETAILS SHEET: C-14</td></tr><tr><td></td></tr></table>	PLAN OF LAND IN SALISBURY, MA SHOWING PROPOSED SITE IMPROVEMENTS AT 163 ELM STREET	UTILITY DETAILS SHEET: C-14	
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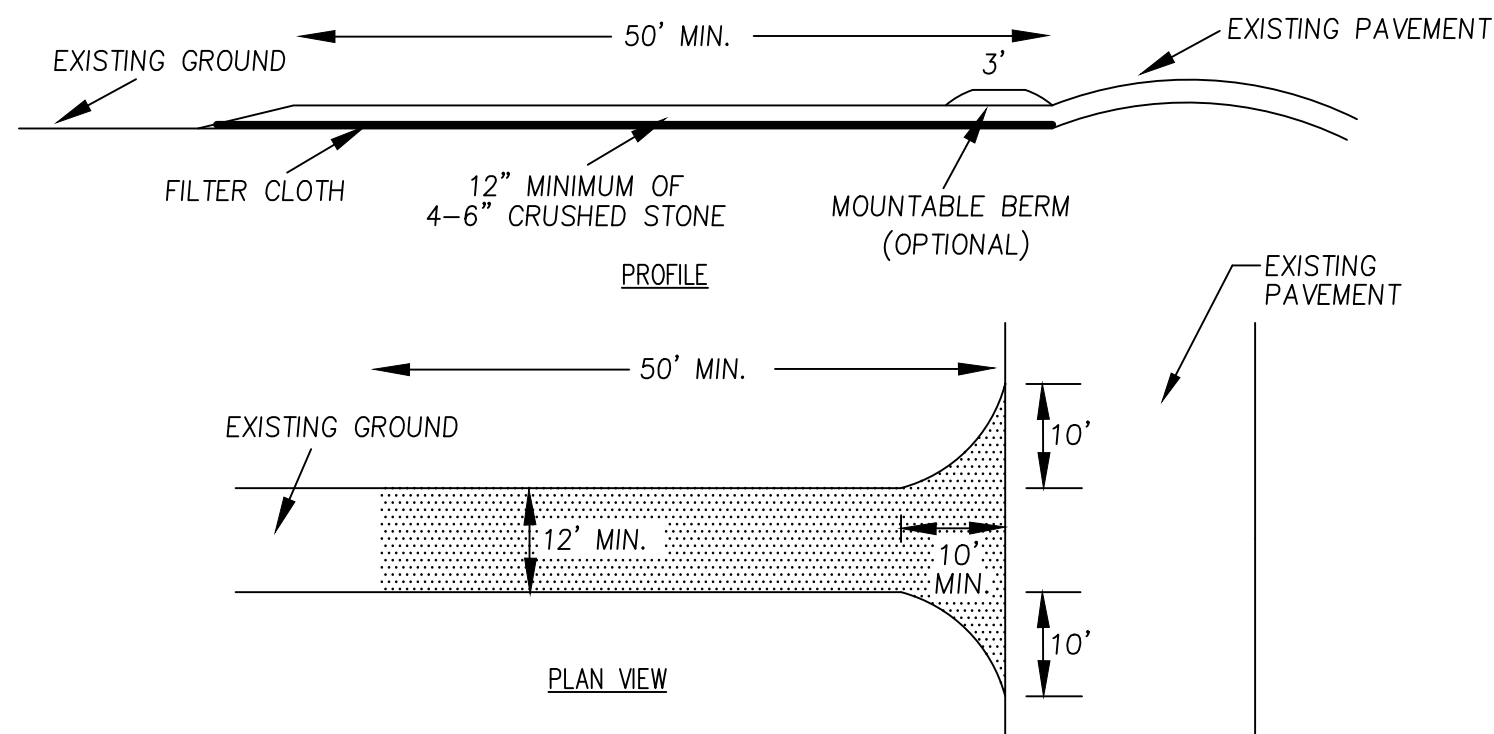


NOTES

- 1) ALL MATERIAL SHALL MEET SPECIFICATIONS BY FILTREXX OR APPROVED EQUAL.
- 2) SILT SOCK SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- 3) THE CONTRACTOR SHALL REMOVE SEDIMENT AT THE BASE OF THE UPSLOPE SIDE OF THE SILT SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE SILT SOCK.
- 4) SILT SOCK SHALL BE MAINTAINED UNTIL DISTURBED AREA ABOVE THE DEVICE HAS BEEN PERMANENTLY STABILIZED AND CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
- 5) SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE SOCK HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

SILT SOCK INSTALLATION

N.T.S.

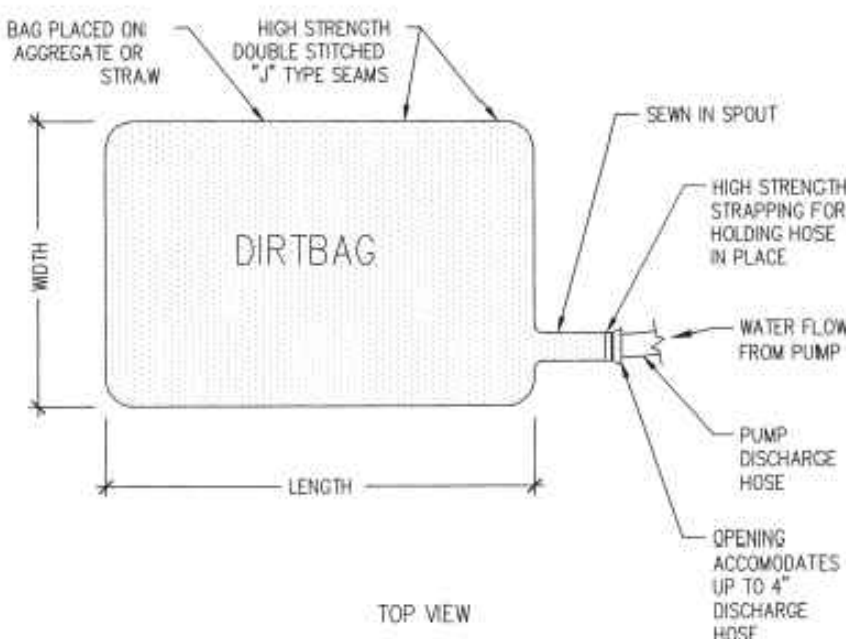


NOTES

1. STONE SHALL BE 4-6" CRUSHED STONE OR RECLAIMED STONE.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50'.
3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 12".
4. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
5. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP-DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED PROMPTLY.
7. WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

STABILIZED CONSTRUCTION ENTRANCE

N.T.S.



Testing Details:

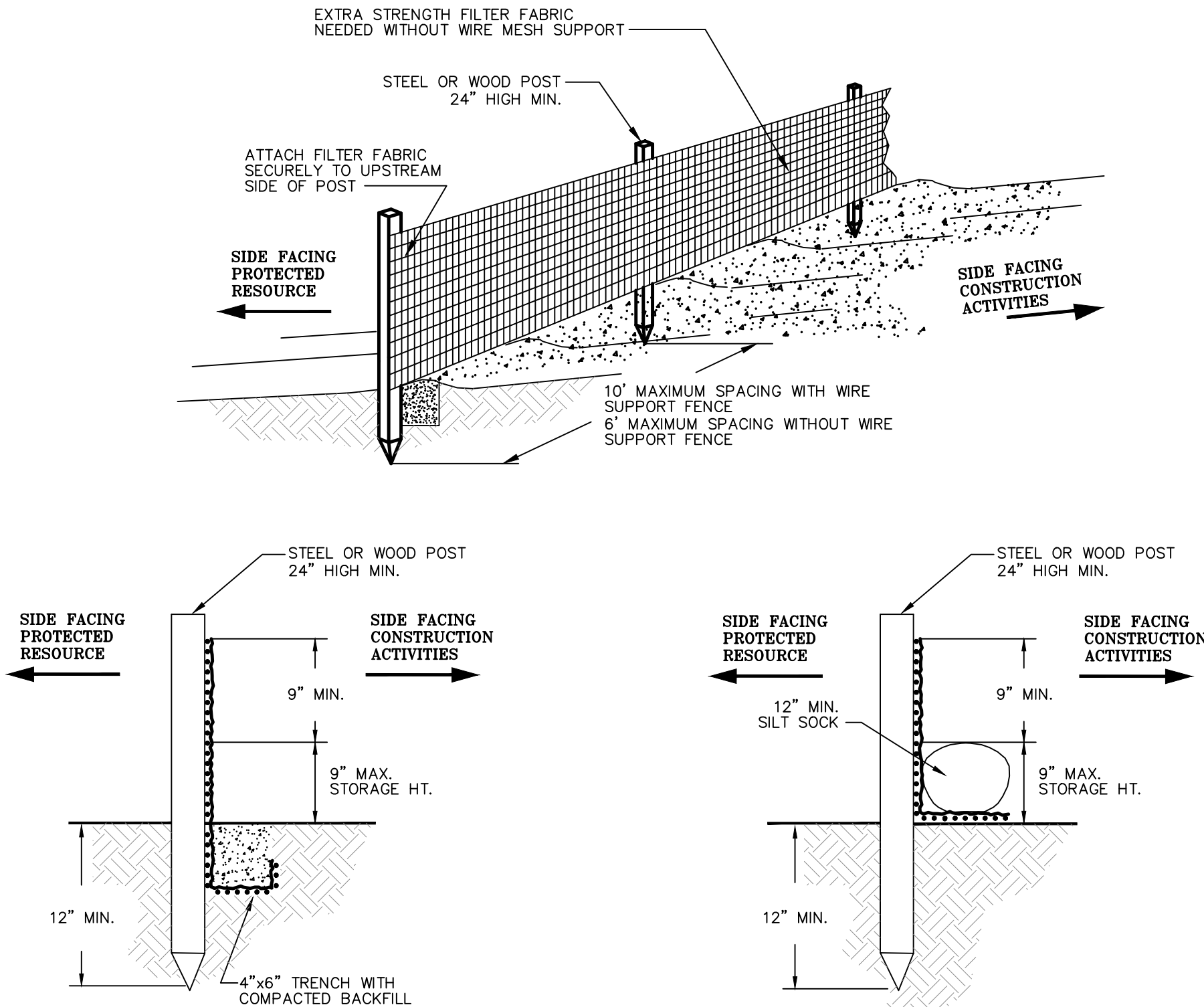
Dirtbag has been tested under ASTM D-7880 and ASTM-7701. These are standard test methods for determining flow rate of water and suspended solids retention from a closed geosynthetic bag. Testing summary available upon request.

NOTE

1. "DIRTBAG" DEWATERING BAG BY ACF ENVIRONMENTAL OR APPROVED EQUAL.

TYPICAL DEWATERING DETAIL

N.T.S.



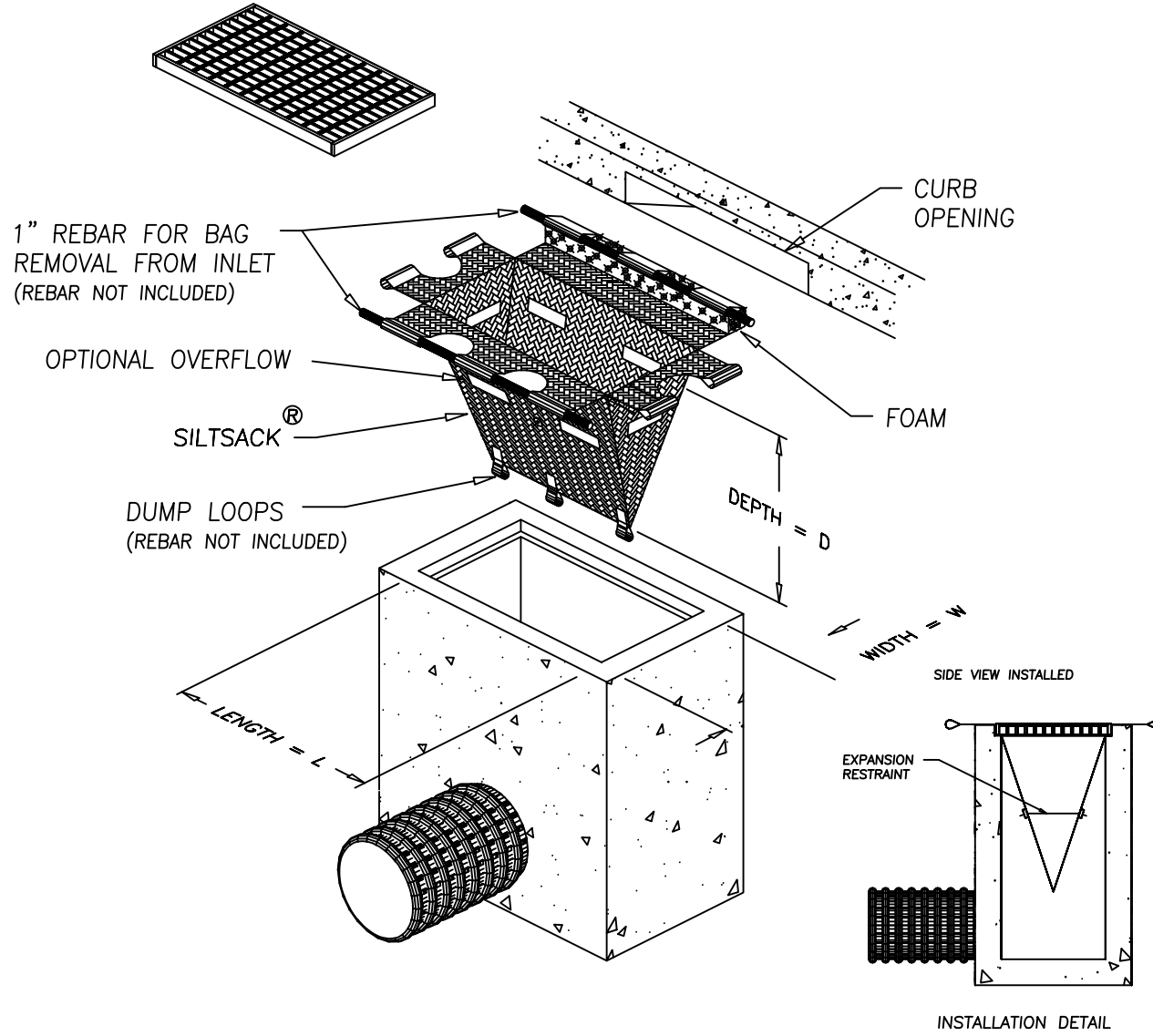
TRENCH DETAIL

INSTALLATION WITHOUT TRENCHING

1. POSTS SHALL BE DOUBLED AND COUPLED AT FILTER CLOTH SEAMS.
2. FILTER CLOTH TO BE FASTENED SECURELY TO SUPPORT NETTING WITH TIES SPACED EVERY 24" AT TOP, MID SECTION, AND BOTTOM.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE INSTALLATION

N.T.S.

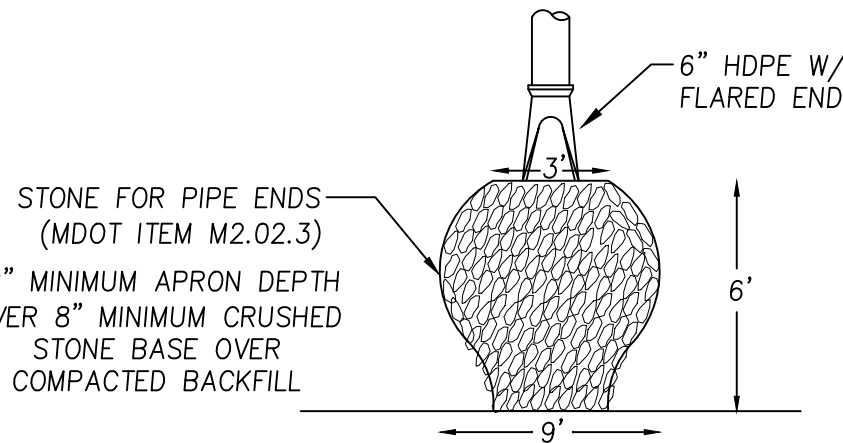


NOTES

1. TO INSTALL SILTSACK IN THE CATCH BASIN, REMOVE THE GRATE AND PLACE THE SACK IN THE OPENING. HOLD APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME. THIS IS THE AREA OF THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
2. WHEN THE RESTRAINT CORD IS NO LONGER VISIBLE, SILTSACK IS FULL AND SHOULD BE EMPTIED.
3. TO REMOVE SILTSACK, TAKE TWO PIECES OF 1" DIAMETER REBAR AND PLACE THROUGH THE LIFTING LOOPS ON EACH SIDE OF THE SACK TO FACILITATE THE LIFTING OF SILTSACK.
4. TO EMPTY SILTSACK, PLACE UNIT WHERE THE CONTENTS WILL BE COLLECTED. PLACE THE REBAR THROUGH THE LIFT STRAPS (CONNECTED TO THE BOTTOM OF THE SACK) AND LIFT. THIS WILL LIFT SILTSACK FROM THE BOTTOM AND EMPTY THE CONTENTS. CLEAN OUT AND RINSE. RETURN SILTSACK TO ITS ORIGINAL SHAPE AND PLACE BACK IN THE BASIN.
5. SILTSACK IS REUSABLE. ONCE THE CONSTRUCTION CYCLE IS COMPLETE, REMOVE SILTSACK FROM THE BASIN AND CLEAN. SILTSACK SHOULD BE STORED OUT OF SUNLIGHT UNTIL NEXT USE.

SILT SACK DETAIL

N.T.S.



NOTE: GEOSYNTHETIC EROSION CONTROL MAT SHALL BE UNDER ALL RIP-RAP

TYPICAL RIP-RAP APRON DETAIL

N.T.S.

GENERAL EROSION CONTROL NOTES

1. ALL EROSION CONTROL SHALL BE INSTALLED BEFORE THE START OF CONSTRUCTION. EROSION CONTROL SHALL BE REMOVED UPON COMPLETION OF THE PROJECT AND STABILIZATION OF ALL SOIL.
2. ALL FILL SHALL BE FREE OF STUMPS AND LARGE STONES.
3. ANY STANDING BODIES OF WATER CREATED DURING EXCAVATION SHALL BE ELIMINATED.
4. ACCUMULATED SEDIMENT DEPOSITS UPSTREAM OF BARRIERS SHALL BE PROPERLY DISPOSED OF ON A REGULAR BASIS.
5. AREAS OUTSIDE THE LIMITS OF WORK (EROSION CONTROL/SILT FENCE LOCATIONS) DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE EXPENSE OF THE CONTRACTOR.
6. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EROSION AND/OR SEDIMENT CONTROLS DURING CONSTRUCTION. HE/SHE SHALL INSPECT CONTROLS WEEKLY AND AFTER EVERY 0.5" OF RAINFALL. REPAIRS, IF REQUIRED, SHALL BE MADE IMMEDIATELY.
7. TEMPORARY GROUND COVER SHALL BE ESTABLISHED IN AREAS OF CONSTRUCTION WHERE REQUIRED BY THE SALISBURY CONSERVATION COMMISSION.
8. ANY DISTURBED AREAS OF THE SITE NOT USED FOR ROADWAY OR UTILITY CONSTRUCTION SHALL BE STABILIZED WITH LOAM AND SEED UNTIL FURTHER DISTURBANCE IS REQUIRED FOR BUILDING CONSTRUCTION.
9. PROVIDE SILT SACK OR APPROVED EQUAL AT ALL CATCH BASINS.
10. A MINIMUM OF 6" OF LOAM SHALL BE INSTALLED ON ALL DISTURBED UNPAVED SURFACES.
11. PERMANENT SEED MIX SHALL BE MA STATE SLOPE MIXTURE (50% CREEPING RED FESCUE, 30% KENTUCKY 31 TALL FESCUE, 10% ANNUAL RYEGRASS, 5% RED TOP, 5% LADINO CLOVER) AND MA STATE PLOT MIXTURE (50% CREEPING RED FESCUE, 25% 85/80 KENTUCKY BLUEGRASS, 10% ANNUAL RYEGRASS, 10% RED TOP, 5% LADINO CLOVER)
12. WHERE PLACEMENT OF FILL IS REQUIRED FOR STORM WATER CONTROL, FILL SHALL BE PLACED IN AN UNFROZEN STATE UPON UNFROZEN GROUND. UNDER NO CIRCUMSTANCES SHALL FILL BE PLACED FROM NOVEMBER THROUGH JANUARY.
13. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED: BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED; A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED; A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
14. ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCT. 15TH, OR WHICH ARE DISTURBED AFTER OCT. 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
15. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCT. 15TH, OR WHICH ARE DISTURBED AFTER OCT. 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

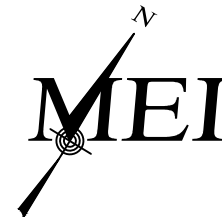
CONSTRUCTION SEQUENCE

1. INSTALL EROSION CONTROL AT LIMIT OF WORK & STAKE OUT STORMWATER AREAS.
2. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AS DEPICTED.
3. CLEAR AND GRUB DEBRIS TO PHASE LINE AND DISPOSE OF PROPERLY.
4. STRIP, SCREEN AND STOCKPILE TOPSOIL. TOPSOIL CAN BE TEMPORARILY STOCKPILED ON SITE PROVIDING THAT THE PERIMETER OF THE STOCKPILES ARE PROPERLY STAKED WITH SILT FENCE AT THE TOE OF SLOPE.
5. ROUGH GRADE CONSTRUCTED WETLAND AND INFILTRATION BASIN.
6. CLEAR AND EXCAVATE FOR BUILDING FOUNDATION.
7. GRADE PAVEMENT TO TOP OF SUBGRADE ELEVATIONS. ALL ROADWAYS MUST BE STABILIZED IMMEDIATELY AFTER GRADING.
8. BEGIN BUILDING CONSTRUCTION.
9. INSTALL UTILITIES/DRAINAGE STRUCTURES.
10. LOAM AND HYDROSEED SIDESLOPES AND ALL DISTURBED AREAS WITHIN 72 HOURS.
11. SPREAD, SHAPE, AND COMPACT PAVEMENT SUBBASE AS PER TYPICAL PAVEMENT SECTION TO ATTAIN FINAL DESIGN ELEVATIONS.
12. PERFORM BINDER COURSE PAVING.
13. LOAM AND HYDROSEED ANY DISTURBED SURFACES ALONG EDGES OF PAVEMENT AS REQUIRED.
14. ADD PLANTINGS TO CONSTRUCTED WETLAND.
15. PERFORM FINAL PAVING (TOP COURSE).
16. REMOVE EROSION CONTROL.



PREPARED FOR
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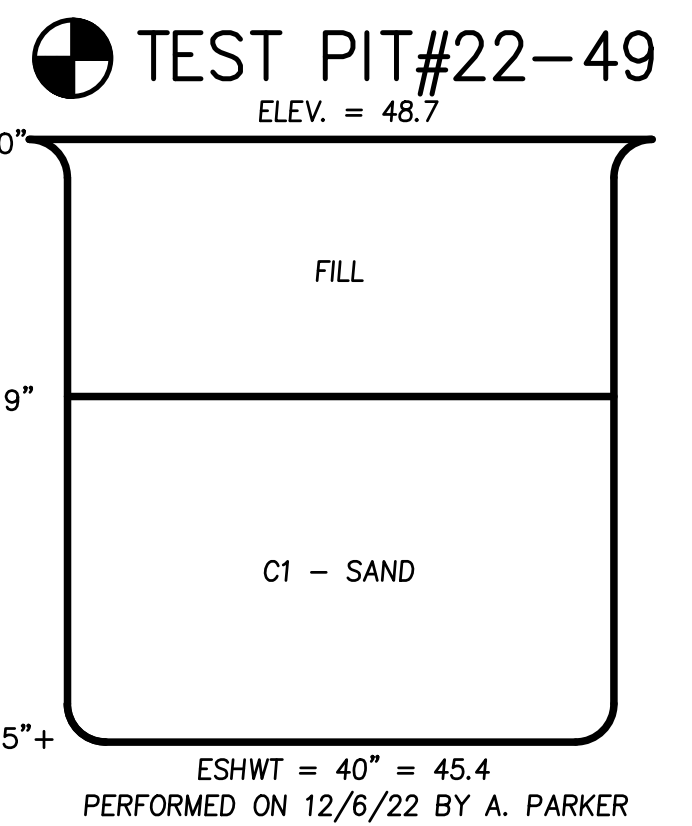
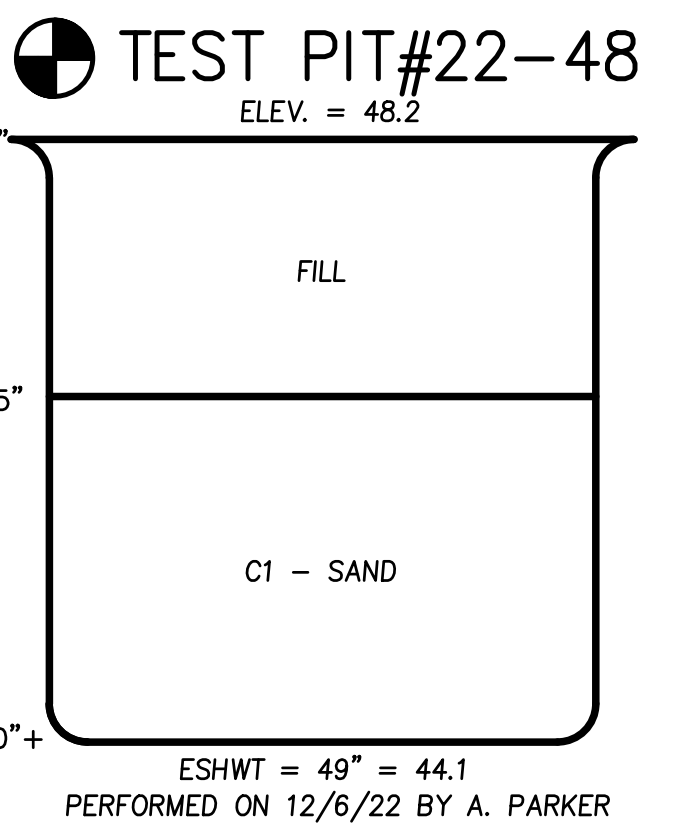
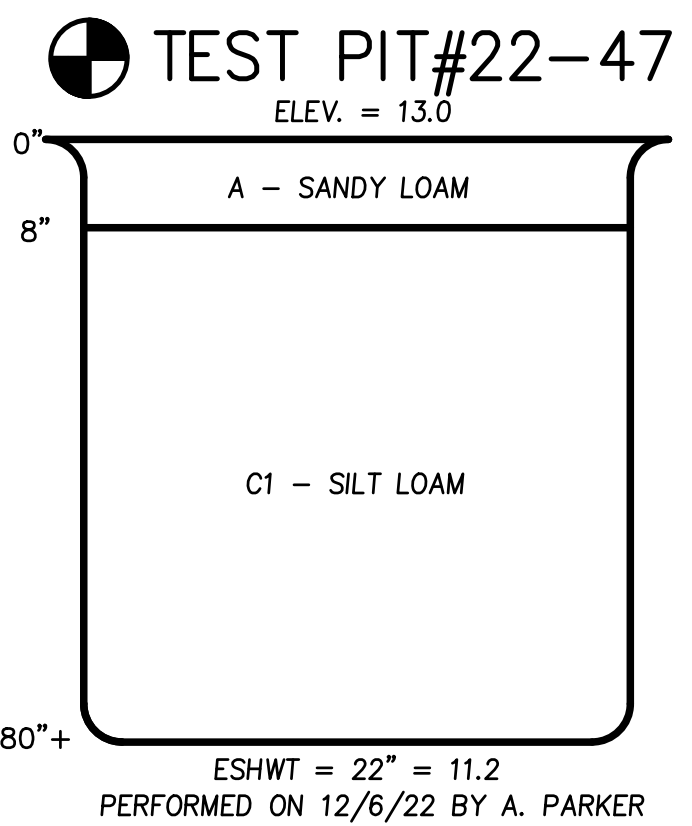
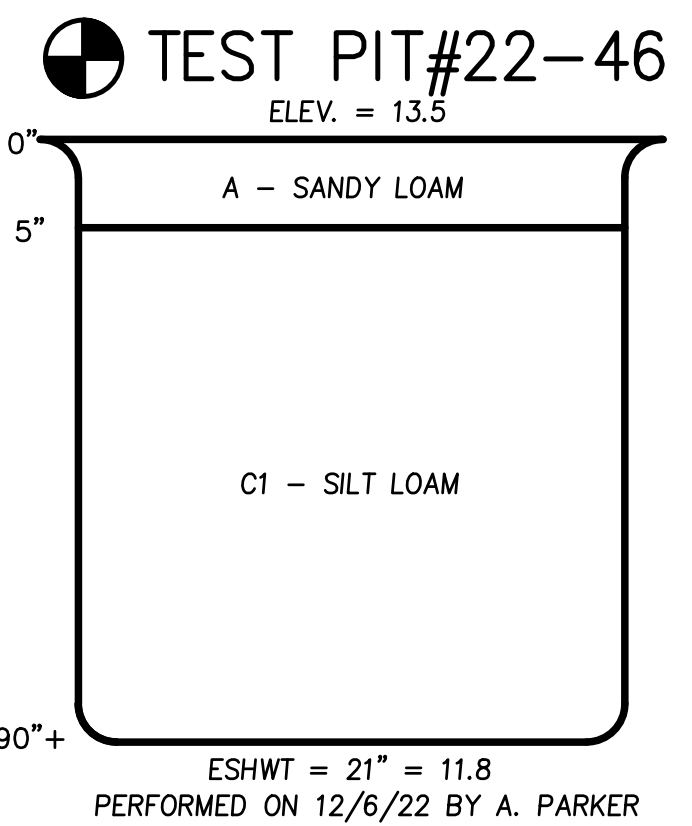
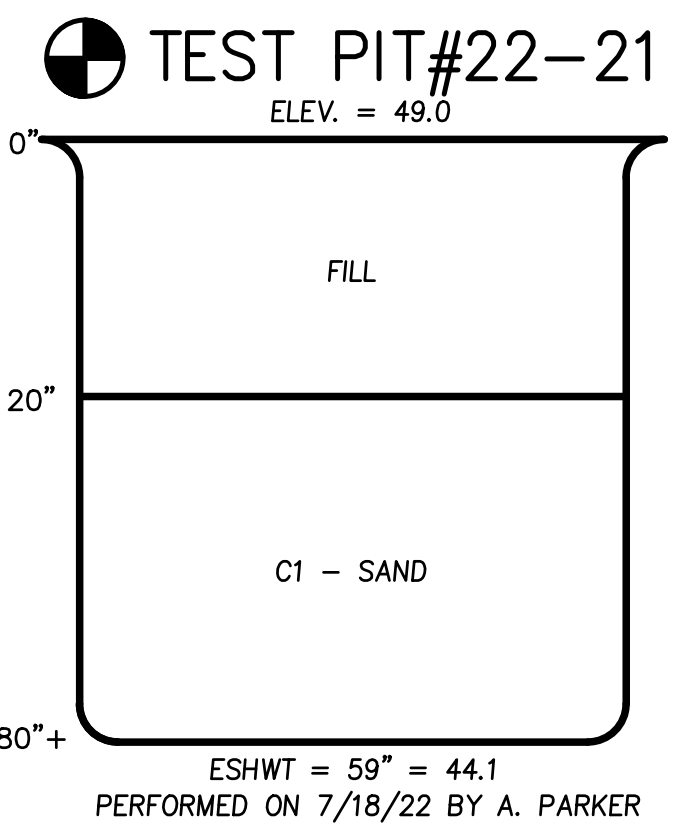
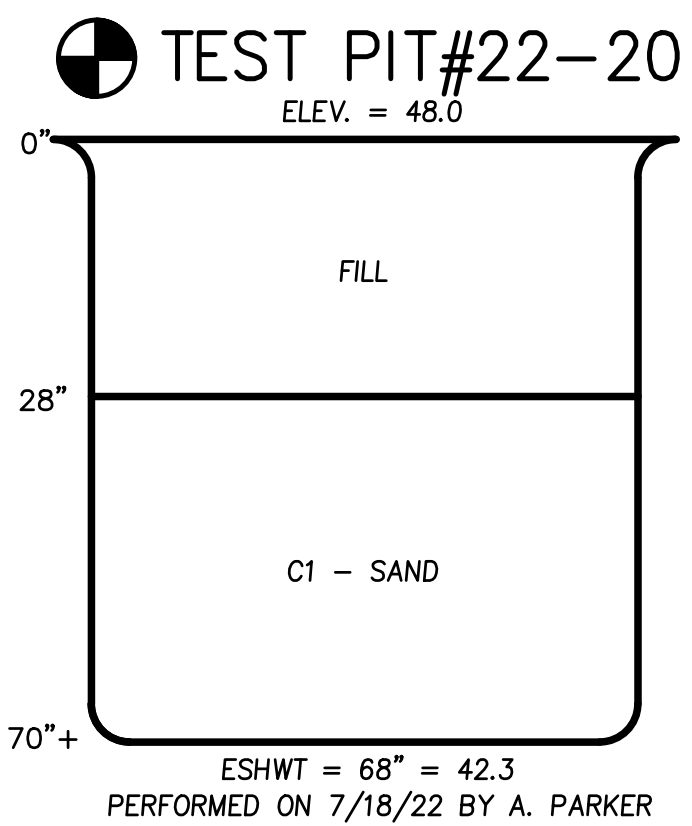
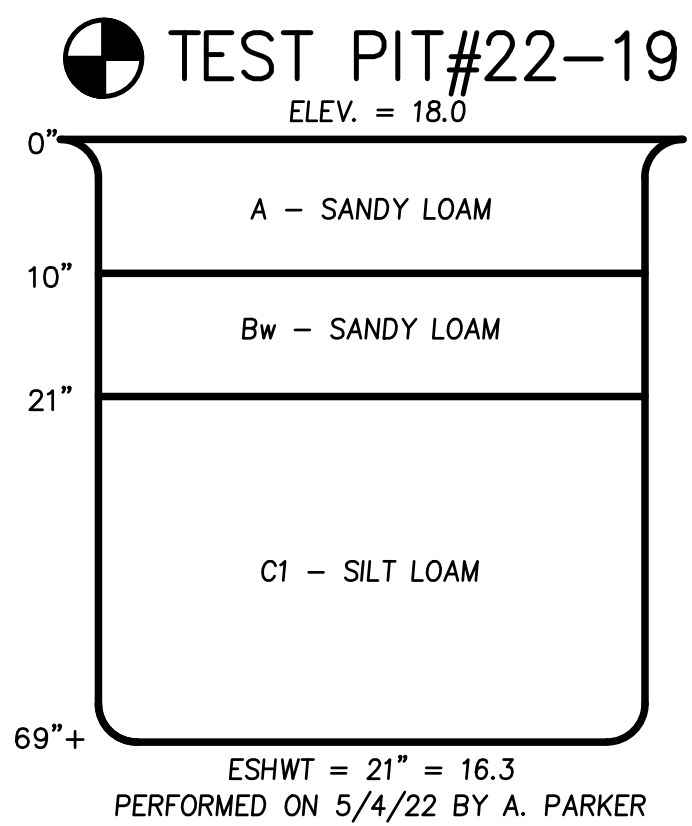
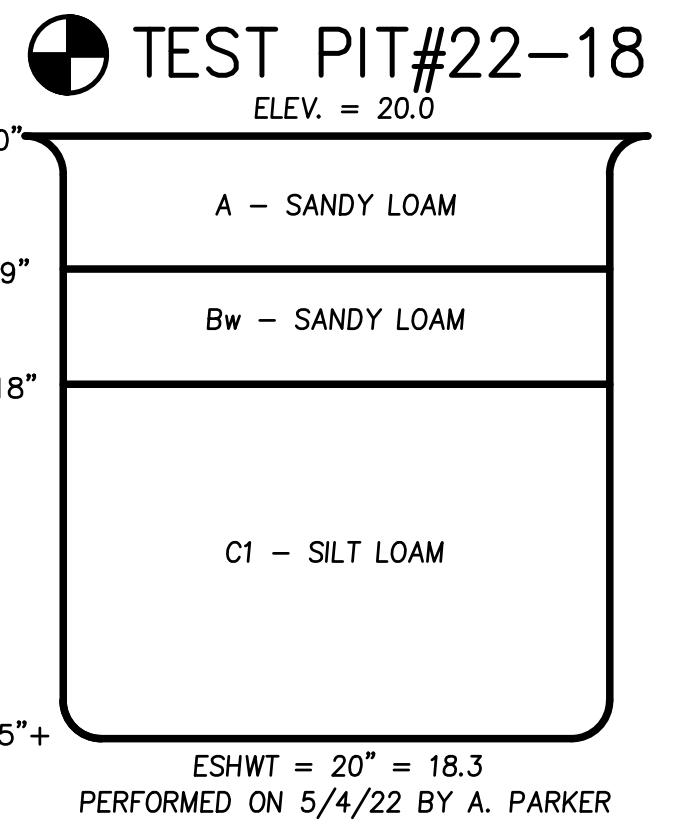
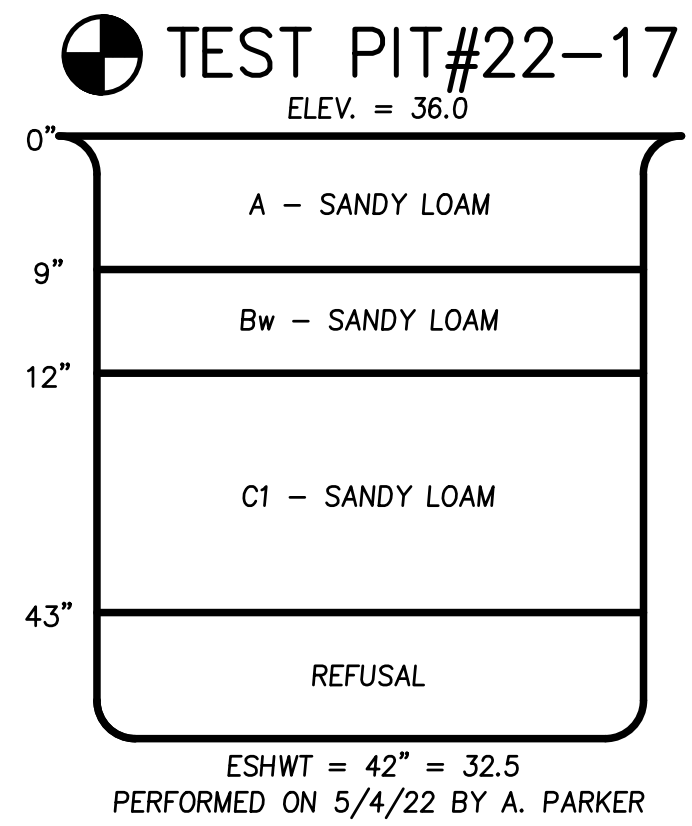
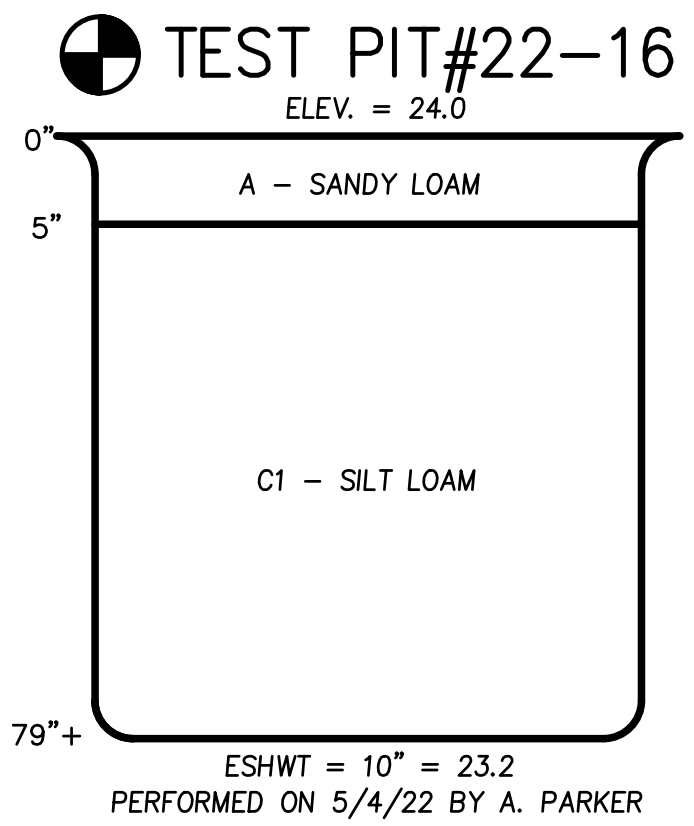
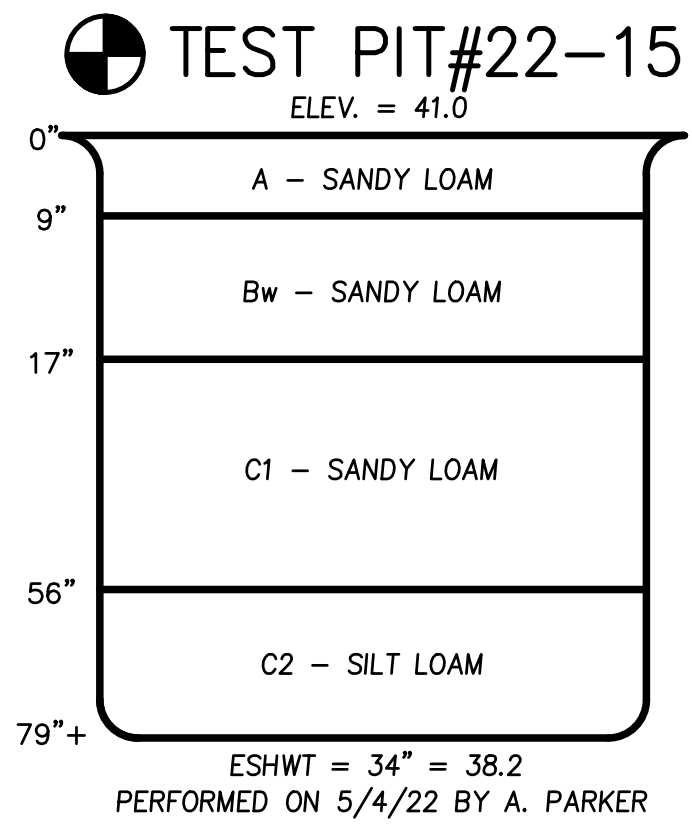
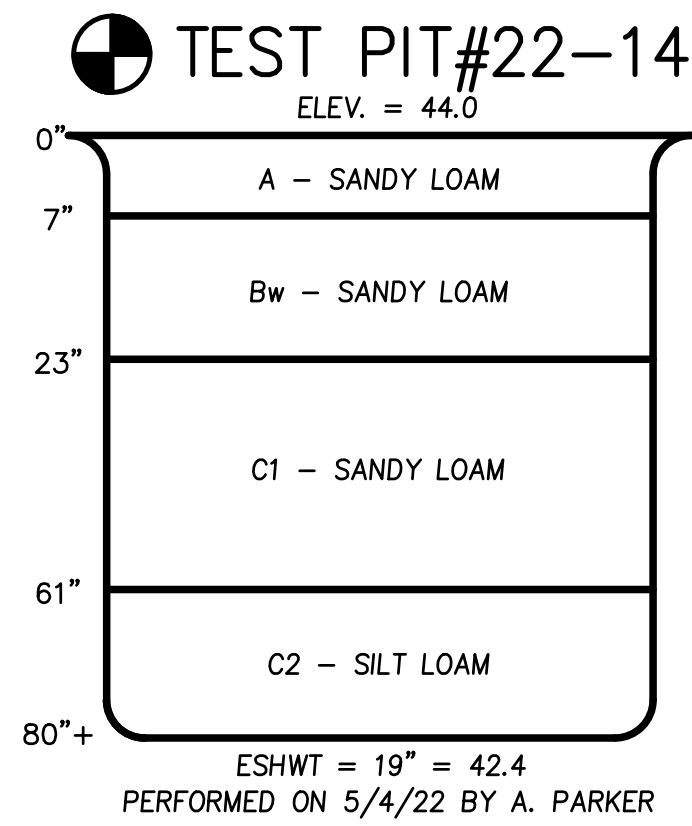
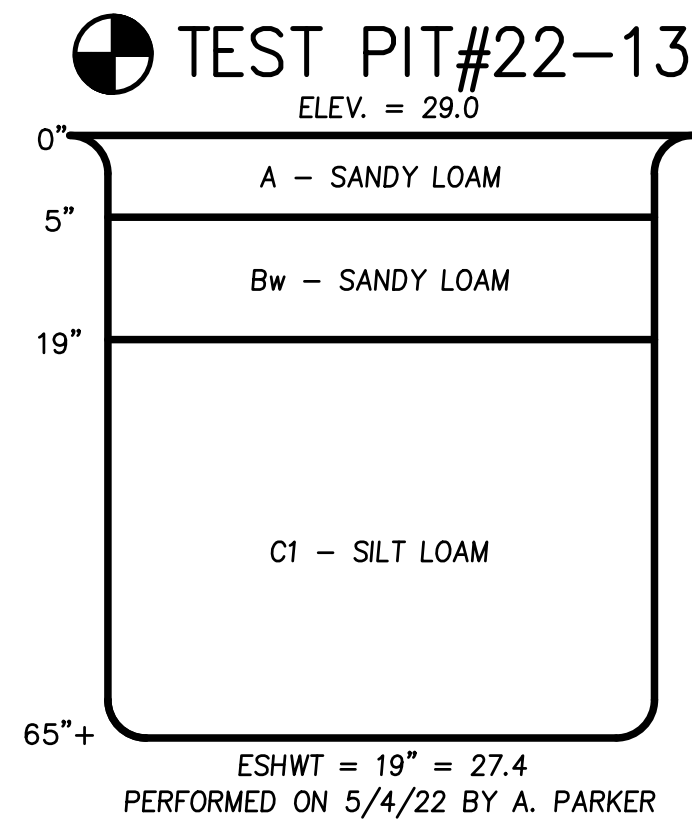
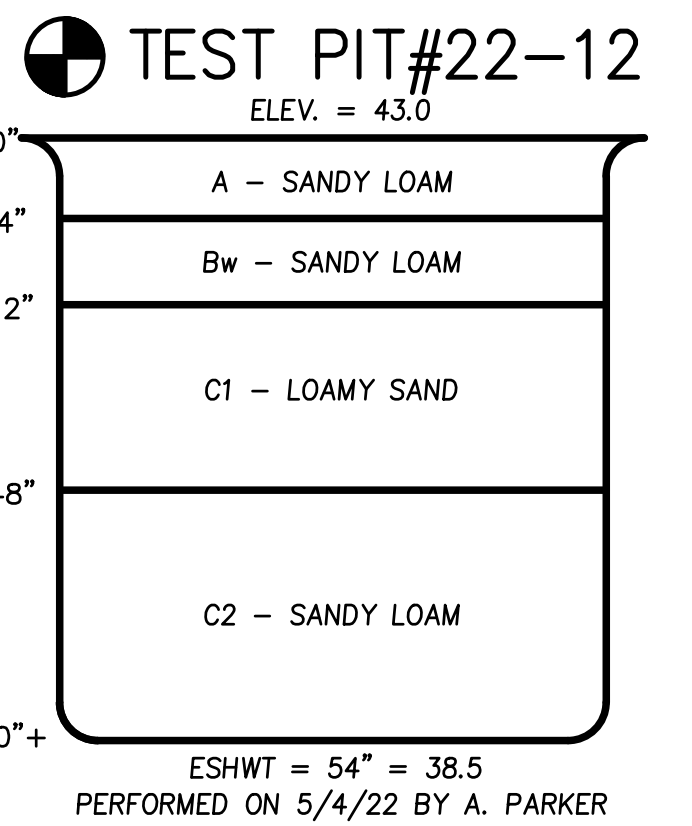
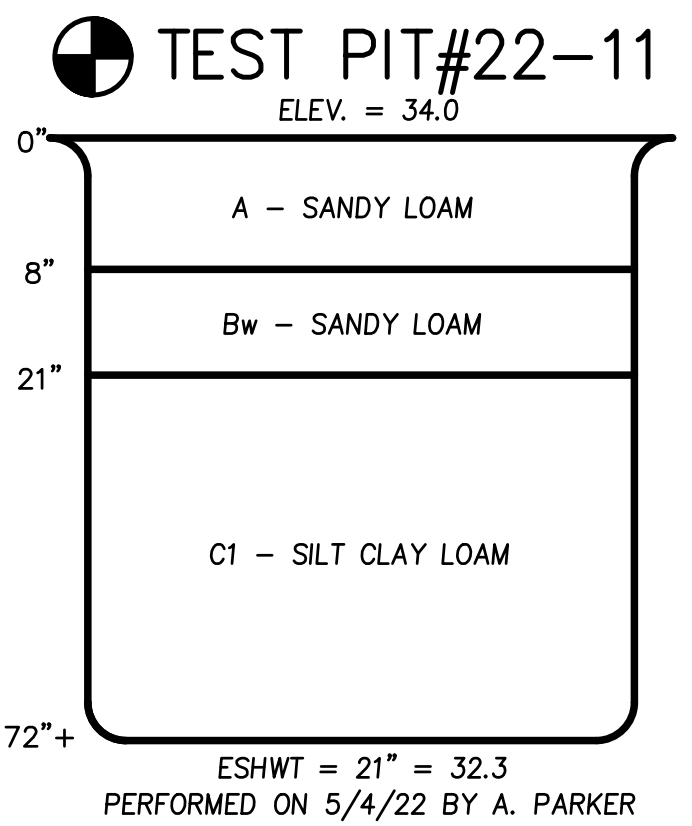
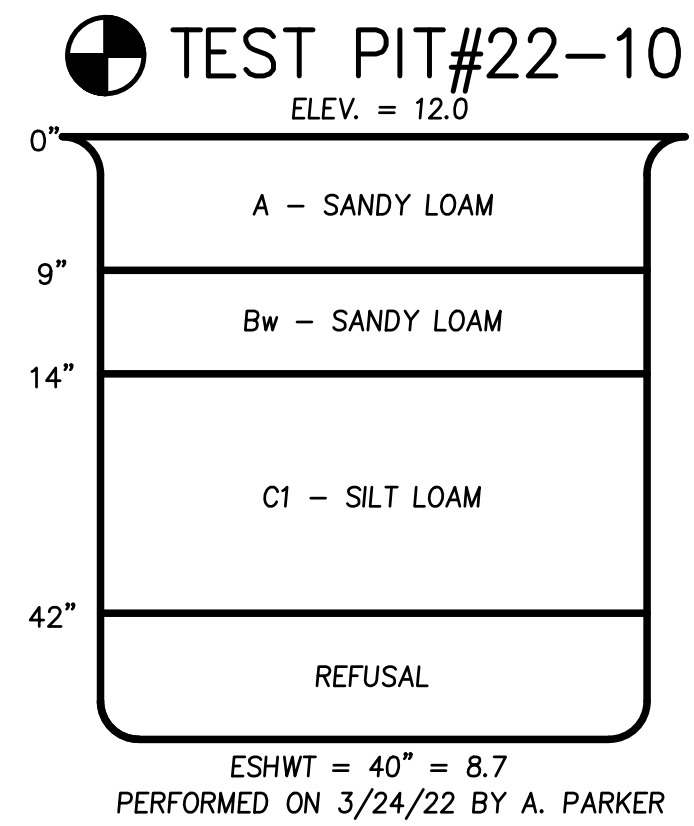
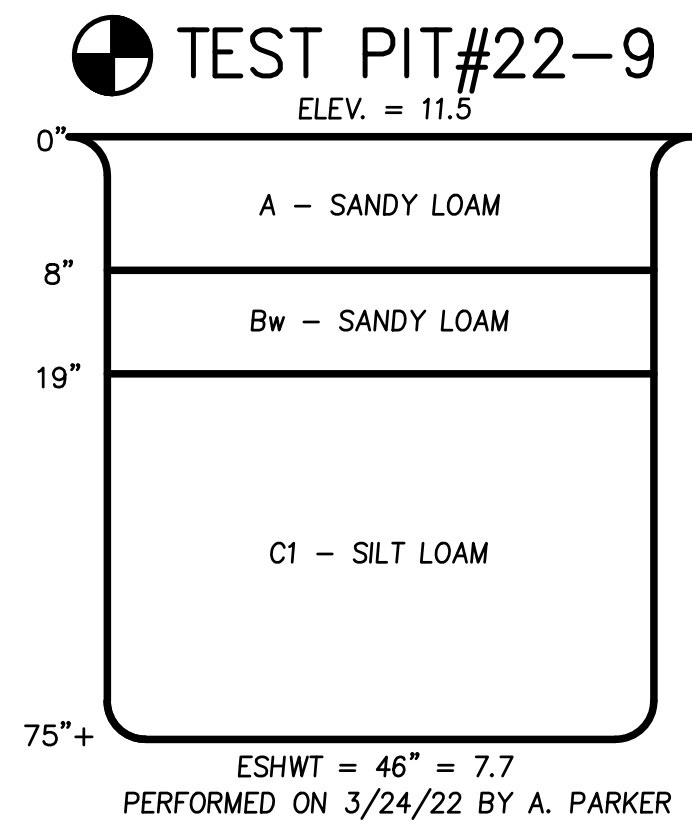
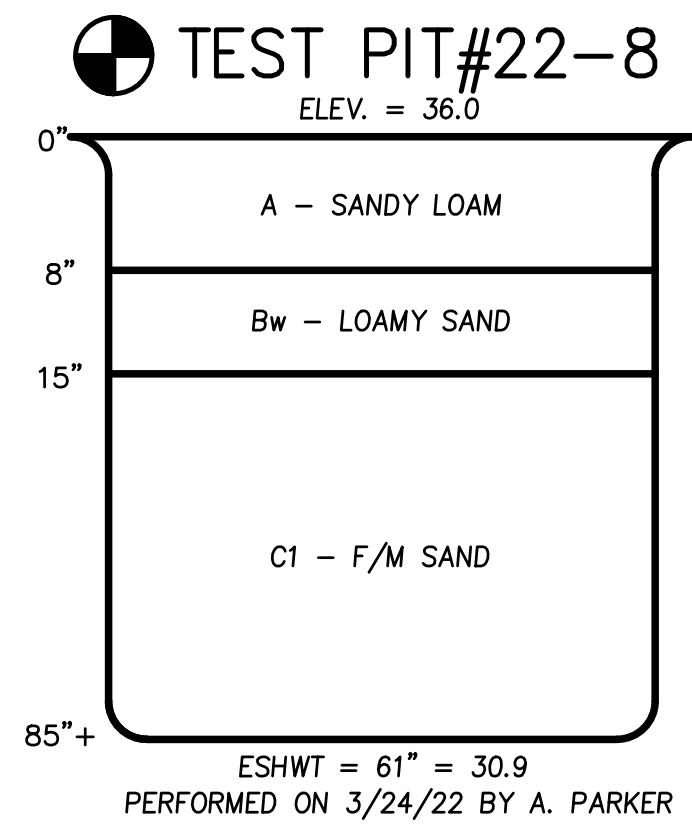
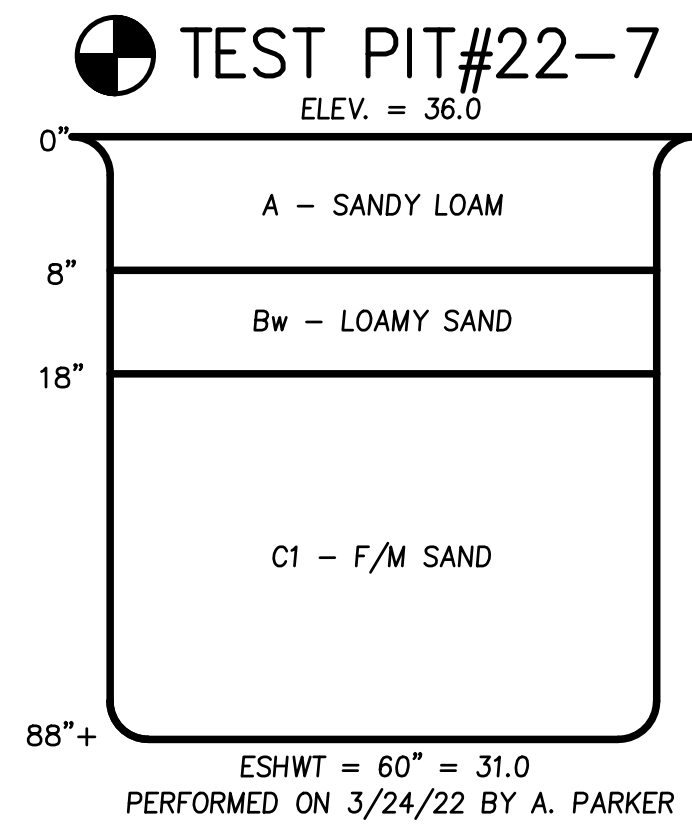
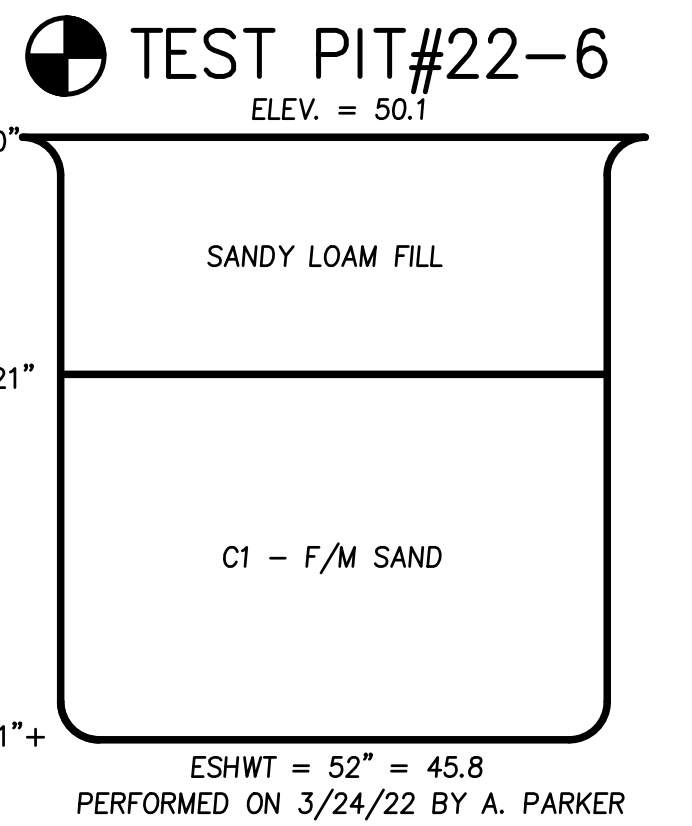
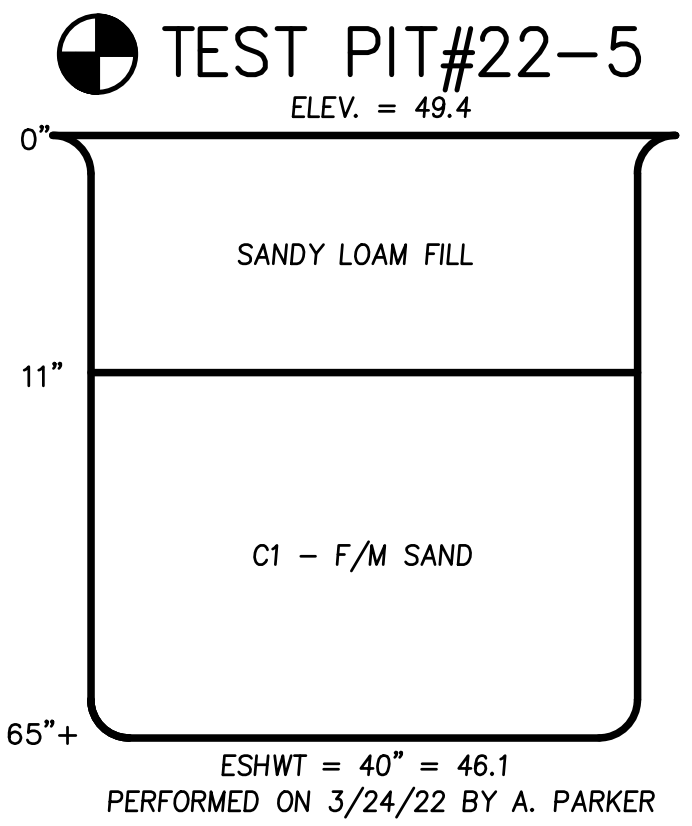
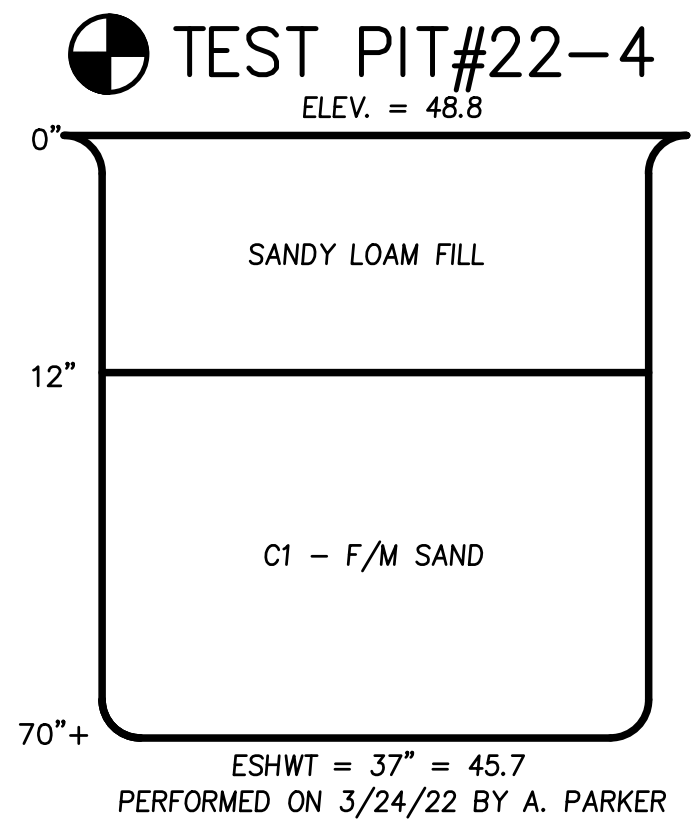
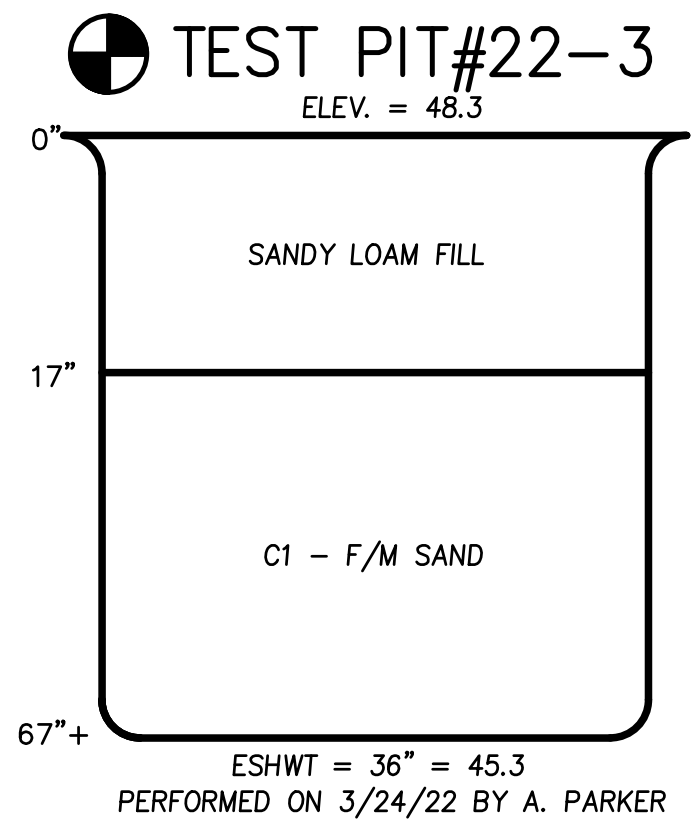
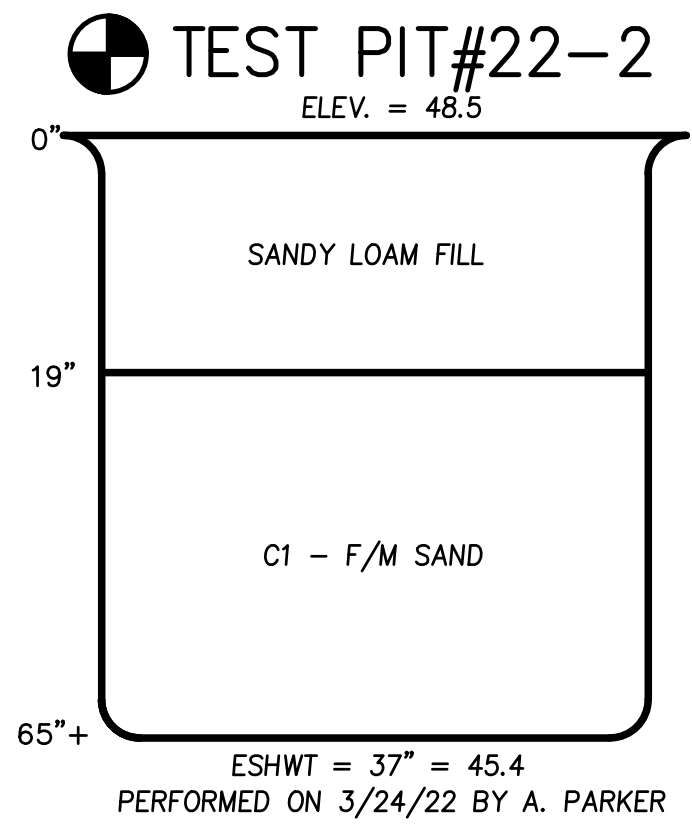
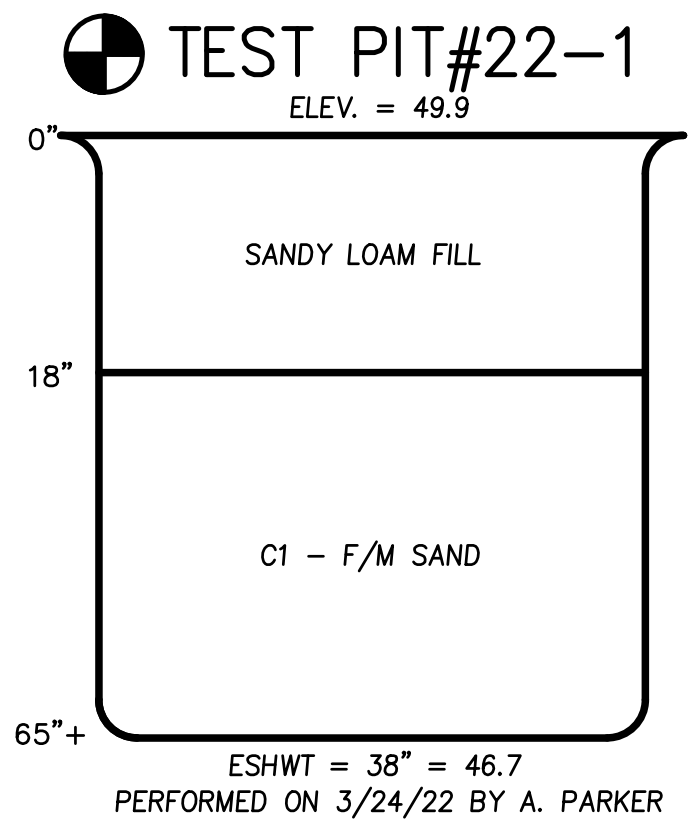
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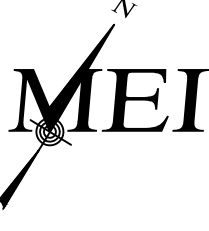
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SALISBURY, MA
SHOWING
PROPOSED SITE IMPROVEMENTS
AT
163 ELM STREET

TEST PITS

SHEET: C-16

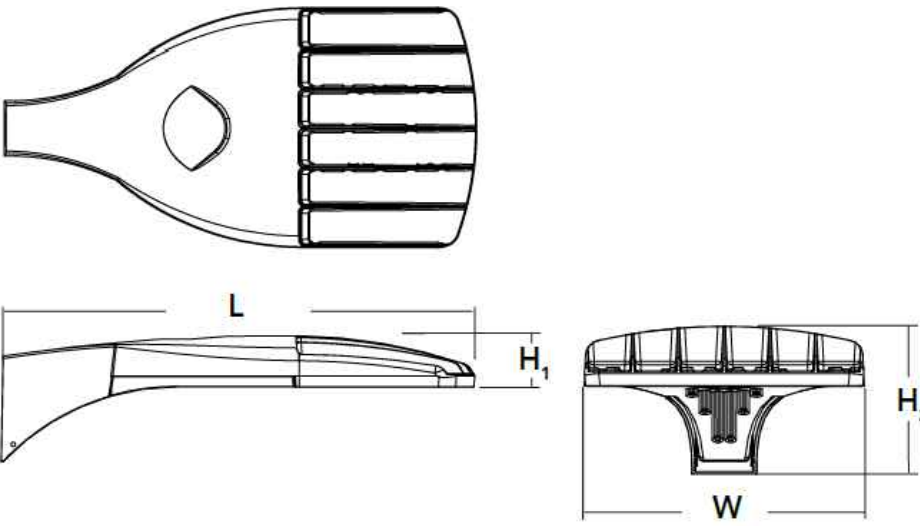


D-Series Size 0
LED Area Luminaire



Specifications

EPA: 0.95 ft²
(.89 m²)
Length: 26"
(66.0 cm)
Width: 13"
(33.0 cm)
Height: 3"
(7.62 cm)
Height: 7"
(17.8 cm)
Weight (max): 16 lbs
(7.25 kg)



Catalog Number	
Notes	
Type	

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

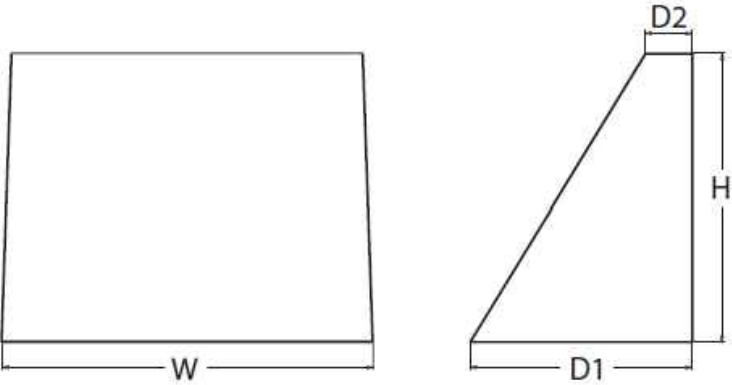


WDGE2 LED
Architectural Wall Sconce
Precision Refractive Optic



Specifications

Depth (D1): 7"
Depth (D2): 1.5"
Height: 9"
Width: 11.5"
Weight (without options): 13.5 lbs



Catalog Number	
Notes	
Type	

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE family provides additional energy savings and code compliance.

WDGE2 with industry leading precision refractive optics provides great uniform distribution and optical control. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

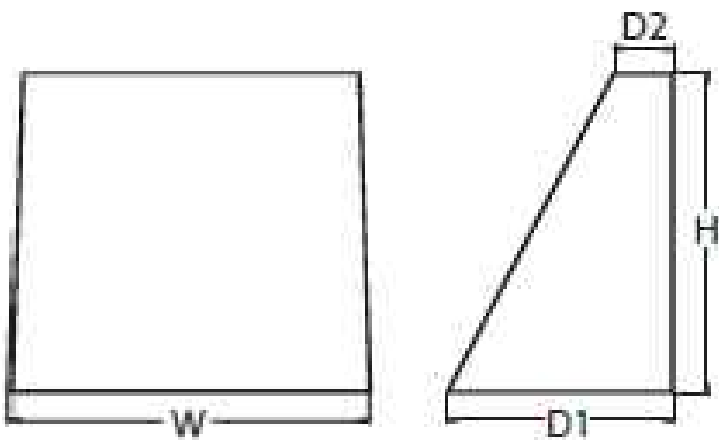


WDGE1 LED
Architectural Wall Sconce



Specifications

Depth (D1): 5.5"
Depth (D2): 1.5"
Height: 8"
Width: 9"
Weight (without options): 9 lbs



Catalog Number	
Notes	
Type	

Hit the Tab key or mouse over the page to see all interactive elements.

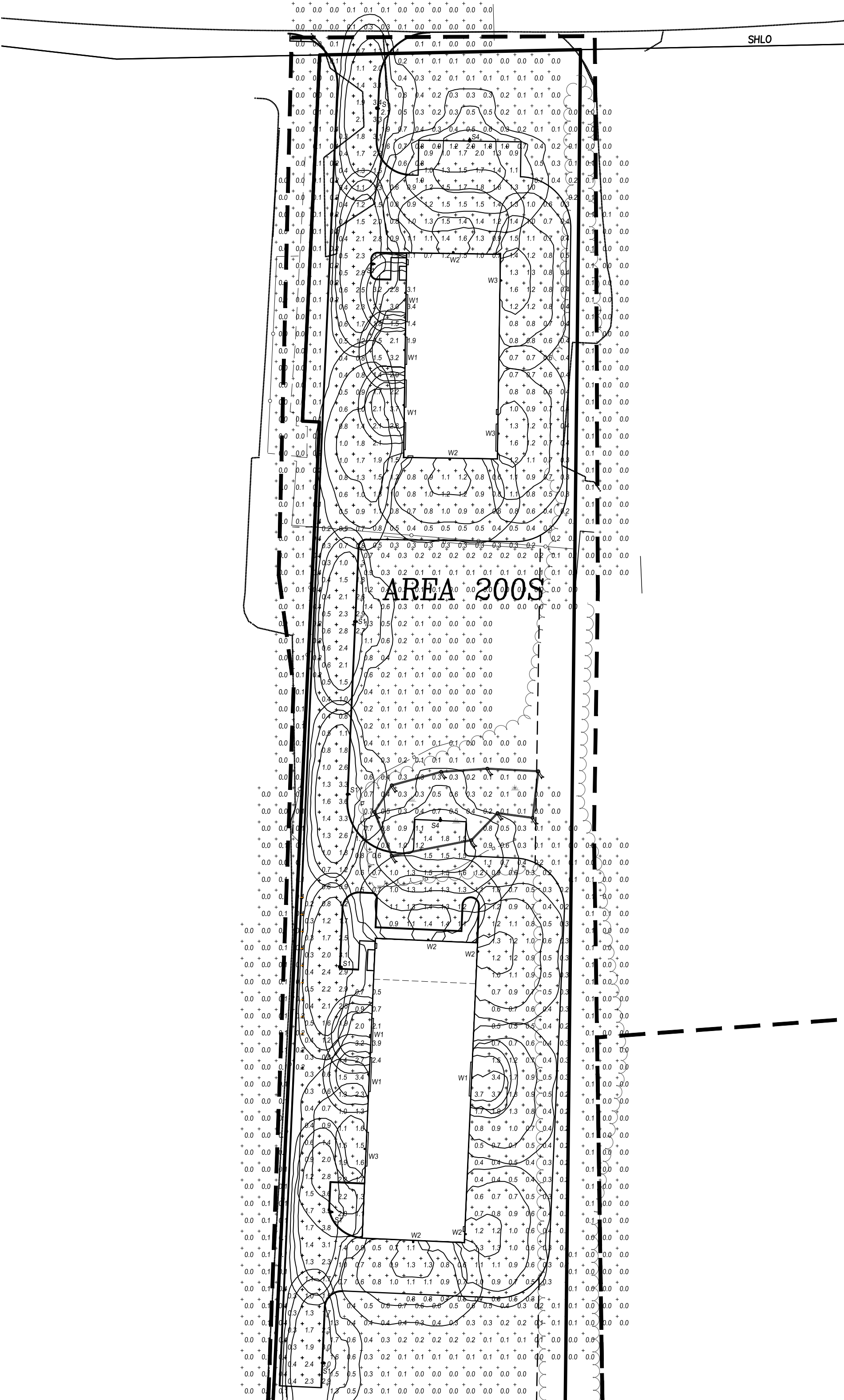
Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

WDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

Schedule										
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens per Lamp	LLF	Wattage
	S1	7	Lithonia Lighting	DSX0 LED P2 30K T1S MVOLT SPA DDBXD with SSS 16 4C DM19AS DDBXD	DSX0 LED Area Fixture; mounted at 18ft (16ft pole on 2ft base)	LED	DSX0_LED_P2_30K_T1S_MV_OLT.ies	5570	0.9	49
	S4	2	Lithonia Lighting	DSX0 LED P2 30K TFTM MVOLT SPA DDBXD with SSS 16 4C DM19AS DDBXD	DSX0 LED Area Fixture; mounted at 18ft (16ft pole on 2ft base)	LED	DSX0_LED_P2_30K_TFTM_MVOLT.ies	5576	0.9	49
	W1	6	Lithonia Lighting	WDGE1 LED P2 30K 80CRI VF SRM DDBXD	WDGE1 LED Wallpack; mounted at 14ft	LED	WDGE1_LED_P2_30K_80CRI_VF.ies	1872	0.9	15.0178
	W2	7	Lithonia Lighting	WDGE2 LED P4 30K 80CRI TFTM SRM DDBXD	WDGE2 LED Wallpack; mounted at 18ft	LED	WDGE2_LED_P4_30K_80CRI_TFTM.ies	4002	0.9	46.6589
	W3	3	Lithonia Lighting	WDGE2 LED P4 30K 80CRI T3M	WDGE2 LED Wallpack; mounted at 18ft	LED	WDGE2_LED_P4_30K_80CRI_T3M.ies	4065	0.9	46.6589

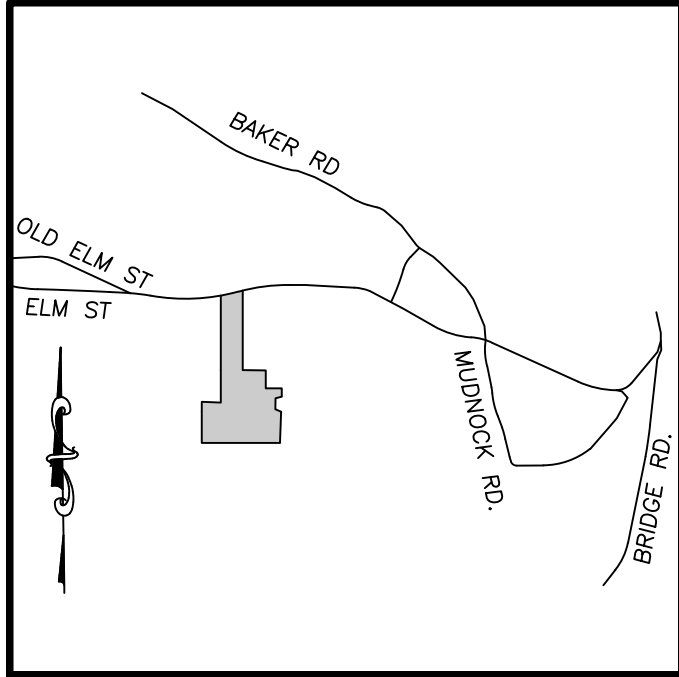
Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Building #1 Parking Lot	+	1.1 fc	3.7 fc	0.2 fc	18.5:1	5.5:1
Building #2 Parking Lot	+	0.9 fc	3.9 fc	0.2 fc	19.5:1	4.5:1
Driveway	+	1.4 fc	3.9 fc	0.2 fc	19.5:1	7.0:1
Outside of Driveway/Parking Lot	+	0.1 fc	2.3 fc	0.0 fc	N/A	N/A



Site Lighting Layout
At
163 ELM STREET

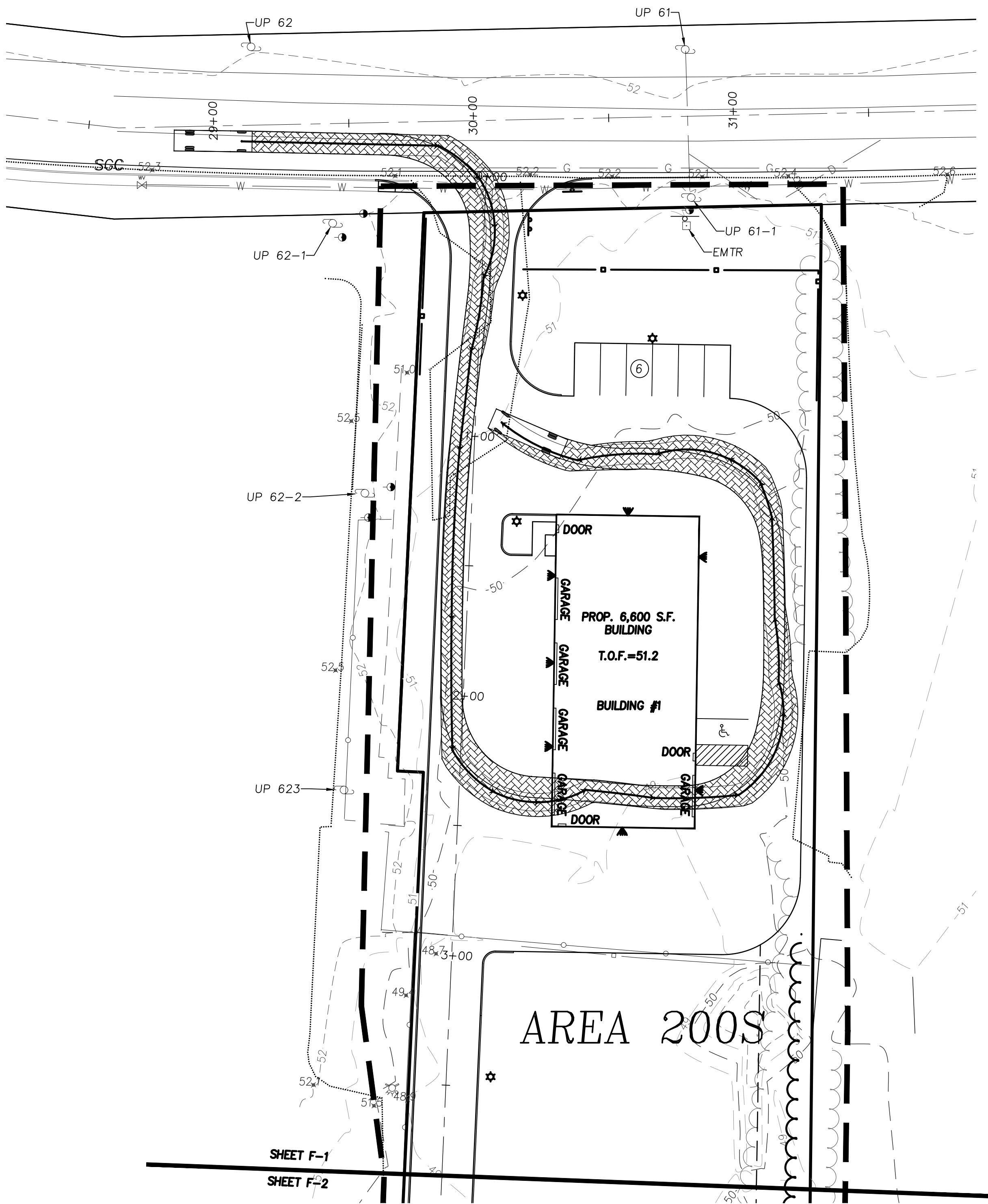
Designer
Heidi G. Connors
Visible Light, Inc.
24 Stickney Terrace
Suite 6
Hampton, NH 03842
Date
11/30/2022
Scale
1"=50'
Drawing No.

Summary



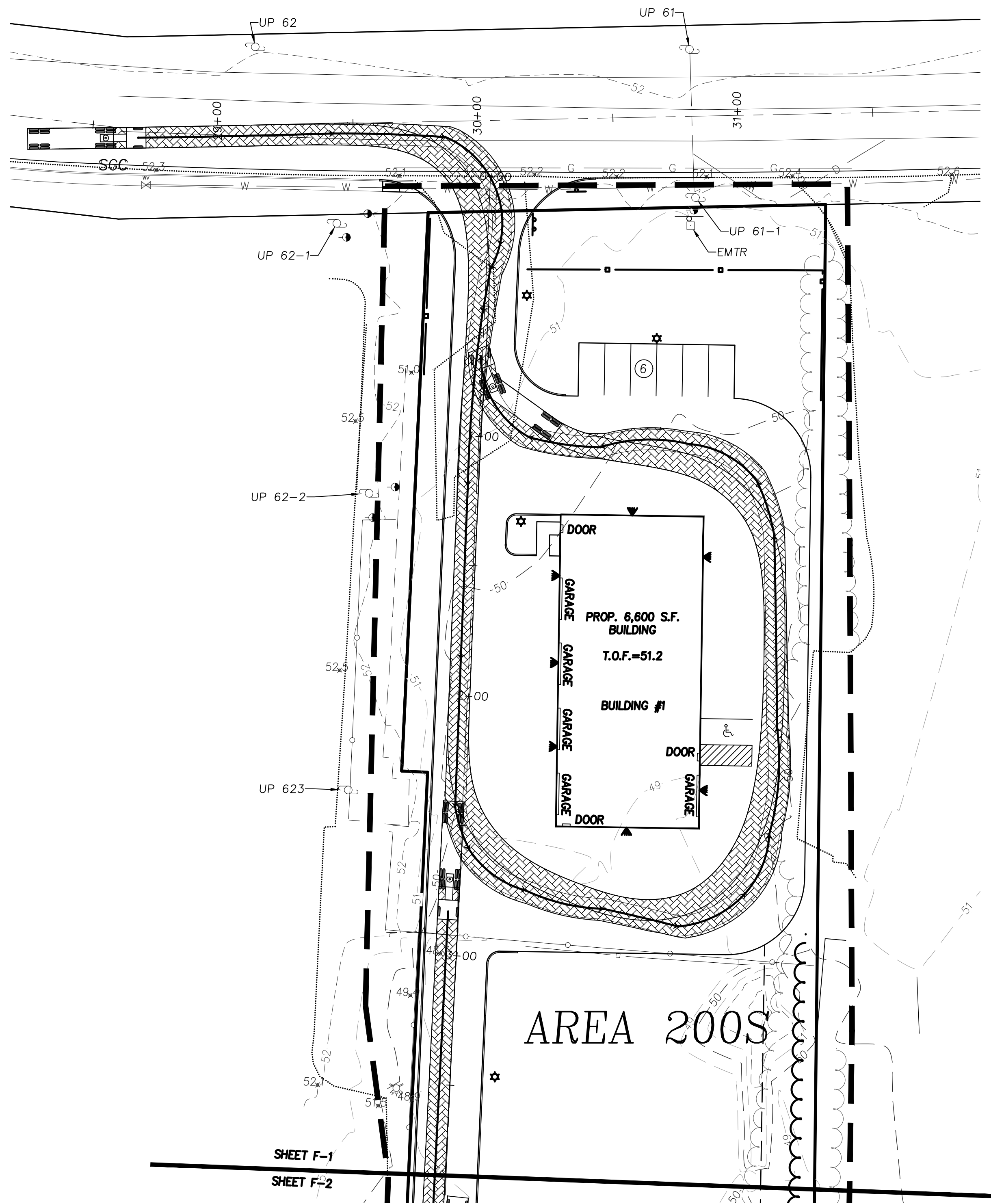
NOTES

1) THE FOLLOWING PLANS DEPICT THE TRUCK TURNING ANALYSIS FOR A SU-30 SINGLE UNIT TRUCK AND WB-40 INTERMEDIATE SEMI-TRAILER



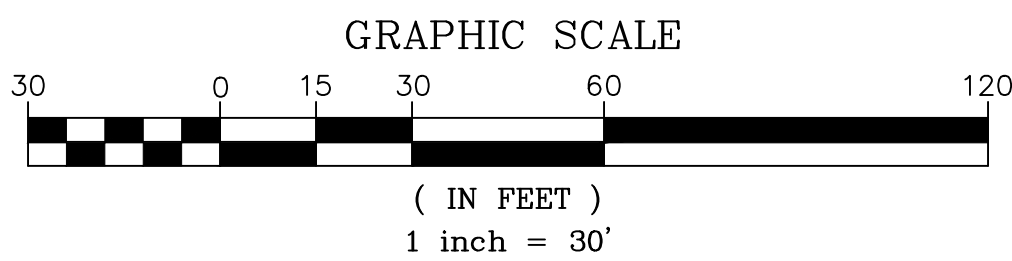
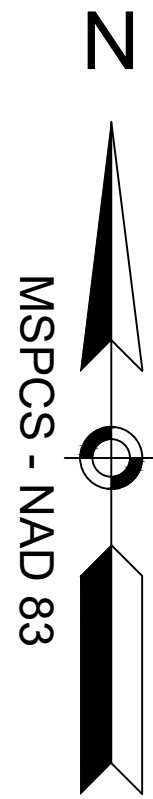
SU-30 SINGLE UNIT TRUCK

1"=30'



WB-40 INTERMEDIATE SEMI-TRAILER

1"=30'

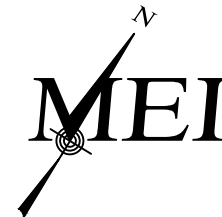


PREPARED FOR

F & D REALTY LLC

1 MELVIN STREET, SUITE C
WAKEFIELD, MA 01880

7	3/1/23	ADDRESS REVIEW COMMENTS	S.R.C.
6	2/7/23	REMOVE STORAGE AREA	J.T.M.
5	1/4/23	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
4	12/7/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
3	10/20/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
2	9/1/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
1	6/21/22	ADDRESS TOWN COMMENTS	C.M.Y.
NO.	DATE	DESCRIPTION	BY



MILLENNIUM ENGINEERING, INC.

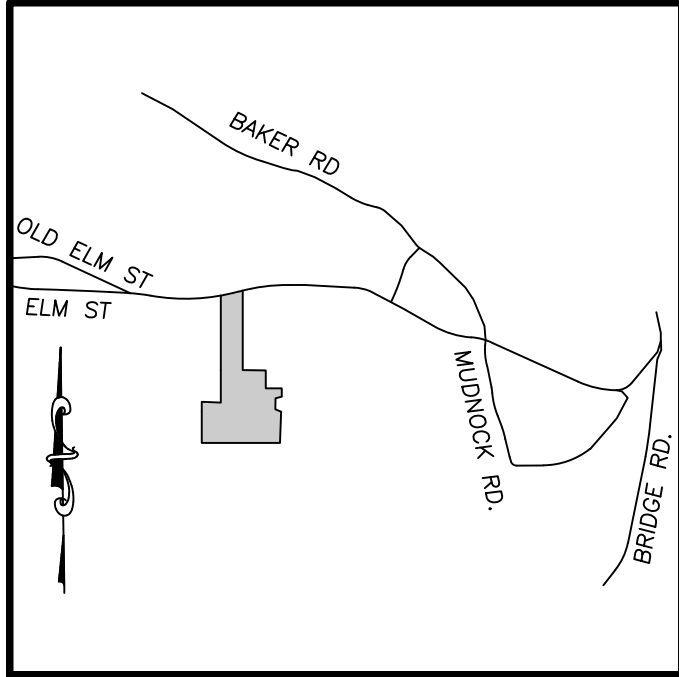
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=30'	DESIG. BY: C.M.Y.	PROJECT: M183284
DATE: JUN. 1, 2022	CHKD. BY: E.W.B.	

PLAN OF LAND
IN
SALISBURY, MA
SHOWING
PROPOSED SITE IMPROVEMENTS
AT
163 ELM STREET

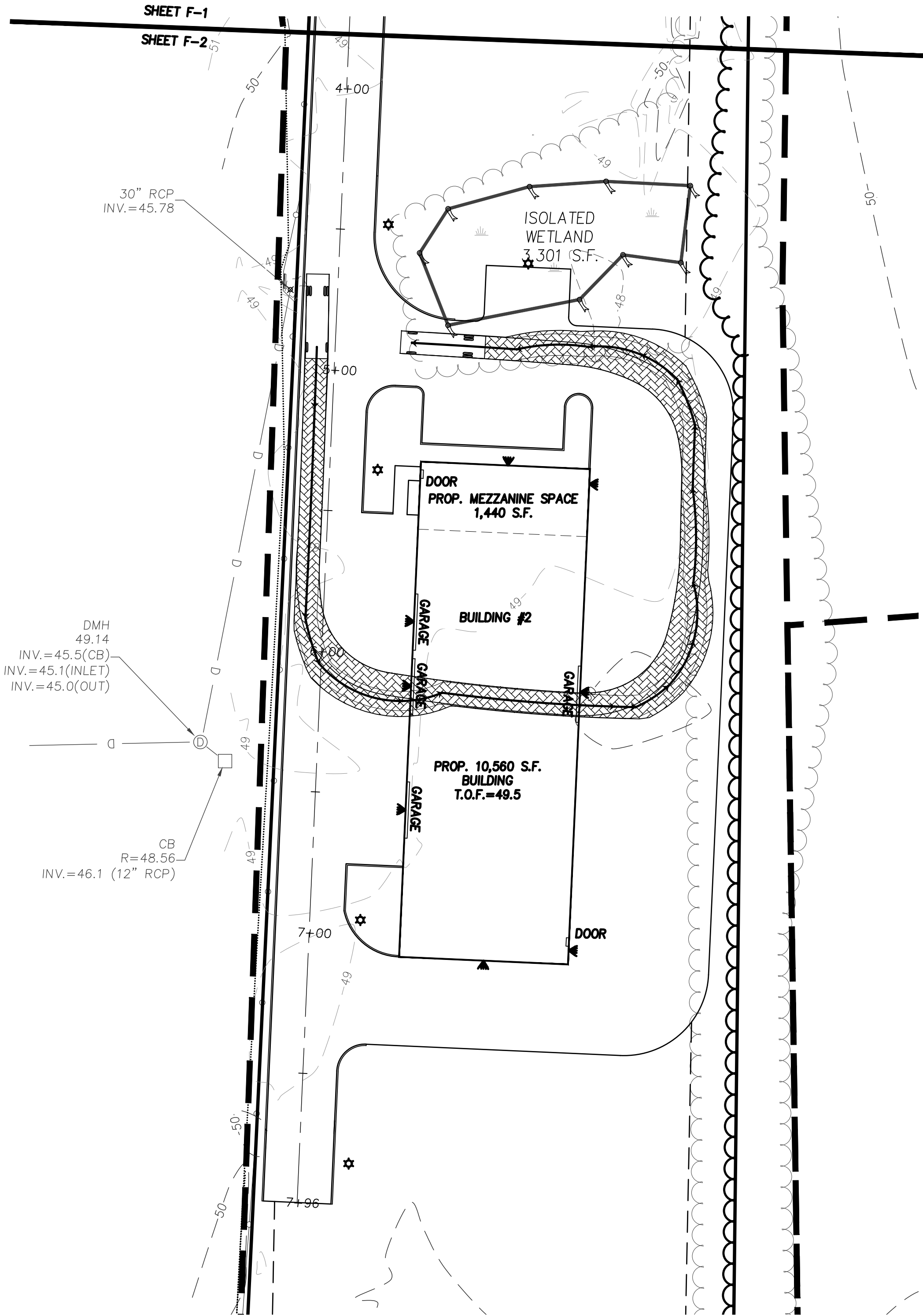
TRUCK TURNING MOVEMENTS

SHEET: F-1



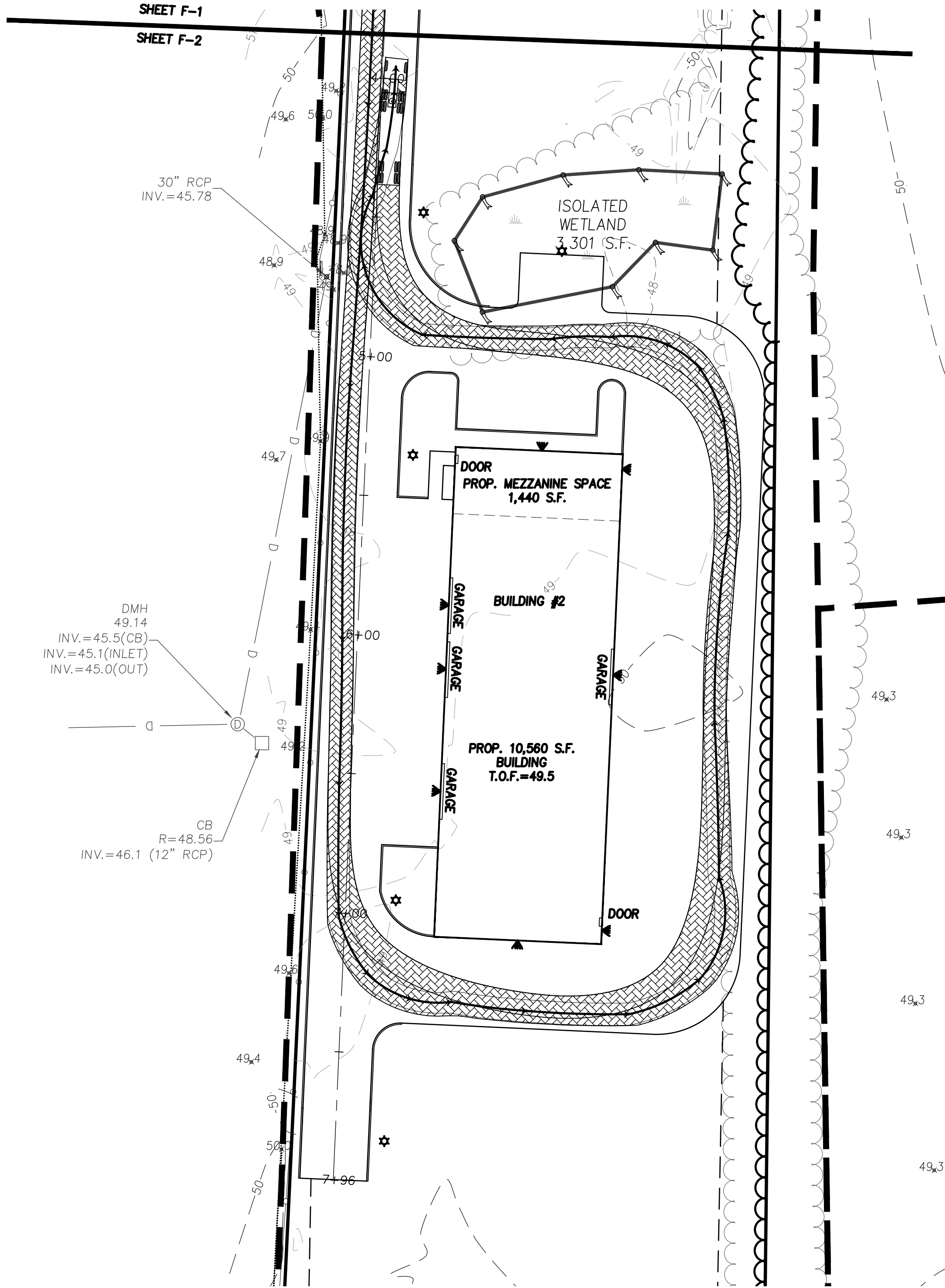
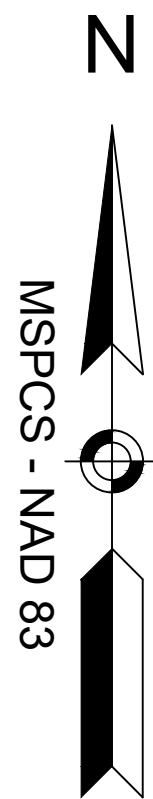
NOTES

1) THE FOLLOWING PLANS DEPICT THE TRUCK TURNING ANALYSIS FOR A SU-30 SINGLE UNIT TRUCK AND WB-40 INTERMEDIATE SEMI-TRAILER



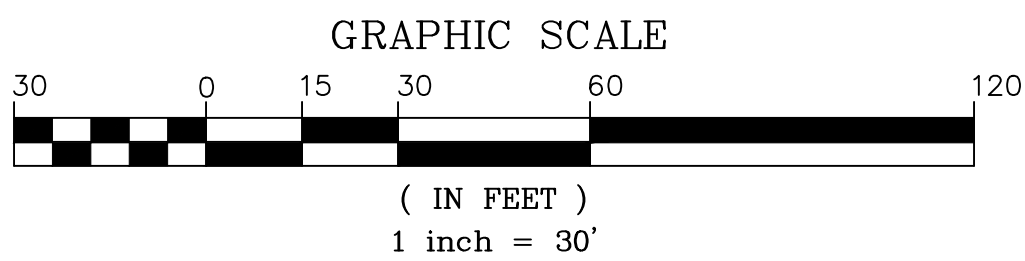
SU-30 SINGLE UNIT TRUCK

1"=30'



WB-40 INTERMEDIATE SEMI-TRAILER

1"=30'

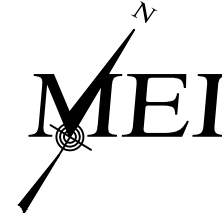


PREPARED FOR

F & D REALTY LLC

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WAKEFIELD, MA 01880

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2	9/1/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
1	6/21/22	ADDRESS TOWN COMMENTS	C.M.Y.
NO.	DATE	DESCRIPTION	BY



MILLENNIUM ENGINEERING, INC.

ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=30'	DESIG. BY: C.M.Y.	PROJECT: M183284
DATE: JUN. 1, 2022	CHKD. BY: E.W.B.	

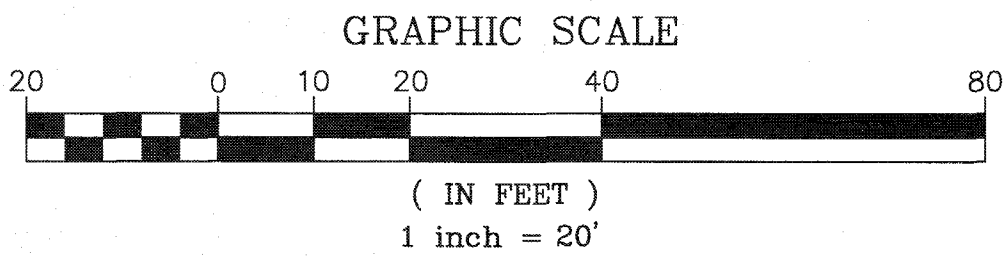
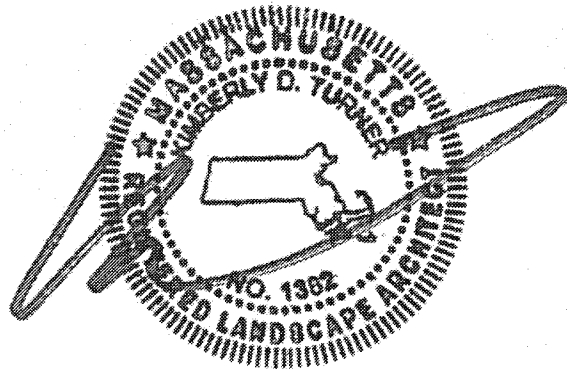
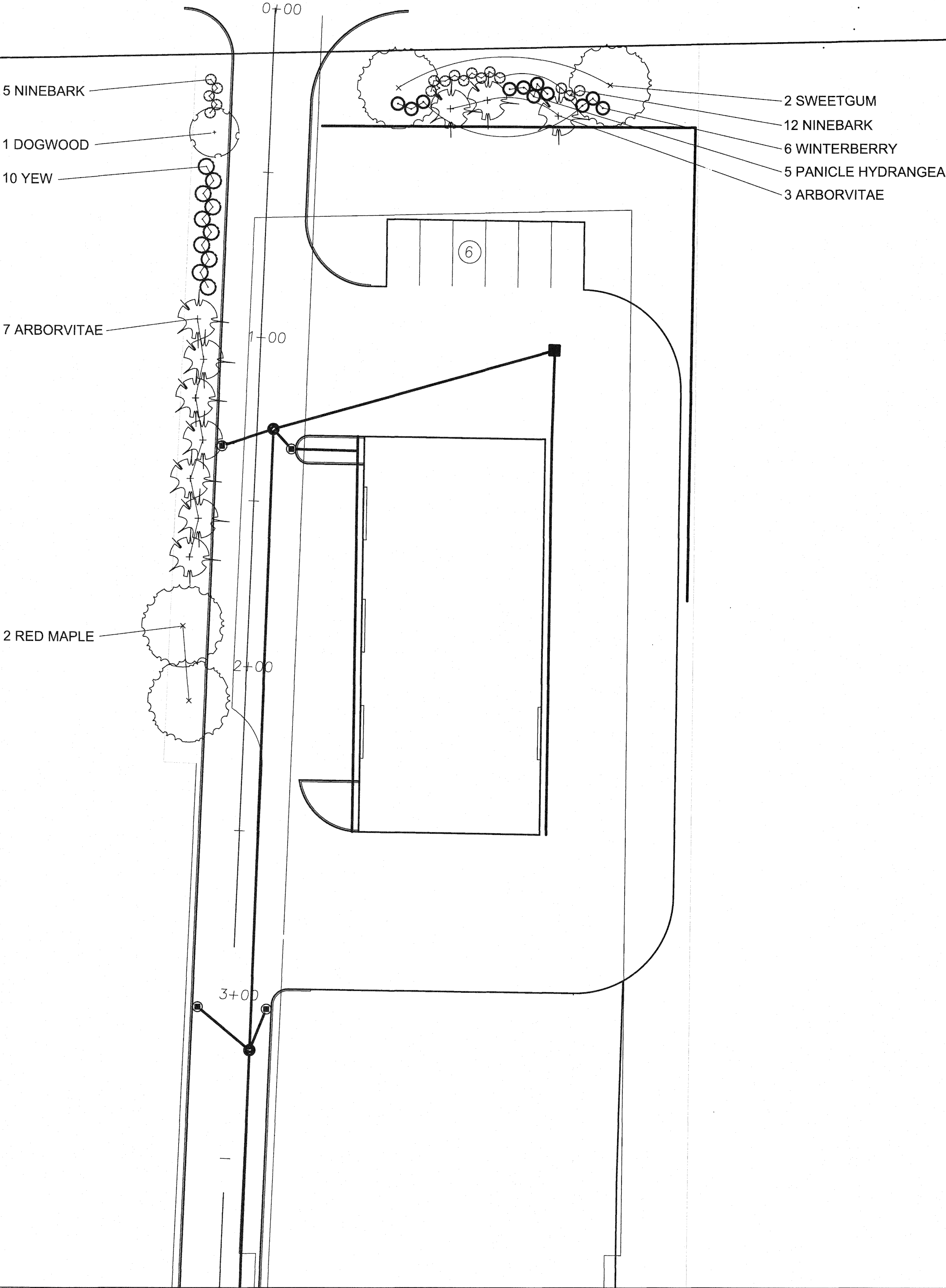
PLAN OF LAND
IN
SALISBURY, MA
SHOWING
PROPOSED SITE IMPROVEMENTS
AT
163 ELM STREET

TRUCK TURNING MOVEMENTS

SHEET: F-2

163 Elm Plant List

Trees			
2	Acer rubrum 'October Glory'	October Glory Red Maple	2.5-3" cal.
1	Cornus x rutban	Dogwood	2-2.5" cal.
2	Liquidambar styraciflua	Sweetgum	2.5-3" cal.
10	Thuja 'Green Giant'	Arborvitae	8-10' ht.
Shrubs			
5	Hydrangea paniculata 'Quickfire'	Panicle Hydrangea	5 gal.
6	Ilex verticillata	Winterberry	5 gal.
17	Physocarpus opulifolius	Ninebark	5 gal.
10	Taxus x media 'Densiformis'	Yew	5 gal.



PREPARED FOR

4			
3			
2			
1	6/13/22	FOR REVIEW	KT
NO.	DATE	DESCRIPTION	BY

KDTurner Design
landscape architecture
27 High St.
Newburyport, MA 01950
ph) 781.632.6004

SCALE: 1"=20'
DATE: JUNE 13, 2022

LANDSCAPE PLAN

IN
SALISBURY, MA

SHOWING
PROPOSED SITE DEVELOPMENT
AT
163 ELM STREET

L-1