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Bart McDonough

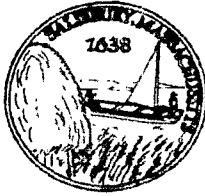
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Planning Board:

Don Egan, Chair

John "Marty" Doggett, V. Chair

Gil Medeiros, Clerk

Lou Masiello

Deborah Rider, Alternate

## Planning Board

Town of Salisbury

5 Beach Road

Salisbury, MA 01952

## SPECIAL PERMIT & SITE PLAN APPROVALS

September 10, 2019

Town Clerk  
Town of Salisbury  
Salisbury, MA 01952

RE: 3 Bridge Road and 4 Beach Road Special Permit and Site Plan Approval

Petitioners: Liberty Real Estate Strategy, LLC & Downeast Development, LLC  
Address of Petitioners: 24R Pleasant Street, Unit 2, Newburyport, MA 01952  
Address of Project: 3 Bridge Road and 4 Beach Road Salisbury, MA 01952

To the Town Clerk:

*This is to certify, at a duly noticed public hearing of the Salisbury Planning Board regarding a special permit and site plan review applications opened on May 22, 2019, continued on June 12, 2019, June 26, 2019, July 10, 2019, July 24, 2019, August 14, 2019 and closed on August 28, 2019 by a motion duly made and seconded, it was voted:*

"We, the Salisbury Planning Board, as requested by Liberty R.E, Strategy, LLC and Downeast Development, LLC under the provisions of General Laws Chapter 40A, Article XIII A Special Provisions for Village Center District, Article XVIII Site Plan Review and §300-35 of the Zoning Bylaws of the Town of Salisbury, to consider a special permit and site plan approval upon the contemplated use for a multibuilding, mix-used development, composing of 13 residential units, commercial space, roadway and parking infrastructure, and other essential site infrastructure and land improvements for property addressed at 3 Bridge Road (Assessors Map 3, Lot 13) and 4 Beach Road ( Assessor's Map 3, Lot 10 ) shown on plans ("The Plans") entitled:

"Plan of Land in Salisbury, MA, Showing Proposed Site Improvements at 3 Bridge Road / 4 Beach Road, prepared for Downeast Investments, LLC and Liberty Real Estate Strategy, LLC and prepared and stamped by Millennium Engineering Inc., dated March 25, 2019 and revised on April 3, 2019, May 16, 2019, June 10, 2019, July 30, 2019 and August 19, 2019 do hereby vote:

This is to certify that twenty (20) days  
have elapsed from date of decision filed  
without filing of an appeal.

Town of Salisbury, Massachusetts: 3 Bridge Road and 4 Beach Road Special Permit and Site Plan Review Decision

Town Clerk

Date

Melinda J. Marston  
October 2, 2019



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TOWN OF SALISBURY

## I.

**SPECIAL PERMIT APPROVALS****§300-82.4(B)(2) Horizontal mixed-use development**

Lou Masiello motioned to grant, with the conditions listed hereinbelow in section VI. Special Permit Conditions, the special permit application pursuant to M.G.L, Chapter 40A, §300-35 Special permits, §300-82.10 Special permits and §300-82.4(B)(2) Horizontal mixed-use development of the Zoning Bylaws of the Town of Salisbury for property located on 3 Bridge Road (Assessor's Map 3, Lot 13) and 4 Beach Road (Assessor's Map 3, Lot 10) Salisbury, MA that seeks relief to construct a horizontal mixed-use development along with the installment of major site improvements because:

1. The requested use *is listed* in §300-12 Table of Uses as a use permitted by special permit by the Planning Department;
2. The requested use *has demonstrated* to be desirable to the public convenience or welfare;
3. The requested use *has demonstrated* it will not create undue traffic congestion or unduly impair pedestrian safety;
4. The requested use *has demonstrated* it will not overload any public water, drainage, or sewer system or any other municipal system to such an extent that the requested use or any developed use in the immediate area or in any other area of the Town will be unduly subjected to hazards affecting health, safety, or the general welfare;
5. *No special regulations were identified* for this particular use set forth in §300-12 Table of Uses;
6. The requested use *has demonstrated* it will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare of the neighborhood;
7. The requested use *has demonstrated* it will not, by its addition to a neighborhood, cause an excess of that particular use that could be detrimental to the character of said neighborhood;
8. The requested use *has demonstrated* it addresses the purpose if the Village Center District; and
9. The requested use *has demonstrated* it appropriately addresses the site-specific attributes and site-specific concerns held by the Planning Board its peer review consult, and municipal staff.

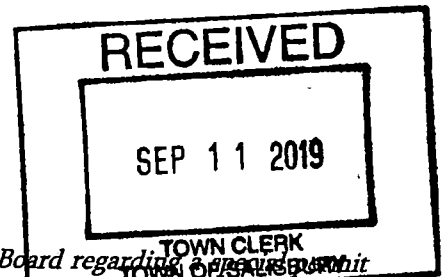
John "Marty" Doggett seconded.

Vote on Special Permit:

Don Egan: Yes Lou Masiello: Yes John "Marty" Doggett: Yes Gil Medeiros: Yes Deborah Rider Yes

Special Permit: Granted

§300-82.5(B)(3) Density of residential uses



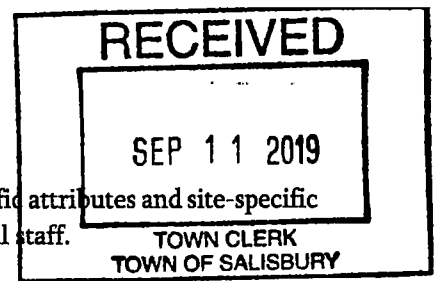
*This is to certify, at a duly noticed public hearing of the Salisbury Planning Board regarding a special permit application opened on August 14, 2019 and continued and closed on August 28, 2019 by a motion duly made and seconded, it was voted:*

"We, the Salisbury Planning Board, as requested by Liberty R,E, Strategy, LLC and Downeast Development, LLC under the provisions of General Laws Chapter 40A, §300-35 Special permits, §300-82.10 Special permits, §300-82.5(B)(3) Density of residential uses of the Zoning Bylaws of the Town of Salisbury, to consider a special permit upon the contemplated use that seeks relief to increase residential density to 2,500 square feet for the second and each additional unit for the proposed 13 residential units on property addressed at 4 Beach Road (Assessor's Map 3, Lot 10) shown on plans ("The Plans") entitled:

"Plan of Land in Salisbury, MA, Showing Proposed Site Improvements at 3 Bridge Road / 4 Beach Road, prepared for Downeast Investments, LLC and Liberty Real Estate Strategy, LLC and prepared and stamped by Millennium Engineering Inc., dated April 3, 2019 and revised on May 16, 2019, June 10, 2019, July 30, 2019 and August 19, 2019 do hereby vote:

Lou Masiello motioned to grant the special permit application, pursuant to M.G.L Chapter 40A, §300-35 Special permits, §300-82.10 Special permits, and §300-82.5(B)(3) Density of residential units of the Zoning Bylaws of the Town of Salisbury for property located 3 Beach Road (Assessor's Map 3, Lot 13) and 4 Beach Road (Assessor's Map 3, Lot 10) Salisbury, MA that seeks relief to increase residential density to 2,500 square feet for the second and each additional unit, totaling 13 dwelling units on Map 3. Lot 10 as:

1. The requested use *is listed* in §300-12 Table of Uses as a use permitted by special permit by the Planning Department;
2. The requested use *has demonstrated* to be desirable to the public convenience or welfare;
3. The requested use *has demonstrated* it will not create undue traffic congestion or unduly impair pedestrian safety;
4. The requested use *has demonstrated* it will not overload any public water, drainage, or sewer system or any other municipal system to such an extent that the requested use or any developed use in the immediate area or in any other area of the Town will be unduly subjected to hazards affecting health, safety, or the general welfare;
5. There *are no special regulations* for this particular use set forth in §300-12 Table of Uses.
6. The requested use *has demonstrated* it will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare of the neighborhood;
7. The requested use *has demonstrated* it will not, by its addition to a neighborhood, cause an excess of that particular use that could be detrimental to the character of said neighborhood;
8. The requested use *has demonstrated* it addresses the purpose if the Village Center District; and



9. The requested use *has demonstrated* it appropriately addresses the site-specific attributes and site-specific concerns held by the Planning Board its peer review consult, and municipal staff.

John "Marty" Doggett seconded.

Vote on Special Permit:

Don Egan: Yes Lou Masiello: Yes John "Marty" Doggett: Yes Gil Medeiros: Yes Deborah Rider Yes

Special Permit: Granted

### §300-82.8(C) Building placement

*This is to certify, at a duly noticed public hearing of the Salisbury Planning Board regarding a special permit application opened on August 14, 2019 and continued and closed on August 28, 2019 by a motion duly made and seconded, it was voted:*

"We, the Salisbury Planning Board, as requested by Liberty R,E, Strategy, LLC and Downeast Development, LLC under the provisions of the General Laws, Chapter 40A, §300-35 Special permits, §300-82.10 Special permits, §300-82.8(C) Building placement of the Zoning Bylaws of the Town of Salisbury, to consider a special permit upon the contemplated use that seeks relief to approve an alternative design of the commercial building that is consistent with the purpose of the Village Center District on property addressed at 3 Beach Road (Assessor's Map 3 Lot 13) shown on plans ("The Plans") entitled:

"Plan of Land in Salisbury, MA, Showing Proposed Site Improvements at 3 Bridge Road / 4 Beach Road, prepared for Downeast Investments, LLC and Liberty Real Estate Strategy, LLC and prepared and stamped by Millennium Engineering Inc., dated April 3, 2019 and revised on May 16, 2019, June 10, 2016, July 30, 2019, and August 19, 2019 do hereby vote:

John "Marty" Doggett motioned to grant the special permit petition, pursuant to M.G.L Chapter 40A, §300-35 Special permits, §300-82.10 Special permits, and §300-82.8(C) Building placement of the Zoning Bylaws of the Town of Salisbury for property located on 3 Beach Road (Assessor's Map 3, Lot 13) that seeks relief for an alternative design of the commercial building that is consistent with the purpose of the Village Center district as:

1. The requested use *is listed* in §300-12 Table of Uses as a use permitted by special permit by the Planning Department;
2. The requested use *has demonstrated* to be desirable to the public convenience or welfare;
3. The requested use *has demonstrated* it will not create undue traffic congestion or unduly impair pedestrian safety;
4. The requested use *has demonstrated* it will not overload any public water, drainage, or sewer system or any other municipal system to such an extent that the requested use or any developed use in the immediate area or in any other area of the Town will be unduly subjected to hazards affecting health, safety, or the general welfare;
5. There *are no special regulations* for this particular use set forth in §300-12 Table of Uses.



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6. The requested use *has demonstrated* it will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare of the neighborhood;
7. The requested use *has demonstrated* it will not, by its addition to a neighborhood, cause an excess of that particular use that could be detrimental to the character of said neighborhood;
8. The requested use *has demonstrated* it addresses the purpose if the Village Center District; and
9. The requested use *has demonstrated* it appropriately addresses the site-specific attributes and site-specific concerns held by the Planning Board its peer review consult, and municipal staff.

Gil Medeiros seconded.

Vote on Special Permit:

Don Egan: Yes Lou Masiello: Yes John "Marty" Doggett: Yes Gil Medeiros: Yes Deborah Rider Yes

Special Permit: Granted

§300-82.8(H) Outdoor storage

*This is to certify, at a duly noticed public hearing of the Salisbury Planning Board regarding a special permit application opened on August 14, 2019 and continued and closed on August 28, 2019 by a motion duly made and seconded, it was voted:*

"We, the Salisbury Planning Board, as requested by Liberty R,E, Strategy, LLC and Downeast Development, LLC under the provisions of the General Laws, Chapter 40A, §300-35 Special permits, §300-82.10 Special permits, §300-82.8(H) Outdoor storage of the Zoning Bylaws of the Town of Salisbury, to consider a special permit upon the contemplated use that seeks relief to approve outdoor storage, trash collection, compaction, or loading within 50 feet of a residential district on property addressed at 3 Bridge Road (Assessor's Map 3, Lot 10) and 4 Beach Road (Assessor's Map 3 Lot 13) shown on plans ("The Plans") entitled:

"Plan of Land in Salisbury, MA, Showing Proposed Site Improvements at 3 Bridge Road / 4 Beach Road, prepared for Downeast Investments, LLC and Liberty Real Estate Strategy, LLC and prepared and stamped by Millennium Engineering Inc., dated April 3, 2019 and revised on May 16, 2019, June 10, 2016, July 29, 2019, and August 19, 2019 do hereby vote:

Gil Medeiros motioned to grant the special permit petition, pursuant to M.G.L Chapter 40A, §300-35 Special permits, §300-82.10 Special permits, and §300-82.8(H) Outdoor storage of the Zoning Bylaws of the Town of Salisbury for property located on 3 Bridge Road (Assessor's Map 3, Lot 13) and 4 Beach Road (Assessor's Map 13, Lot 10) Salisbury, MA that seeks relief to locate dumpster within 50 feet of a residential district as:

1. The requested use *is listed* in §300-12 Table of Uses as a use permitted by special permit by the Planning Department;
2. The requested use *has demonstrated* to be desirable to the public convenience or welfare;
3. The requested use *has demonstrated* it will not create undue traffic congestion or unduly impair pedestrian safety;

4. The requested use *has demonstrated* it will not overload any public water, drainage, or sewer system or any other municipal system to such an extent that the requested use or any developed use in the immediate area or in any other area of the Town will be unduly subjected to hazards affecting health, safety, or the general welfare;
5. There *are no special regulations* for this particular use set forth in §300-12 Table of Uses.
6. The requested use *has demonstrated* it will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare of the neighborhood;
7. The requested use *has demonstrated* it will not, by its addition to a neighborhood, cause an excess of that particular use that could be detrimental to the character of said neighborhood;
8. The requested use *has demonstrated* it addresses the purpose of the Village Center District; and
9. The requested use *has demonstrated* it appropriately addresses the site-specific attributes and site-specific concerns held by the Planning Board its peer review consult, and municipal staff.

Deborah Rider seconded.

Vote on Special Permit:

Don Egan: Yes Lou Masiello: Yes John "Marty" Doggett: Yes Gil Medeiros: Yes Deborah Rider Yes

Special Permit: Granted

## II. SITE PLAN RELIEF REQUEST

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The Petitioners requested at the August 28, 2019 Planning Board meeting, pursuant to §300-82.6(8) of the Zoning Bylaws of the Town Salisbury, the following relief:

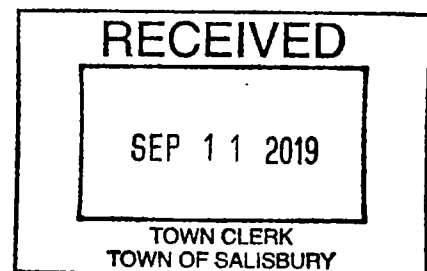
1. A reduction in parking of up to 12.5% of the total required spaces for the uses served by said parking.

Gil Medeiros motioned to grant relief up to 12.5%, pursuant to §300-82.6(8) as the Board has determined that the required number of parking spaces of 57 can be reduced to 50, subject to a parking sharing agreement, without compromising site's vehicular and pedestrian safety.

Deborah Rider seconded.

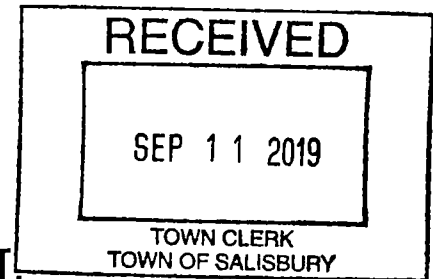
Vote on relief request: 5-0

Motion: Passed



### III.

## SITE PLAN APPROVAL



Before the Planning Board votes to approve the proposed site plan, pursuant to Article XVIII Site Plan Review of the Zoning Bylaws of the Town of Salisbury, the Planning Board, in according with §300-82.7 of the Zoning Bylaws of the Town of Salisbury, in addition to the requirements within Article XIII A Special Provisions for Village Center District of the Zoning Bylaws of the Town of Salisbury, shall approve a site plan for development in the Village Center District only upon finding that the proposed project could not be reasonably altered to:

- a. Achieve greater consistency with the Village Center District development standards and design guidelines in §300-82.8, as applicable;
- b. Improve convenience and safety of vehicular and pedestrian movement within the site and egressing from it, such as by the location of driveway openings in relation to traffic and/or adjacent streets and the placement, height and size of signage;
- c. Improve access to each building or structure for fire and service equipment;
- d. Provide greater compatibility of buildings, lighting and signs by virtue of their location, arrangement, size and design;
- e. Increase protection for adjacent or neighboring properties against noise, glare, odor, lighting, unsightliness or other objectionable features; and
- f. Reduce the visual intrusion of parking areas viewed from public ways or abutting premises.

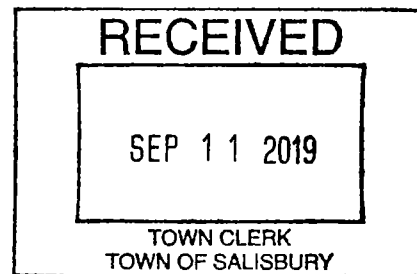
Gil Medeiros motioned to approve the proposed site plan, considering the proposed site plan:

- a. *Achieves* greater consistency with the Village Center District development standards and design guidelines in §300-82.8, as applicable;
- b. *Demonstrates satisfactorily* an improvement to the convenience and safety of vehicular and pedestrian movement within the site and egressing from it, such as by the location of driveway openings in relation to traffic and/or adjacent streets and the placement, height and size of signage;
- c. *Improves* access to each building or structure for fire and service equipment;
- d. *Provides* greater compatibility of buildings, lighting and signs by virtue of their location, arrangement, size and design;
- e. *Increases* protection for adjacent or neighboring properties against noise, glare, odor, lighting, unsightliness or other objectionable features; and
- f. *Reduces* the visual intrusion of parking areas viewed from public ways or abutting premises.

John "Marty" Doggett seconded.

Vote on Site Plan: 5-0.

Motion: Passed.



## IV. APPLICATION MATERIALS

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Hereinbelow, but not limited to are the materials submitted to the Planning Board during the public hearings:

1. Site plan sheets: Millennium Engineering Inc., Site Plan Sheet 1 of 8, dated April, 3 2019 and revised on May 18, 2019; June 10, 2019; July 30, 2019 and August 19, 2019
2. Landscaping plan: KDTurner Design landscape architecture, dated January 21, 2019 and revised, March 3, 2019; May 15, 2019; June 10, 2019; June 19, 2019; July 23, 2019; July 29, 2019, and August 14, 2019
3. Site lighting layout: Visible Light, Inc., dated March 25, 2019 and revised on August 19, 2019
4. Fire truck turning template: Millennium Engineering Inc., dated April 3, 2019 and revised on May 18, 2019; June 10, 2019, July 30, 2019 and August 19, 2019
5. Construction floor plans: Savoie nolan Architects LLC, dated May 31, 2019
6. Architectural elevations: Savoie nolan Architects LLC, dated November 26, 2019 and revised on April 3, 2019; June 5, 2019, July 19, 2019 and August 15, 2019
7. Aerial perspective, dated June 5, 2019 and revised on July 19, 2019
8. Site plan application, dated April 23, 2019
9. §300.82.4(B)(2) Horizontal mixed-use special permit application, dated April 23, 2019
10. Special permit and site plan application narrative, dated April 23, 2019
11. Trip generation Estimates: Vanasse & Associates, Inc., dated May 30, 2019
12. Special permit supplemental narrative, dated July 8, 2019
13. §300-82.5(B)(3) Density of residential uses special permit application, dated July 26, 2019
14. §300-82.8(C) building placement special permit application, dated July 26, 2019
15. §300-82.8(H) outdoor storage special permit application, dated July 26, 2019
16. Stormwater report, dated March 25, 2019 and revised on May 16, 2019
17. Long-term pollution prevention plan and operation and maintenance plan: Millennium Engineering, Inc., dated June 10, 2019
18. Response letter from Millennium Engineering, Inc., dated June 10, 2019 and July 30, 2019
19. Review letters from Planning Board Consultant Engineer, Joseph Serwatka, dated April 24, 2019; May 28, 2019; June 18, 2019, and August 6, 2019
20. Town of Salisbury Review Letters from the:
  - a. Department of Public Works, dated August 13, 2019
  - b. Planning Department, dated December 5, 2018
  - c. Fire Department, dated December 4, 2018

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1. Currently, 3 Bridge Road (Map 3, Lot 10) and 4 Beach Road (Map 3, Lot 13), the proposed sites, are abandon, derelict, and overgrown with invasive vegetation. Abutting the two lots are a gas station, wetlands, residential units and retail commercial uses. The properties under review have been abandon for a number of years with prior uses as an auto repair garage and full-service gas station. In 2009, the gas tanks were removed from the property and remediation measures employed to decontaminate the soil and groundwater.
2. Map 3, Lot 10 and Map 3, Lot 13 current natural features comprise a large presence of invasive vegetation; such as knotweed, intermittently dispersed trees, and a wetland that abuts the lot on the southwestern property line, located within the property of Map 3, Lot 14. Alongside the invasive vegetation, the remaining elements of the properties possess an admixture of elements; most notably an abandon gas station and sporadic pieces of deteriorating impervious surfaces. As for stormwater run-off, it currently flows from both lots southwesterly into the wetland located within the abutting lot (Map 3, Lot 14).
3. The two proposed sites are within the Village Center District and the primary zoning utilized in these applications fall under Article XIII Special Provisions for Village Center District. The Petitioners shall combine the lots in order to satisfy the Zoning Bylaw's dimensional control regulations as proposed on the site plans by Millennium Engineering, dated March 25, 2019 and revised on April 4, 2019, and stamped by the Town Clerk on April 29, 2019.
4. Another major challenge the development encountered, concerned the adequate supply of parking and unencumbered access and egress to and fro the site. The parking issue was on account of the dimensional control regulations and site designed standards of Article XIII A Special Provisions for Village Center District coupled with the uncertainty of the type of uses to occupy the commercial building's ground level spaces. The Petitioners during the public hearing introduced the allusion that the various businesses within the commercial building shall "occupy different areas of the clock" as a result of the inherently dissimilar nature of businesses planned to occupy the commercial building. While compelling the conception was, the Planning Board does not share this opinion. Whereas the Petitioners failed to provide any evidence, nor guaranteed during the public hearing, the specific types of businesses to occupy the first floor of the commercial building; invoking and presenting only theoretical occupants. As a result, the Petitioners failed to demonstrate to the Board that the application could fulfill the parking standards. As a result, the Petitioners requested a 12.5% reduction in the required amount of parking spaces, pursuant to §300-82.6(8). In regard to access, the Petitioners attempted in good faith to reach an agreement with the property owner of Map 3, Lot 12 to assist in improving vehicular flow and access to all three lots (Map 3, Lot(s) 10, 12 & 13). Moreover, the proposed interconnection by the Petitioners between all three sites substantially would have improved vehicular safety; however, the property owner of Map 3, Lot 12 refused to meet with the Petitioners to finalize an agreement. Nevertheless, the Petitioners have proposed to grant to the benefit of Map 3, Lot 12 an access easement on Map 3, Lot 10 (see site plan sheet, C-3) to utilize for future use.
5. Related to access is the effect of the increase vehicular traffic generated by the site's improvement. During the public hearing, the Board was concern, given the location of the site at the intersection of Bridge and Beach Road, over the potential traffic impact on the Village Square and surrounding neighborhoods. In response, the Petitioners sought the services of Vanasse & Associations, Inc. to analyze the trip generation estimate based on the site's proposed uses during various periods of the week. The report concluded, with

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full occupancy, that an approximate 236 vehicle trips would be generated on an average weekday, while an increase of 248 vehicle trips is estimated during the weekend. If broken down to its lowest common denominator, the development is estimated to experience less than one (1) vehicle trip every 10 minutes during the peak hours. Based on that information, the Petitioners were confident that the traffic generated by the development would not adversely impact local traffic patterns. While the trip generation report submitted by the Petitioners seemed to suggest negligible traffic impacts will transpire, the Board retains reservations over the matter. Specifically, the Board is concerned with the interaction of the traffic generated by the House of Pizza, CVS, Beach Road and Lincoln Street with the vehicular traffic utilizing the development's access and egress onto Beach Road. While the impact of this interplay between the sites remains to be seen, the Board shall require the Petitioners to file a follow-up report with the Board on the findings made by MassDOT, the functionary having jurisdiction over Beach Road access. Meanwhile, the Board encourages the Petitioners to continue pursuing negotiations with Map 3, Lot 12 to come to a solution to further improve the configuration of the sites' traffic patterns and access points in order to make the area safer for pedestrians and vehicular traffic.

6. A primary goal of Article XIII A Special Provisions for Village Center District is to create a synergetic relationship between pedestrian and vehicular infrastructure. Given the circumstances and site characteristics, the Board concludes that the Petitioners made a good faith effort to create a traffic pattern flow that safely and harmoniously accommodates vehicular and pedestrian interactions.
7. The inclusion of locations dedicated to community interaction and open space is another requirement of Article XIII A of the Zoning Bylaws of the Town of Salisbury. The proposed site plan thoughtfully creates several locations for community interaction. Noteworthy is the improvement of the common space located in the right of way along Bridge Road. This location will transform from an unhospitable hardscape to a lush, welcoming place for pedestrians to congregate. The remaining passive open space infixed into the properties provides an acceptable amount of open space as required, pursuant to §300-82.5(4).
8. The architecture of both the commercial and residential buildings went through an extensive review and revision process during the public hearing. The final building schemes of both properties befittingly meets the development standards and design guidelines of §300-82.8 of the Zoning Bylaws. It is the opinion of this Board that its ultimate configuration shall greatly enhance the character of the Village Center District.
9. The submitted special permit and site plan applications contain a design that provided the foundation for the Planning Board to ascertain the fulfilment of the requirements, standards and guidelines of the Salisbury Planning Board Rules and Regulations and applicable Zoning Bylaws.
10. The petition for relief sufficiently demonstrates that it will not impair the integrity of the development's locus nor the land, natural resources and stormwater flow of the abutting properties. The petition shall unequivocally improve the lots not only from an environmental perspective, but also from an aesthetic, public amenities and tax base standing.
11. In accordance with Article XIII Inclusionary Housing Requirements of the Zoning Bylaws, the Board found during the public hearing that the Petitioners are subject to the requirements of the Bylaw, as the proposed development shall construct thirteen (13) residential dwelling units on a lot where none existed previously. The Petitioners have communicated to the Board that they intend to fulfill the requirements of the Bylaw by paying into the Affordable Housing Trust Fund, pursuant to §300-79 and §300-79 of the Zoning Bylaws.
12. The Planning Board has been advised through municipal staff that the utilities, stormwater and public works as proposed are adequate to serve the project. As the product moves forward, the Petitioners shall work

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closely with municipal staff and the Board's consultant engineer to ensure the development is constructed in accordance with the approved plans as identified in section IV. Materials of this decision.

13. The Planning Board has determined that the special permits petitions (§300-82.4(B)(2) Horizontal mixed-use development §300-82.5(B)(3) Density of residential uses; §300-82.8(C) Building placement, and §300-82.8(H) Outdoor storage) satisfy all the conditions enumerated in §300-35 of the Zoning By-Laws of the Town of Salisbury. Specifically, the Planning Board found:
- The requested use *was listed* in §300-12 Table of Uses of Zoning By-Laws of the Town of Salisbury as requiring a special permit from the Planning Board.
  - The requested use *was determined* to be desirable to the public convenience and welfare.
  - The requested use *demonstrated* that it will not create undue traffic congestion or unduly impair pedestrian safety.
  - The requested use *demonstrated* that it will not overload any public water, drainage, or sewer system or any other municipal system to such an extent that the requested use or any developed use in the immediate area or in any other area of the Town will be unduly subjected to hazards affecting health, safety, or the general welfare.
  - There *are no special regulations* within the Zoning By-Laws of the Town of Salisbury that needed to be fulfilled.
  - The requested use *demonstrated* that it will not impair the integrity or character of the district or adjoining districts, nor is the requested use detrimental to the health or welfare of the neighborhood; however, any expansion of the use will need to be reviewed by the Planning Board to ensure that it will not adversely impact the abutting residents and natural features.
  - The requested use *demonstrated* that it will not, by its addition to the neighborhood, cause an excess of that particular use that is detrimental to the character of the neighborhood.
9. The Planning Board determined that the special permit petitions (§300-82.4(B)(2) Horizontal mixed-use development §300-82.5(B)(3) Density of residential uses; §300-82.8(C) Building placement, and §300-82.8(H) Outdoor storage) satisfy all the criteria enumerated in §300-82.10 of the Zoning By-Laws of the Town of Salisbury. Specifically, the Planning Board found:
- The requested use *adequately demonstrated* it addresses the purpose if the Village Center District; and
  - The requested use *adequately demonstrated* it appropriately addresses the site-specific attributes and site-specific concerns held by the Planning Board, its peer review consult, and municipal staff.
10. In according with §300-82.7, in addition to the requirements in Article XVIII of the Zoning Bylaw, the Planning Board found that proposed site plan for development in the Village Center District could not be reasonably altered to:
- Achieve greater consistency with the Village Center District development standards and design guidelines in §300-82.8, as applicable;

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- b. Improve convenience and safety of vehicular and pedestrian movement within the site and egressing from it, such as by the location of driveway opening in relation to traffic and/or adjacent streets and the placement, height and size of signage;
- c. Improve access to each building or structure for fire and service equipment;
- d. Provide greater compatibility of buildings, lighting and signs by virtue of their location, arrangement, size and design;
- e. Increase protection for adjacent or neighboring properties against noise, glare, odor, lighting, unsightliness or other objectionable features; and
- f. Reduce the visual intrusion of parking areas viewed from public ways or abutting premises.

## VI. SPECIAL PERMIT CONDITIONS

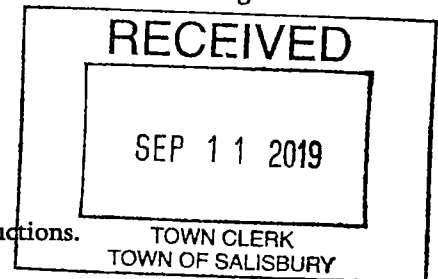
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The following Conditions shall be required at the Petitioners' sole expense, unless otherwise noted:

1. This approval shall apply to any successor in interest or successor in control of the property subject to this approval and to any contractor or other person performing work.
2. This approval is not final until all administrative appeal periods from this approval have elapsed, or if such an appeal has been taken, until all proceedings have been completed.
3. The work shall conform to the plans and conditions referenced in this approval.
4. All utilities on the site shall be underground. If the plan is amended to install above-ground utilities, the Petitioners must submit a site plan modification request to the Planning Board.
5. All signs will conform with Chapter 214, Signs, of the Town Code.
6. Applicant is responsible for maintaining parking space lines and signs located within the development.
7. All onsite exterior lighting shall be dark-sky compliant.
8. No deliveries shall take place outside the hours of 7 am through 7 pm Monday through Friday. Deliveries are prohibited on Saturday or Sunday.
9. The Petitioners are responsible for arranging site inspections and ensuring that the Planning Board's agent/or representative is on-site when items are required to be inspected.
10. All inspections of stormwater Best Management Practices (BMPs) and sediment and erosion control measures shall occur during construction of BMPs as well as within 24 hours of the end of a storm event of 0.5 inches or greater, from, the start of construction until the site is permanently stabilized.



11. All site inspections performed shall be documented by a written inspection report. The Petitioners shall submit annual stormwater operations and maintenance reports with the Department of Public Works.
12. The name and contact information of the entity responsible for submitting the annual stormwater operations and maintenance reports must be submitted to the Department of Public Works
13. The Petitioners shall submit to the Planning Board a revised traffic analysis report based on approval received from MassDOT regarding the entrance and egress access from the site.
14. The Petitioners shall retain all construction inspection records and reports for a minimum of 5 years from the date of issuance of the Certification of Completion.
15. The Petitioners shall submit a revised site plan, subject to the approval of the Planning Department, outlining waste disposal methods during construction which includes, but not limited to measures that provide for the disposal of any discarded building materials, concrete truck wash out, chemicals, litter, sanitary waste or any other waste or debris that is generated on the site due to the construction of the improvements of this site plan.
16. In the instant the sidewalk is utilized by a use located in the commercial building, e.g., outdoor seating, the Petitioners shall submit a site plan to the Planning Board for approval.
17. Snow storage shall be stockpiled on site per the approved plan. Snow storage shall not block roadways, rights-of-ways, sidewalks, crosswalks, parking areas, turnarounds, or stop drainage and stormwater BMPs from properly functioning. In the instance the snow storage areas reach capacity, the snow shall be transported off site at the Petitioners expense.
18. Furthermore, a snow removal protocol shall be detailed in the condominium master deed that mirror condition number 15 of this decision for the residential units located on Map 3, Lot 10.
19. In the instant the Petitioners modifies any of the buildings' footprint not referenced on the plat plan set, dated July 31, 2019, a special permit modification request shall be filed with the Planning Board for approval before any site work commences.
20. In the event the architectural design is amended as illustrated in the July 19, 2019 architectural renderings by Savoie Nolan Architects LLC, the Petitioners shall file a special permit modification request.
21. In the event that the drainage design fails to accommodate the stormwater runoff flowing from 2 Beach Road 9 (Map 3, Lot 12), the Petitioners shall submit to the Planning Department for approval a revised drainage design plan that satisfactorily addresses the design deficiencies.
22. All sidewalks abutting the lots will be replaced or repaired.
23. All concrete sidewalks work must involve full panels.
24. Detectable warning pads shall be installed on the sidewalks per manufacturing instructions.
25. Construction vehicles and personnel must not obstruct the public sidewalks, not interfere with sight distances for turning vehicles.



RECEIVED

SEP 11 2019

TOWN OF SALISBURY

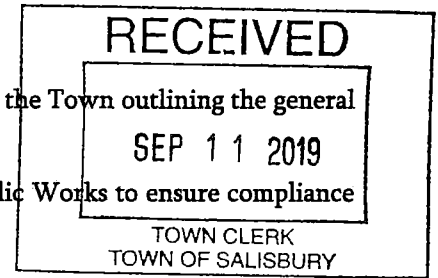
26. The Petitioners shall meet with the Department of Public Works Director to finalize the location of the water meters and appropriate connection point to the water main.
27. The Petitioners shall submit plans to Pennichuck to determine both the suitable sizing of water meters and connection fees.
28. All abandoned water services must be retied back to the main. Prior to the abandonment, Pennichuck must inspect and grant approval.
29. In the instance of a weather event during construction, the Petitioner shall inspect the erosion controls and make necessary repairs within the 24- hour period.
30. Prior to the issuance of a building permit, the Petitioners shall combine the lots and record plan at the Registry of Deeds.
31. The Petitioners shall provide to the Planning Board for approval an updated public realm improvement plan for the work to take place along the right-of-way and public realm on the westside of the sidewalk on Bridge Road. Construction of improvements within this designated area shall not occur until Planning Board approval is obtained.

## PRIOR TO ANY SITE WORK

32. The Petitioners shall submit to the Planning Department for approval the light fixture specifications that demonstrate a dark sky compliant design.
33. The Petitioners shall meet with the Department of Public Works Director to finalize the location of the construction entrance.
34. The lastly revised site plans dated August 19, 2019 shall be updated as conditioned in this Decision and five (5) complete sets shall be provided to the Planning Department, properly stamped, dated and indexed. These plans shall indicate compliance with all applicable Zoning By-Laws, except where relief has been expressly given by the proper authority.
35. The Petitioners shall provide, subject to the approval of the Planning Department, Planning Board's Engineering Consultant or designee, an updated Construction Sequencing Plan and Construction Site Inspection plan outlining the anticipated construction sequence of critical points of installation and the major frequency and contents of inspections at the construction site.
36. Prior to the pre-construction meeting, the Petitioners shall submit to the Planning Department and Department of Public Works Director for approval a traffic management plan for the proposed utility work on Bridge Road and Beach Road.
37. Following the administrative appeal period, this Decision and approved site plans shall be recorded at the registry of deeds prior to the pre-construction meeting. The Petitioners shall furnish evidence to the Planning Department demonstrating the recording of this Decision and approved site plans.
38. The Petitioners shall coordinate with the Planning Department a pre-construction meeting with the municipal staff prior to the start of any construction to review these conditions and any final construction sequencing, details, and plans for this Project. Commencement of construction includes any site clearing or grading. The limit of work line for the particular area or phase being developed shall be demarcated at this time through the placement of temporary snow fence material and erosion control barriers. Periodic status

reports (agreed upon at said pre-construction meeting) shall be submitted to the Town outlining the general status of the construction and major milestones completed.

39. The Petitioners are to meet with the Town of Salisbury Department of Public Works to ensure compliance with any requirements, including bonding.



## **PRIOR TO THE ISSUANCE OF A BUILDING PERMIT**

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40. No building permit shall be issued until all required bonds are posted, finalized plans are submitted to the Planning Department and a pre-construction meeting has occurred.
41. No building permit shall be issued until the inclusionary housing covenant is executed and recorded with the Registry of Deeds.
42. No building permit shall be issued until the Petitioners demonstrate that the lots are combined and a plan is recorded at the Registry of Deeds.
43. All other requirements and permits shall be sought and received, including, but not limited to, utility connections. The Petitioners shall bear the burden of ensuring all federal, state and local permitting has been sought and received. The "Petitioners" refers to the person or entity holding the fee interest to the title to the site from time to time, which can include but is not limited to the Petitioners, Developer and Owner.
44. The Petitioners shall provide to the Planning Department the name, address and telephone number of the person immediately responsible for supervision of all work and maintaining compliance with the approval. This person shall serve as project manager until a Certificate of Completion is issued, or until another project manager is designated. Should the project manager change during the course of the project, the Planning Department shall be notified as soon as practical of this change.
45. The Petitioners shall inform all contractors and subcontractors of the conditions and provisions of this approval. This approval shall be included in all construction contracts and subcontracts dealing with the work.
46. The Petitioners shall coordinate with the DPW Director all Town and public easements for water, drainage and sewer, if applicable.
47. The Petitioners shall meet with the Assessor to finalize the address, map and lot number and unit numbers.

## **DURING CONSTRUCTION**

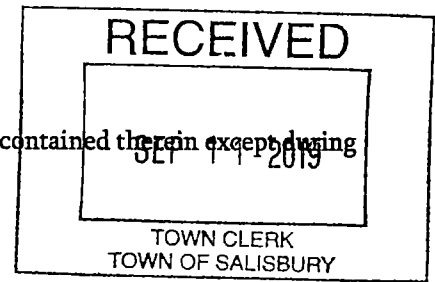
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48. Hours of Construction shall be adhered to and said hours shall be posted in a conspicuous place at the entrance prior to any work on the site. These Hours are:

Hours of Construction Operations:

- I. Construction activity shall not take place on-site or in any building contained therein except during the following hours:

Mondays through Fridays: 7:00 AM to 7:00 PM,  
Saturdays: 8:00 AM to 5:00 PM,  
Sundays and Legal Holidays: none



49. Town staff or their designee shall have reasonable access to inspect the site to determine compliance with this Decision. All water, sewer and drainage facilities shall be subject to inspection by the Town, and all water and sewer facilities shall be constructed in accordance with Town specifications.
50. Construction activities shall be conducted in a workmanlike manner at all times. Blowing dust or debris shall be controlled by the Petitioners through stabilization, wetting down, and proper storage and disposal methods.
51. Erosion and sedimentation control measures presented in the plan shall be adequate to retain all sediment within the site and away from wetlands, constructed wetlands, watercourses, and water bodies, both during and after construction.

## PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY

---

52. The Petitioners shall schedule a meeting with the Building Inspector and Town Planner at least 30 days prior to the request for a Certificate of Occupancy to review compliance with this Decision.
53. The Petitioners shall apply for a Certificate of Completion or Certificate of Partial Completion, per §300-112.H of the Zoning By-Laws of the Town of Salisbury, upon which time the Engineering Consultant for the Planning Board has 10 days to inspect the project. The inspection must be done and the Certificate of Completion must be granted in order to receive a Certificate of Occupancy.
54. In the instance the Petitioners are granted a Partial Certificate of Completion, upon completion of the work described herein, the Petitioners shall submit a request for a Certificate of Completion and a final set of as-built plans to the Planning Board, upon which time the Inspector for the Planning Board has 10 days to inspect the project. This must be done and the Certificate of Completion must be granted in order to receive the final Certificate of Occupancy.
55. In the instance the Petitioners seek a Certificate of Partial Completion, bonding shall be required for an amount to complete the development's site work and permitting obligations.
56. The Petitioners shall submit to the Assessor and Planning Department for review the master deed for the condominium association.
57. The Petitioners shall submit to the Planning Department for approval a landscaping management plan establishing the required protocols for post-development landscaping maintenance. Said management plan shall be incorporated in the condominium master deed.
58. The Petitioners shall submit to the Planning Department for review, prior to the issuance of the first residential unit's certificate of occupancy, the access easement benefiting Map 3, Lot 12. The Petitioners shall submit a recorded copy of the access easement from the Registry of Deeds prior to the issuance of the last residential unit's certificate of occupancy.

59. The Petitioners shall submit to the Planning Department for review the shared parking agreement between Map 3, Lot 13 and Map 3, Lot 10 prior to the issuance of the first certificate of occupancy permit. Aforementioned shared parking agreement shall be recorded at the Registry of Deeds and a copy delivered to the Planning Department prior to the issuance of the final residential unit's certificate of occupancy permit.

## AFTER OCCUPANCY

60. The Petitioners or future owner shall have the responsibility of maintaining or replacing the access to Bridge Road and Beach Road, parking areas, utilities, landscaping, stormwater system and appearances, signage and lighting as indicated in the plans.

## MODIFICATION OF SPECIAL PERMIT

61. In the event that the Petitioners intend to modify any of the approved special permits, the Petitioners shall reapply in accordance with M.G.L Chapter 40A.

## APPEAL OF SPECIAL PERMIT

62. In accordance with M.G.L, Chapter 40A, Section 17, any appeal must be filed with the Town Clerk and occur within 20 days of the date that the decision was filed with the Town Clerk.

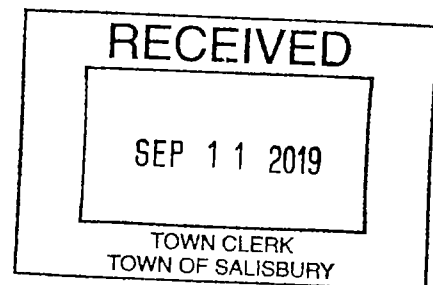
Don Egan,

Salisbury Planning Board

*Donald Egan*, Chair

Date: 9/10/19

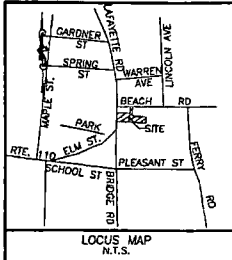
cc: Petitioners,  
Building Inspector,  
Fire Chief  
DPW Director  
File



This is to certify that twenty (20) days  
have elapsed from date of decision filed  
without filing of an appeal.

Town Clerk

*Muriel J. Morrison*  
Date October 2, 2019



SITE PLAN  
FOR  
3 BRIDGE ROAD/  
4 BEACH ROAD  
IN  
SALISBURY, MA  
AUGUST 2019

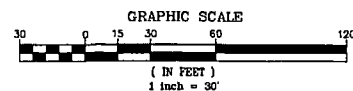
RECORD OWNER	RECORD OWNER
JEFFERY CARROLL 3 KIMBERLY TERRACE LYNNFIELD, MA 01940 BK. 34624 PG. 545	JEFFERY CARROLL 3 KIMBERLY TERRACE LYNNFIELD, MA 01940 BK. 32540 PG. 354
TOTAL AREA 31,994 S.F. 0.73 ACRES	TOTAL AREA 19,669 S.F. 0.45 ACRES

PLAN INDEX

SHEET NO.	TITLE
C-1	COVER SHEET
C-2	EXISTING CONDITIONS PLAN
C-3	SITE PLAN
C-4	UTILITY PLAN
C-5	GRADING PLAN
C-6	SITE DETAILS
C7-C8	DRAINAGE DETAILS
C9	EROSION CONTROL DETAILS
--	ARCHITECTURAL PLANS
E-1	LIGHTING PLAN
F-1	FIRE TRUCK TEMPLATES
L-1	LANDSCAPE PLAN

WAIVERS

SECTION	REGULATION	WAIVER REQUESTED
300-82.6.A(8)	57 TOTAL PARKING SPACES REQUIRED. UP TO 25% REDUCTION	50 TOTAL PARKING SPACES PROVIDED.



PREPARED FOR  
DOWNEAST BUILDING & DEVELOPMENT  
110 MAPLE LANE  
NORTHBOROUGH, MA 01532  
LIBERTY REAL ESTATE STRATEGY, LLC  
11A LIBERTY STREET  
NEWBURYPORT, MA 01950

NO.	DATE	DESCRIPTION	BY
5	8/19/19	ADDRESS TOWN COMMENTS	C.M.Y.
4	7/30/19	ADDRESS TOWN COMMENTS	C.M.Y.
3	6/10/19	ADDRESS TOWN COMMENTS	C.M.Y.
2	5/16/19	ADDRESS TOWN COMMENTS	C.M.Y.
1	4/3/19	ADDRESS TOWN COMMENTS	C.M.Y.

	MILLENNIUM ENGINEERING, INC.	
	ENGINEERING AND LAND SURVEYING 82 ELM ST. SALISBURY, MA 01952 (978) 463-8980 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528	
SCALE: 1"=30'		DESC. BY: C.M.Y.
DATE: MAR. 25, 2019		CHKD. BY: E.W.B.
PROJECT: M183402		

PLAN OF LAND IN SALISBURY, MA SHOWING PROPOSED SITE IMPROVEMENTS AT 3 BRIDGE ROAD / 4 BEACH ROAD
--

COVER SHEET
SHEET: C-1

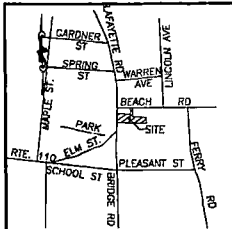
ZONING TABLE			
3 BRIDGE ROAD - ASSESSORS MAP 3 LOT 13 ZONING DISTRICT VC			
	REQUIRED	EXISTING	PROPOSED
LOT AREA:	1/3 ACRE	0.45 ACRES	0.45 ACRES
LOT FRONTAGE:	75 FT	130.27'	130.27'
FRONT SETBACK:	5 FT	45.2'	5.5'
SIDE SETBACK:	15 FT	28.7'	15.3'
REAR SETBACK:	15 FT	57.2'	51.4'
LOT COVERAGE:	V-35%/H-45%	7.9%	17.8%
OPEN SPACE:	10% MIN.	47.5%	22.5%
BLDG HEIGHT:	35 FT	< 35'	< 35'

ZONING TABLE			
4 BEACH ROAD - ASSESSORS MAP 3 LOT 10 ZONING DISTRICT VC			
	REQUIRED	EXISTING	PROPOSED
LOT AREA:	1/3 ACRE	0.73 ACRES	0.73 ACRES
LOT FRONTAGE:	75 FT	36.44'	36.44'
FRONT SETBACK:	5 FT	N/A	177.7'
SIDE SETBACK:	15 FT	N/A	22.9'
REAR SETBACK:	15 FT	N/A	16.1'
LOT COVERAGE:	V-35%/H-45%	0%	24.7%
OPEN SPACE:	10% MIN.	100%	28.5%
BLDG HEIGHT:	35 FT	N/A	< 35'

A TRUE COPY ATTEST  
*Melinda J. Mousm*  
TOWN CLERK  
TOWN OF SALISBURY

This is to certify that twenty (20) days  
have elapsed from date of decision filed  
without filing of an appeal.

Town Clerk  
*Melinda J. Mousm*  
Date October 2, 2019



LOCUS MAP  
N.T.S.

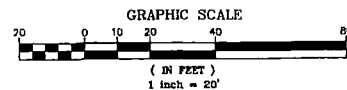


3 BRIDGE ROAD - ZONING DISTRICT VC ASSESSORS MAP 3 LOT 13		
	REQUIRED	EXISTING
LOT AREA:	1/3 ACRE	0.45 ACRES
LOT FRONTAGE:	75 FT	130.27'
FRONT SETBACK:	5 FT	45.2'
SIDE SETBACK:	15 FT	26.7'
REAR SETBACK:	15 FT	57.2'
LOT COVERAGE:	V-35%/H-45%	7.9%
OPEN SPACE:	10% MIN.	47.5%
BLDG HEIGHT:	35 FT	< 35'

4 BEACH ROAD - ZONING DISTRICT VC ASSESSORS MAP 3 LOT 10		
	REQUIRED	EXISTING
LOT AREA:	1/3 ACRE	0.73 ACRES
LOT FRONTAGE:	75 FT	36.44'
FRONT SETBACK:	5 FT	N/A
SIDE SETBACK:	15 FT	N/A
REAR SETBACK:	15 FT	N/A
LOT COVERAGE:	V-35%/H-45%	OK
OPEN SPACE:	10% MIN.	100%
BLDG HEIGHT:	35 FT	N/A

#### LEGEND

- CONCRETE BOUND
- STONE BOUND
- DRILL HOLE
- MASONRY NAIL
- IRON PIPE
- IRON ROD
- FND.
- N/FND.
- ASSESSORS MAP #
- PARCEL #



PREPARED FOR  
DOWNEAST BUILDING & DEVELOPMENT  
110 MAPLE LANE  
NORTHBOROUGH, MA 01532  
LIBERTY REAL ESTATE STRATEGY, LLC  
11A LIBERTY STREET  
NEWBURYPORT, MA 01950

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**MILLENNIUM ENGINEERING, INC.**  
ENGINEERING AND LAND SURVEYING  
82 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=20'  
DATE: MAR. 25, 2019  
CALC. BY: P.D.B.  
CHKD. BY: J.S.H.  
PROJECT: M183402

**PLAN OF LAND**  
IN  
**SALISBURY, MA**  
SHOWING  
**EXISTING CONDITIONS**  
AT  
**3 BRIDGE ROAD / 4 BEACH ROAD**

**EXISTING  
CONDITIONS**

SHEET: C-2

**BASIS OF BEARINGS**  
1913 STATE HIGHWAY LAYOUT - BEACH ROAD

**OWNER OF RECORD**  
JEFFREY CARROLL  
3 KIMBERLY TERRACE - LYNNFIELD, MA 01940-1639  
BOOK 32540 PAGE 354 BOOK 34624 PAGE 545

**PLAN REFERENCES**  
1913 STATE HIGHWAY LAYOUT - BEACH ROAD  
1922 ESSEX COUNTY LAYOUT #2288  
PLAN 895 OF 1955  
PLAN 200 OF 1959  
PLAN BOOK 401 PLAN 100

**VERTICAL DATUM**  
N.A.V.D. 1988

A TRUE COPY ATTEST  
*Melinda J. Monison*  
TOWN CLERK  
TOWN OF SALISBURY

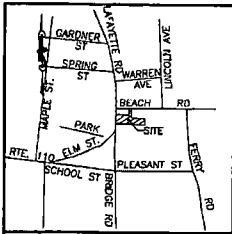
**NOTES:**  
THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.  
RECORD UTILITY INFORMATION HAS BEEN OBTAINED FOR LOCUS, VISIBLE SURFACE. STRUCTURES HAVE BEEN LOCATED AND ARE SHOWN HEREON.

THE CERTIFICATIONS SHOWN HEREON ARE NOT INTENDED AS CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN OF SALISBURY ASSESSORS RECORDS.

I CERTIFY: THAT THIS ACTUAL SURVEY WAS MADE ON THE GROUND BETWEEN AUGUST 27, 2018 AND AUGUST 28, 2018 AND THAT THE STRUCTURES AND PHYSICAL FEATURES ARE LOCATED AS SHOWN TO THE BEST OF MY ABILITY AND BELIEF.



PROFESSIONAL LAND SURVEYOR DATE



### PARKING SPACE CALCS.

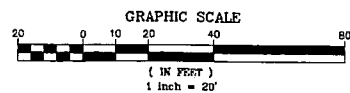
USE	# OF SPACES REQUIRED
OFFICE	2.5 SPACES PER 1,000 S.F. GFA (UPPER-STORY OFFICE)
RETAIL	4 SPACES PER 1,000 S.F. GFA
RESIDENTIAL	2 SPACES PER UNIT
OFFICE	0.703 S.F. GFA
# OF SPACES REQUIRED = 17	
RETAIL	3,351 S.F. GFA
# OF SPACES REQUIRED = 14	
# OF SPACES PROVIDED FOR OFFICE & RETAIL = 23	
RESIDENTIAL	13 UNITS
# OF SPACES REQUIRED = 26	
# OF SPACES PROVIDED = 27	
(RESULTS IN 1 VISITOR SPOT)	

### GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE SALISBURY PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, THE WETLANDS PROTECTION ACT (310 CMR 10.00), THE ORDER OF CONDITIONS ISSUED BY THE SALISBURY CONSERVATION COMMISSION, AND THESE PLANS.
- THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS. ANY PROPOSED REVISIONS TO THE WORK SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND REGULATING MUNICIPAL AND/OR STATE AGENCIES.
- THE LOCATION OF ALL UTILITIES, AS SHOWN ON THESE PLANS, ARE BASED UPON PLANS AND RECORD INFORMATION PROVIDED BY MUNICIPAL AND PRIVATE UTILITY COMPANIES AND ARE CONSIDERED APPROXIMATE BOTH AS TO SIZE AND LOCATION. NO WARRANTY IS MADE TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UTILITIES ARE SHOWN. THE CONTRACTOR SHALL NOT RELY ON THESE PLANS FOR SUCH INFORMATION AND SHALL MAKE EXAMINATIONS IN THE FIELD BY VARIOUS AVAILABLE RECORDS, UTILITY COMPANIES AND INDIVIDUALS, AS TO THE LOCATION OF ALL SUBSURFACE STRUCTURES.
- THE CONTRACTOR SHALL FIELD CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE NEW WORK. HE/SHE SHALL EXCAVATE TO VERIFY PERTINENT DRAINAGE INVERTS AND POTENTIAL UTILITY CONFLICTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
- ALL EXISTING STRUCTURES AND SURFACES, UNLESS OTHERWISE SHOWN, SHALL BE COMPLETELY REMOVED FROM THE AREAS OF WORK. ALL TREES SCHEDULED FOR REMOVAL SHALL BE FIELD MARKED AND APPROVED FOR REMOVAL BY THE CONSERVATION COMMISSION PRIOR TO CUTTING OPERATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF THE PUBLIC, EMPLOYEES, AND ALL OTHER PERSONS ASSOCIATED WITH THE PROJECT. HE/SHE SHALL COORDINATE AND BE RESPONSIBLE FOR ALL SAFETY SIGNING, BARRIERS AND TEMPORARY PAVEMENT MARKINGS NECESSARY TO PROVIDE A SMOOTH AND PROPER TRANSITION FOR TRAFFIC FLOW.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES BY CONTACTING "DIG-SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION. DIG-SAFE TELEPHONE NUMBER: 1-800-344-7233.
- 14 DAYS PRIOR TO COMMENCING CONSTRUCTION, THE OWNER/DEVELOPER SHALL PRESENT A CONSTRUCTION SCHEDULE TO THE PLANNING DEPARTMENT.
- THE OWNER/DEVELOPER SHALL SUBMIT TWO HARD COPIES OF AS-BUILT DRAWINGS TO THE PLANNING BOARD WITHIN 90 DAYS OF ISSUANCE OF OCCUPANCY PERMIT. AS-BUILTS SHALL INCLUDE ALL LANDBASE AND UTILITIES INFORMATION.
- ON-SITE BURIAL OF STUMPS OR ANY OTHER DEBRIS IS PROHIBITED.
- IN THE EVENT EXCESSIVE SNOWFALL OCCURS, ALL PLOWED SNOW THAT CANNOT BE CONTAINED IN IDENTIFIED SNOW STORAGE AREAS SHALL BE REMOVED FROM THE SITE.
- THE PROPERTY DOES NOT LIE WITHIN THE 100-YEAR FLOOD PLAIN ACCORDING TO F.I.R.M. COMMUNITY PANEL NUMBER 25009C0128F.
- ELEVATIONS ARE BASED ON NAVD 1988 DATUM.

### LEGEND

— 12' —	EXIST. CONTOUR
— 3.0' —	PROP. CONTOUR
— 4' —	PROP. CONC. SIDEWALK
— 4' —	EXISTING WATER MAIN
— 5' —	EXISTING SEWER MAIN
	PROP. VERTICAL GRAN. CURB
	PROP. SLOPED GRAN. EDGING
	EXISTING FIRE HYDRANT
	PROPOSED STREET LIGHT
	PROPOSED BUILDING LIGHT



PREPARED FOR  
**DOWNEAST BUILDING & DEVELOPMENT**  
110 MAPLE LANE  
NORTHBOROUGH, MA 01552  
**LIBERTY REAL ESTATE STRATEGY, LLC**  
11A LIBERTY STREET  
NEWBURYPORT, MA 01950

NO.	DATE	ADDRESS TOWN COMMENTS	BY
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2	5/16/19	ADDRESS TOWN COMMENTS	C.M.Y.
1	4/3/19	ADDRESS TOWN COMMENTS	C.M.Y.

**MEI** **MILLENNIUM ENGINEERING, INC.**  
ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8880  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528  
SCALE: 1"=20'  
DATE: MAR. 25, 2019  
DESIG. BY: C.M.Y.  
CHKD. BY: E.W.B.  
PROJECT: M183402

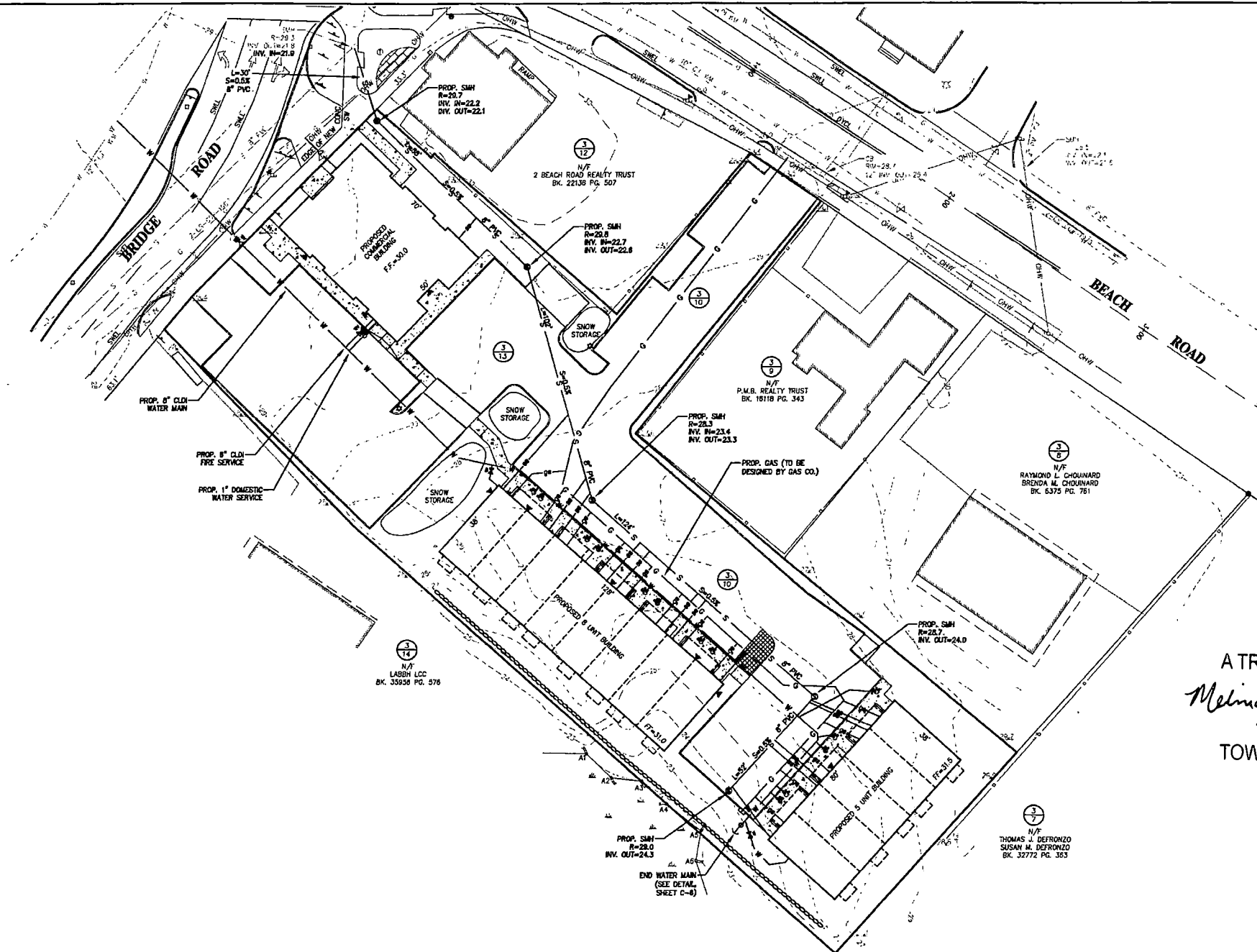
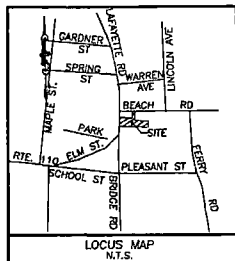
**PLAN OF LAND**  
IN  
**SALISBURY, MA**  
SHOWING  
**PROPOSED SITE IMPROVEMENTS**  
AT  
**3 BRIDGE ROAD / 4 BEACH ROAD**

**SITE PLAN**

SHEET: C-3

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TOWN CLERK  
TOWN OF SALISBURY

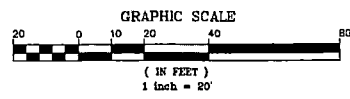




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*Melinda J. Monison*  
TOWN CLERK  
TOWN OF SALISBURY

**LEGEND**

- s --- EXISTING WATER MAIN
- S --- EXISTING SEWER MAIN
- W --- PROPOSED WATER SERVICE
- S --- PROPOSED SEWER MAIN
- SS --- PROPOSED SEWER SERVICE
- G --- PROPOSED GAS MAIN
- G --- PROPOSED GAS SERVICE
- UE --- PROPOSED UNDERGROUND ELECTRIC
- PROP. VERTICAL GRAN. CURB
- PROP. SLOPED GRAN. EDGING
- PROPOSED WATER GATE
- PROPOSED STREET LIGHT
- EXISTING FIRE HYDRANT
- PROPOSED WATER SHUTOFF
- PROPOSED SEWER SERVICE



PREPARED FOR  
**DOWNEAST BUILDING & DEVELOPMENT**  
110 MAPLE LANE  
NORTHBOROUGH, MA 01532  
**LIBERTY REAL ESTATE STRATEGY, LLC**  
11A LIBERTY STREET  
NEWBURYPORT, MA 01950

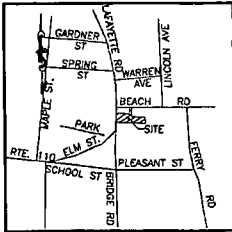
NO.	DATE	DESCRIPTION	BY
5	8/19/19	ADDRESS TOWN COMMENTS	C.M.Y.
4	7/30/19	ADDRESS TOWN COMMENTS	C.M.Y.
3	6/10/19	ADDRESS TOWN COMMENTS	C.M.Y.
2	5/16/19	ADDRESS TOWN COMMENTS	C.M.Y.
1	4/3/19	ADDRESS TOWN COMMENTS	C.M.Y.

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ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8990  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

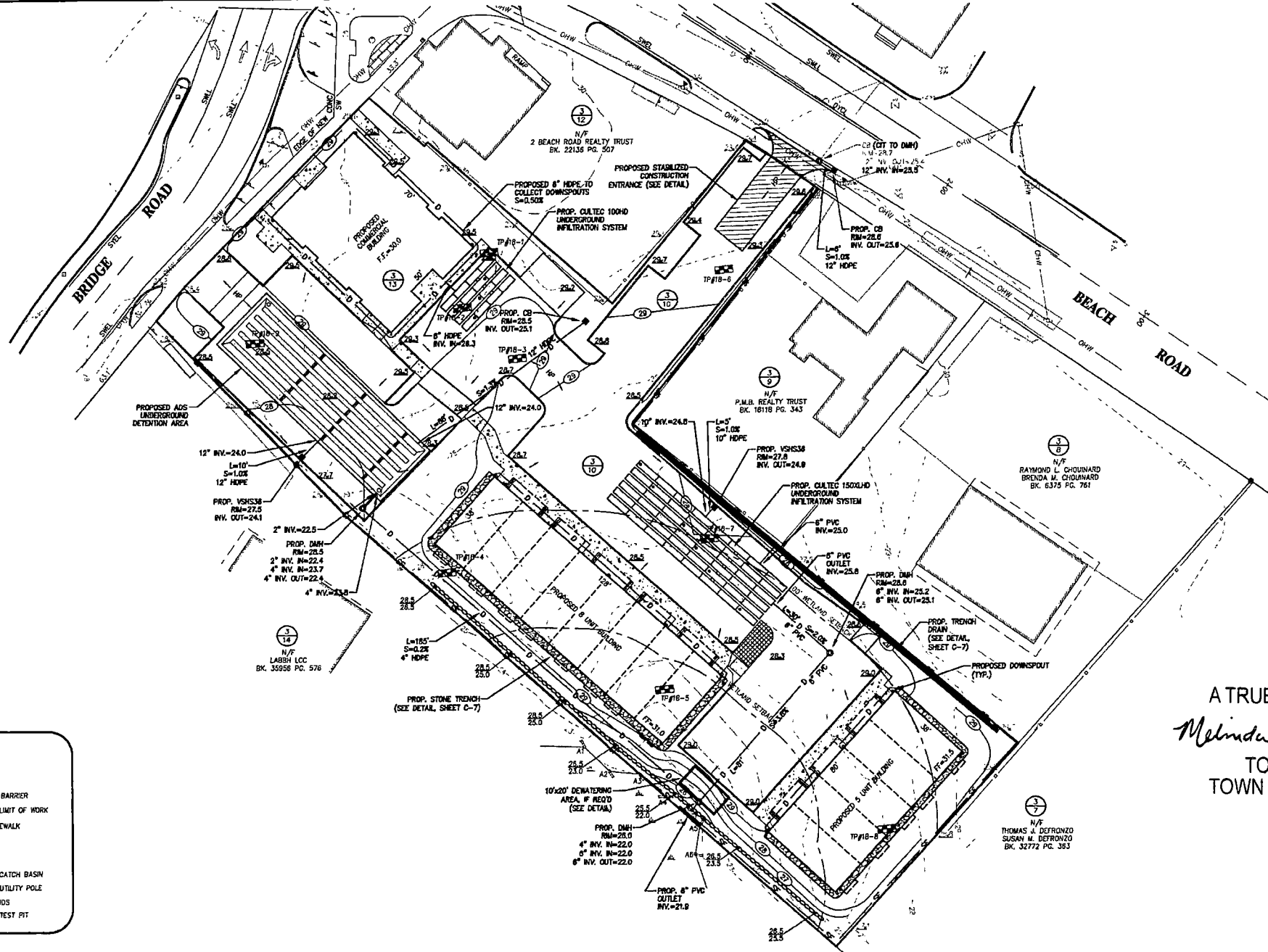
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DATE: MAR. 25, 2019  
DESIG. BY: C.M.Y.  
CHKD. BY: E.W.B.  
PROJECT: M183402

**PLAN OF LAND**  
IN  
**SALISBURY, MA**  
SHOWING  
**PROPOSED SITE IMPROVEMENTS**  
AT  
**3 BRIDGE ROAD / 4 BEACH ROAD**

**UTILITY PLAN**  
SHEET: C-4



LOCUS MAP  
N.T.S.



**LEGEND**

—X— EXIST. CONTOUR

—(27)— PROP. CONTOUR

—S— PROP. SILTATION BARRIER

— PROP. TREELINE/LIMIT OF WORK

— PROP. CONC. SIDEWALK

■ PROP. CATCH BASIN

■ PROP. SPOT GRADE

■ PROP. OUTLET STRUCTURE

□ EXIST. CATCH BASIN

⊙ EXIST. UTILITY POLE

Δ WETLANDS

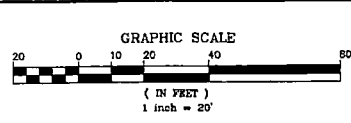
⊙ EXIST. TEST PIT

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*Melinda J. Morrison*

TOWN CLERK

TOWN OF SALISBURY



PREPARED FOR  
DOWNEAST BUILDING & DEVELOPMENT  
110 MAPLE LANE  
NORTHBOROUGH, MA 01532  
LIBERTY REAL ESTATE STRATEGY, LLC  
11A LIBERTY STREET  
NEWBURYPORT, MA 01950

NO.	DATE	DESCRIPTION	BY
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4	7/30/19	ADDRESS TOWN COMMENTS	C.M.Y.
3	6/10/19	ADDRESS TOWN COMMENTS	C.M.Y.
2	5/16/19	ADDRESS TOWN COMMENTS	C.M.Y.
1	4/3/19	ADDRESS TOWN COMMENTS	C.M.Y.

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ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01552 (978) 463-6980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=20'

DATE: MAR. 25, 2019

DESIGN BY: C.M.Y.

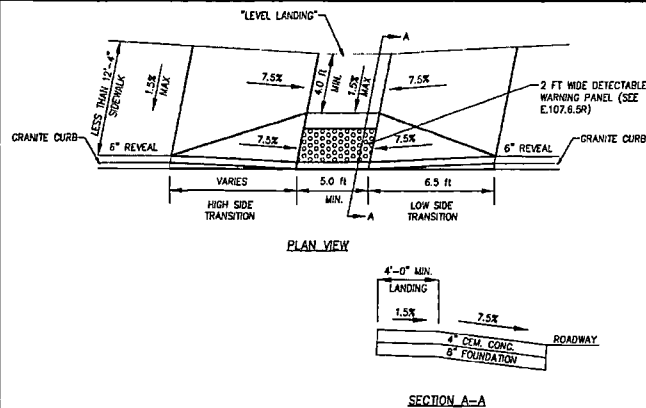
CHECKED BY: E.W.B.

PROJECT: M183402

**PLAN OF LAND**  
IN  
**SALISBURY, MA**  
SHOWING  
**PROPOSED SITE IMPROVEMENTS**  
AT  
**3 BRIDGE ROAD / 4 BEACH ROAD**

**GRADING PLAN**

SHEET: C-5

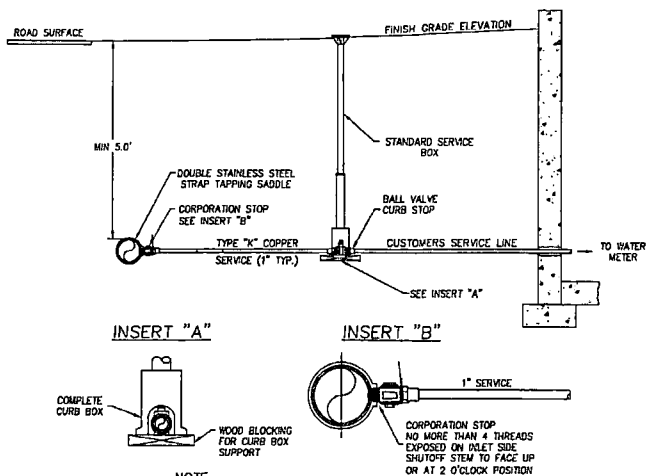


#### NOTES:

- 1.) RAMP CROSS SECTION TO BE SAME AS SIDEWALK, I.E. DEPTH OF SURFACE AND FOUNDATION.
- 2.) BASE OF RAMP SHALL MEET PAVEMENT OUTER SUCH THAT THERE IS NO DIFFERENCE IN ELEVATION. RAMP SHALL BE CONSTRUCTED SUCH THAT WATER DOES NOT "PUDDLE" AT THE BASE OF THE RAMP.
- 3.) THE PAVEMENT AT THE BASE OF THE RAMP SHALL BE PART OF THE CONTINUOUS TOP COURSE. THE USE OF A "PAVEMENT PATCH" TO COMPLY WITH THE CONDITIONS IN NOTE 2, ABOVE IS PROHIBITED.
- 4.) RAMPS SHALL CONFORM TO MASS DOT WHEELCHAIR RAMP STANDARDS - LATEST REVISIONS.

#### CEMENT CONCRETE WHEELCHAIR RAMP DETAIL

N.T.S.

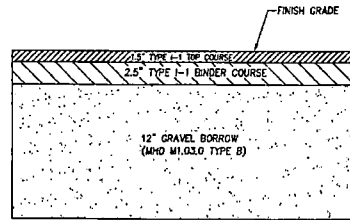


#### NOTE

1. SERVICE CONNECTIONS FOR THE VARIOUS LOTS SHALL BE SIZED TO MEET THE REQUIREMENTS OF THE SPECIFIED USE. CONNECTIONS TO THE PROJECT WATER MAIN SHALL BE MADE WITH TAPPING SLEEVES AND VALVES.

#### TYPICAL COPPER SERVICE CONNECTION

N.T.S.

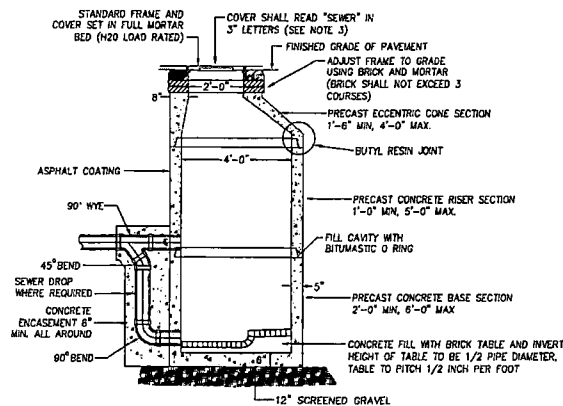


#### PAVEMENT DETAIL

N.T.S.

#### PAVEMENT NOTES

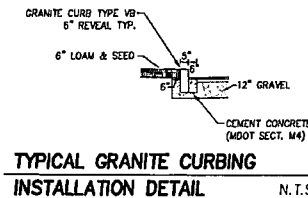
- 1.) ALL STUMPS, ROCKS AND LEDGE WITHIN THE LIMITS OF THE PROPOSED PAVED WAY SHALL BE REMOVED. ALL LEDGE SHALL BE REMOVED TO A MINIMUM DEPTH OF 2' BELOW FINISHED PAVEMENT GRADE.
- 2.) PAVEMENT SHALL NOT BE CONSTRUCTED DURING FREEZING WEATHER OR ON WET OR FROZEN SUBGRADE.
- 3.) GRADING AND ROLLING SHALL BE REQUIRED TO PROVIDE A SMOOTH, EVEN, AND UNIFORM COMPACTED BASE WHICH IS COMPACTED TO A MINIMUM DRY DENSITY OF 95 PERCENT.
- 4.) ALL UNSUITABLE MATERIAL SHALL BE EXCAVATED AND REPLACED WITH SATISFACTORY MATERIAL AND BROUGHT UP TO GRADE WITH GRAVEL BORROW CONTAINING NO STONES GREATER THAN 6" DIAMETER.
- 5.) AT ALL TIMES DURING CONSTRUCTION, THE SUB-GRADE AND ALL DITCHES SHALL BE CONSTRUCTED AND MAINTAINED SO THAT THE TRACK WILL EFFECTIVELY BE DRAINED.
- 6.) THE CONTRACTOR SHALL REFER TO THE SALISBURY PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, SECTIONS I - VI.



1. SEWER MANHOLES SHALL CONFORM TO ASTM C478 AND ASTM C185
2. STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC STEPS SHALL CONFORM TO LATEST ASTM C478 SPEC.
3. COVER SHALL BE LEBARON FOUNDRY (MODEL NO. 1A246), MECHANICS IRON FOUNDRY, NEEHAN FOUNDRY, OR EQUAL.

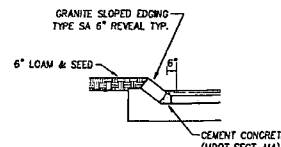
#### PRECAST SEWER MANHOLE DETAIL

N.T.S.



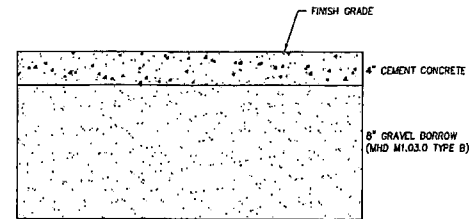
#### TYPICAL GRANITE CURBING INSTALLATION DETAIL

N.T.S.



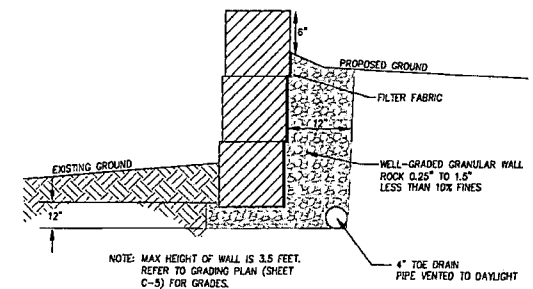
#### TYPICAL SLOPED EDGING DETAIL

N.T.S.



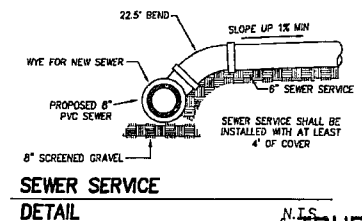
#### CONCRETE SIDEWALK DETAIL

N.T.S.



#### CONCRETE BLOCK RETAINING WALL (BY SHEA OR APPROVED EQUAL)

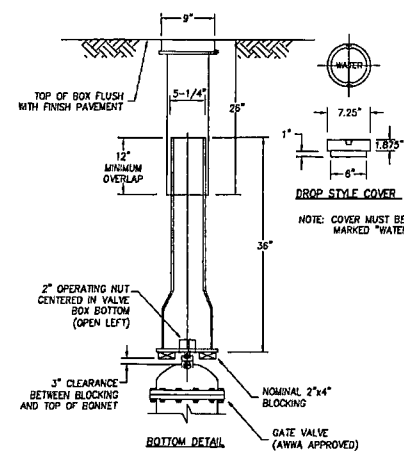
N.T.S.



#### SEWER SERVICE DETAIL

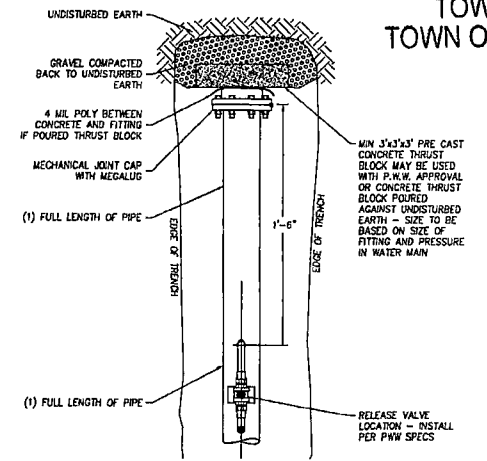
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*Melinda J. Monison*  
TOWN CLERK  
TOWN OF SALISBURY



#### TYPICAL GATE VALVE BOX DETAIL

N.T.S.



#### WATER MAIN BLOWOFF DETAIL

N.T.S.



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LIBERTY REAL ESTATE STRATEGY, LLC  
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NEWBURYPORT, MA 01950

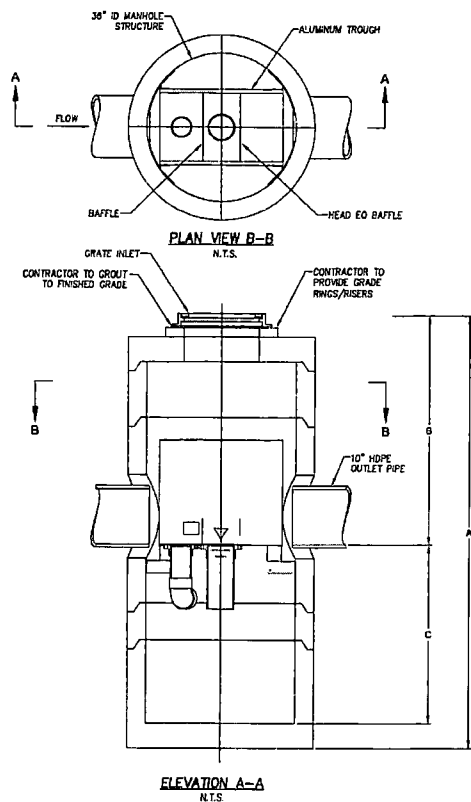
NO.	DATE	DESCRIPTION	BY
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ENGINEERING AND LAND SURVEYING  
82 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528  
SCALE: 1"=20'  
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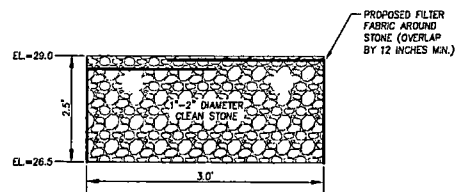
**PLAN OF LAND**  
IN  
**SALISBURY, MA**  
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**PROPOSED SITE IMPROVEMENTS**  
AT  
**3 BRIDGE ROAD / 4 BEACH ROAD**

#### SITE DETAILS

SHEET: C-6

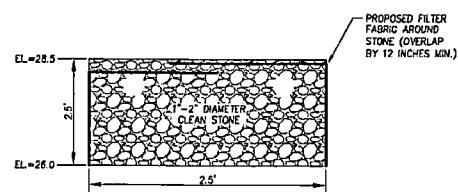


**VORTSENTRY VSHS36  
DETAIL** N.T.S.



ESHWT=21.0  
\*\* ANY FILL ENCOUNTERED DURING CONSTRUCTION OF TRENCH SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL (I.E. SAND)

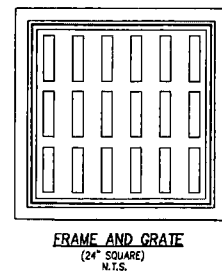
**STONE TRENCH  
DETAIL (8-UNIT BLDG)** N.T.S.



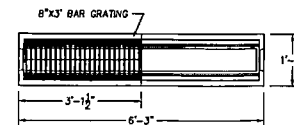
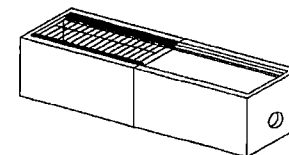
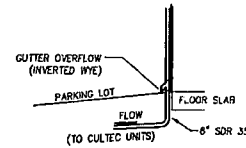
ESHWT=22.0  
\*\* ANY FILL ENCOUNTERED DURING CONSTRUCTION OF TRENCH SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL (I.E. SAND)

**STONE TRENCH  
DETAIL (5-UNIT BLDG)** N.T.S.

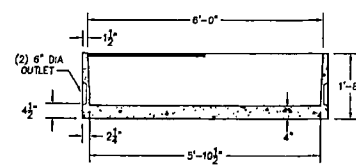
- GENERAL NOTES**
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  2. DIMENSIONS MARKED WITH ( ) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
  3. FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH CONSTRUCTION PRODUCTS REPRESENTATIVE. [www.contech-usa.com](http://www.contech-usa.com)
  4. VORTSENTRY HS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
  5. STRUCTURE SHALL MEET AASHTO HS20 AND CASTINGS SHALL MEET AASHTO M240 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
- INSTALLATION NOTES**
1. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  2. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE VORTSENTRY HS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
  3. CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
  4. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
  5. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



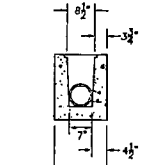
**GUTTER DOWN  
SPOUT DETAIL** N.T.S.



**PLAN VIEW**



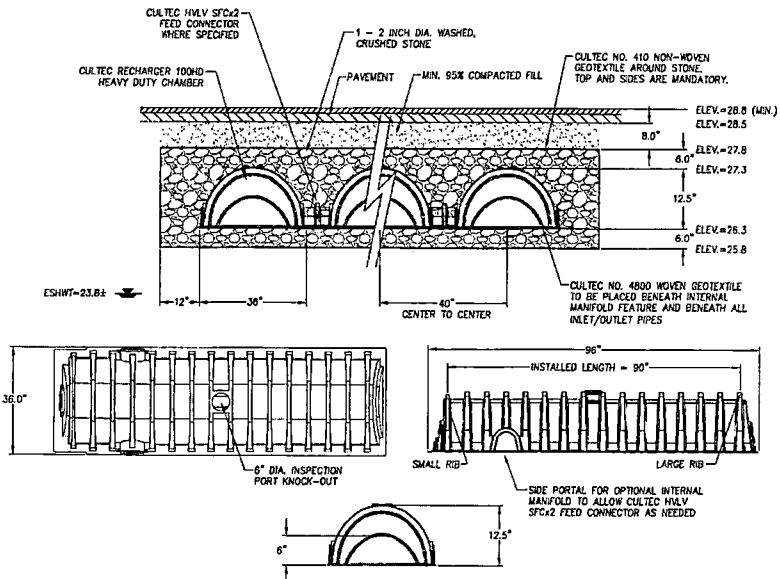
**SIDE SECTION VIEW**



**END SECTION VIEW**

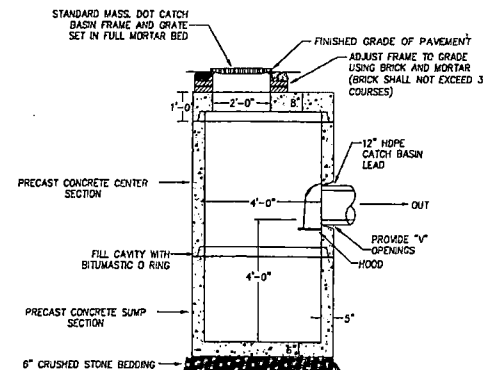
- NOTES:**
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
  2. AVAILABLE IN 3' AND 6' SECTIONS.
  3. AVAILABLE IN END OR MIDDLE SECTIONS.
  4. SHALL CONFORM TO H-20 LOADINGS.

**TRENCH DRAIN  
DETAIL** N.T.S.



- GENERAL NOTES:**
- 1) RECHARGER 100HD BY CULTEC, INC. OF BROOKFIELD, CT. ALL RECHARGER 100HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION.

**CULTEC RECHARGER  
100HD DETAILS** N.T.S.



- NOTES:**
- 1) CATCH BASINS SHALL CONFORM TO ASTM C478 AND ASTM C155
  - 2) FLAT TOP STRUCTURES SHALL BE PRECAST SECTIONS AND HAVE A 28 DAY COMPRESSIVE STRENGTH OF 5000 PSI REINFORCED FOR AASHTO H-20 LOADING.
  - 3) CONICAL SECTIONS MAY BE SUBSTITUTED FOR FLAT-TOP STRUCTURES IN AREAS WHERE MORE THAN 4 FEET OF COVER IS PROVIDED FOR DRAIN PIPE.

**PRECAST DEEP SUMP  
CATCH BASIN DETAIL** N.T.S.

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TOWN CLERK  
TOWN OF SALISBURY



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NORTHBOROUGH, MA 01532  
**LIBERTY REAL ESTATE STRATEGY, LLC**  
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NEWBURYPORT, MA 01950

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2	6/10/19	ADDRESS TOWN COMMENTS	C.M.Y.
1	5/16/19	ADDRESS TOWN COMMENTS	C.M.Y.



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62 ELM ST. SALISBURY, MA 01852 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528  
SCALE: AS NOTED DESG. BY: C.M.Y.  
DATE: MAR. 25, 2019 CHKD. BY: E.W.B. PROJECT: M183402

**PLAN OF LAND  
IN  
SALISBURY, MA**  
SHOWING  
**PROPOSED SITE IMPROVEMENTS**  
AT  
**3 BRIDGE ROAD / 4 BEACH ROAD**

**DRAINAGE  
DETAILS**  
SHEET: C-7

- KEY
- 1) 12" GRAVEL BORROW (MHD M1.03.0 TYPE B)
  - 2) SELECT MATERIAL OR GRAVEL BORROW PLACED AND COMPACTED IN 6" LIFTS.
  - 3) SAND MATERIAL SHALL BE GRADED SAND FREE FROM ORGANIC MATERIALS, GRADED SUCH THAT 100% PASSES A 0.5" SIEVE AND A MAXIMUM OF 15 PERCENT PASSES A #200 SIEVE.
  - 4) GRANULAR BEDDING, 6" IN DEPTH.
  - 5) HDPE WATER TIGHT NON-WOVEN GEOTEXTILE REQUIRED, WRAPPING TRENCH ONLY.

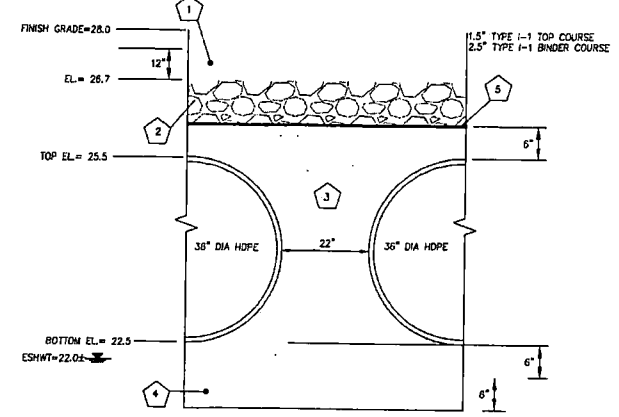
FOUNDATION/BEDDING PREPARATION

PRIOR TO PLACING THE BEDDING, THE FOUNDATION MUST BE CONSTRUCTED TO A UNIFORM AND STABLE GRADE. IN THE EVENT THAT UNSUITABLE FOUNDATION MATERIALS ARE ENCOUNTERED DURING EXCAVATION, THEY SHALL BE REMOVED AND BROUGHT BACK TO THE GRADE WITH A FILL MATERIAL AS APPROVED BY THE ENGINEER. ONCE THE FOUNDATION PREPARATION IS COMPLETE, THE 4 INCHES OF A WELL-GRADED GRANULAR MATERIAL SHALL BE PLACED AS THE BEDDING.

BACKFILL

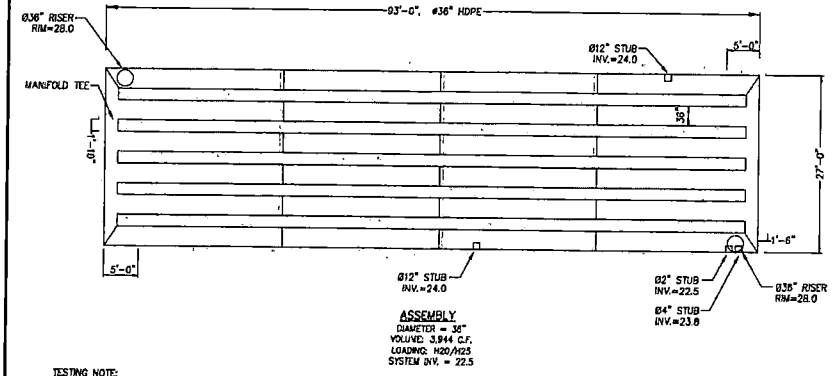
SAND MATERIAL SHALL BE GRADED SAND FREE FROM ORGANIC MATERIALS, GRADED SUCH THAT 100% PASSES A 0.5" SIEVE AND A MAXIMUM OF 15 PERCENT PASSES A #200 SIEVE. WHEN PLACING THE FIRST LIFTS OF BACKFILL IT IS IMPORTANT TO MAKE SURE THAT THE BACKFILL IS PROPERLY COMPACTED UNDER AND AROUND THE PIPE HAUNCHES. BACKFILL SHALL BE PLACED SUCH THAT THERE IS NO MORE THAN A TWO LIFT (16") DIFFERENTIAL BETWEEN ANY OF THE PIPES AT ANY TIME DURING THE BACKFILL PROCESS. THE BACKFILL SHALL BE ADVANCED ALONG THE LENGTH OF THE DETENTION SYSTEM AT THE SAME RATE TO AVOID DIFFERENTIAL LOADING ON THE PIPE.

OTHER ALTERNATE BACKFILL MATERIAL MAY BE ALLOWED DEPENDING ON SITE SPECIFIC CONDITIONS. REFER TO TYPICAL BACKFILL DETAIL FOR MATERIAL REQUIRED.



BACKFILL DETAIL

N.T.S.

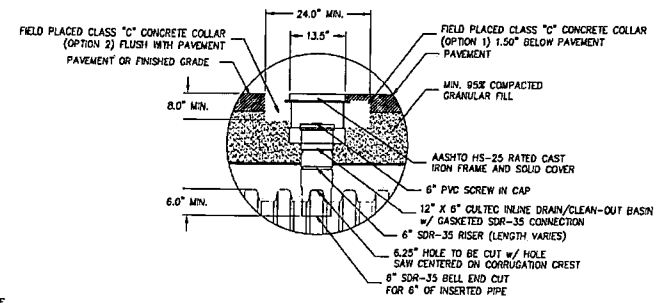


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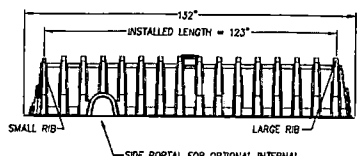
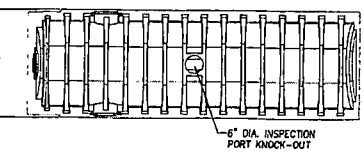
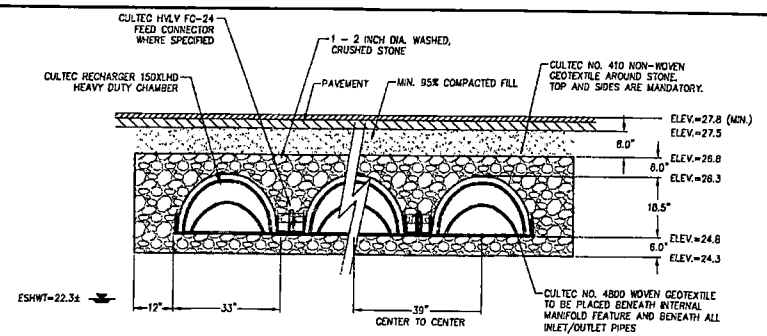
HDPE PIPE SHALL BE TESTED AFTER OR DURING INSTALLATION TO ENSURE A SOUND INSTALLATION IS ACCOMPLISHED. JOINT TESTING FOR WATER TIGHTNESS SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM F2487 STANDARD PRACTICE FOR INFILTRATION AND EXFILTRATION ACCEPTANCE TESTING OF INSTALLED CORRUGATED HIGH DENSITY POLYETHYLENE PIPELINES.

ADS UNDERGROUND DETENTION SYSTEM

1"=10'



INSPECTION PORT

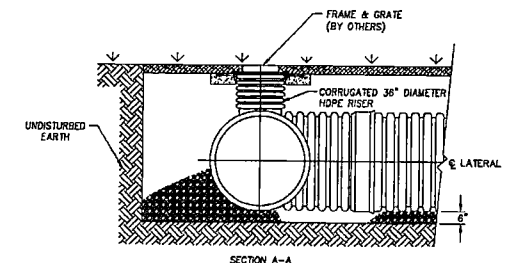


GENERAL NOTES

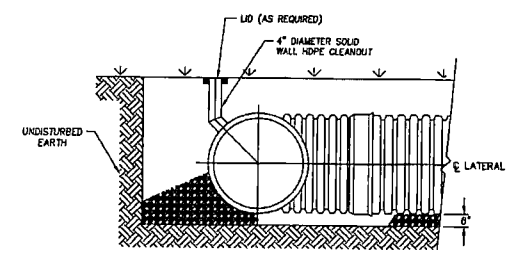
1) RECHARGER 150XLHD BY CULTEC, INC. OF BROOKFIELD, CT. ALL RECHARGER 150XLHD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION.

CULTEC RECHARGER 150XLHD DETAILS

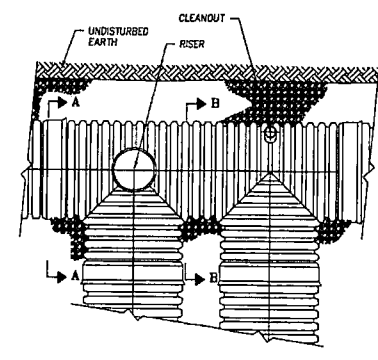
N.T.S.



SECTION A-A



SECTION B-B



RISER/CLEANOUT DETAIL

N.T.S.

MATERIAL NOTES

ALL MATERIALS OF THE ELEMENTS IN THE SITE PLAN MUST CONFORM TO THE FOLLOWING STANDARDS:

- COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES (LATEST EDITION)
- 521 CAR RULES AND REGULATIONS OF THE ARCHITECTURAL ACCESS BOARD (AAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA)
- SPECIFICATIONS BY THE TOWN OF SALISBURY AS SET FORTH BY SECTION 7 IN THE PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, DATED DECEMBER 10, 2008
- UTILITIES INSTALLED PER PENNACHTUCK WATER SERVICE CORPORATION SPECIFICATIONS

A TRUE COPY ATTEST  
*Melinda J. Monisox*  
TOWN CLERK  
TOWN OF SALISBURY



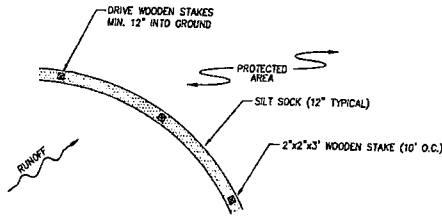
PREPARED FOR  
DOWNEAST BUILDING & DEVELOPMENT  
110 MAPLE LANE  
NORTHBOROUGH, MA 01532  
LIBERTY REAL ESTATE STRATEGY, LLC  
11A LIBERTY STREET  
NEWBURYPORT, MA 01950

NO.	DATE	DESCRIPTION	BY
4	8/19/19	ADDRESS TOWN COMMENTS	C.M.Y.
3	7/30/19	ADDRESS TOWN COMMENTS	C.M.Y.
2	6/10/19	ADDRESS TOWN COMMENTS	C.M.Y.
1	5/16/19	ADDRESS TOWN COMMENTS	C.M.Y.

**MEI** MILLENNIUM ENGINEERING, INC.  
ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528  
SCALE: AS NOTED DESG. BY: C.M.Y. DATE: MAR. 25, 2019 CHKD. BY: E.W.B. PROJECT: M183402

**PLAN OF LAND**  
IN  
**SALISBURY, MA**  
SHOWING  
**PROPOSED SITE IMPROVEMENTS**  
AT  
**3 BRIDGE ROAD / 4 BEACH ROAD**

**DRAINAGE DETAILS**  
SHEET: C-8

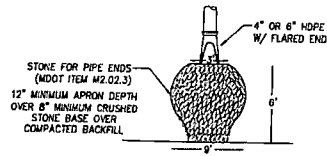


#### NOTES

1. ALL MATERIAL SHALL MEET SPECIFICATIONS BY FILTREX OR APPROVED EQUAL.
2. SILT SOCK SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
3. THE CONTRACTOR SHALL REMOVE SEDIMENT AT THE BASE OF THE UPSLOPE SIDE OF THE SILT SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE SILT SOCK.
4. SILT SOCK SHALL BE MAINTAINED UNTIL DISTURBED AREA ABOVE THE DEVICE HAS BEEN PERMANENTLY STABILIZED AND CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
5. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE SOCK HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

#### SILT SOCK INSTALLATION

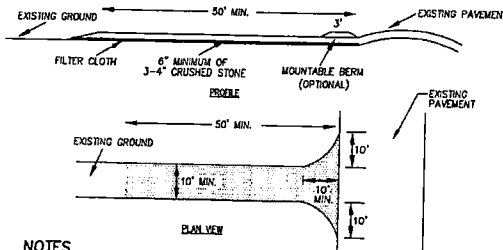
N.T.S.



NOTE: GEOSYNTHETIC EROSION CONTROL MAT SHALL BE UNDER ALL RIP-RAP

#### TYPICAL RIP-RAP APRON DETAIL

N.T.S.

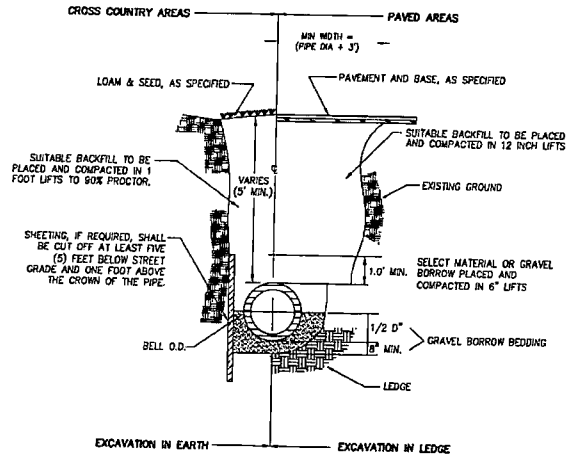


#### NOTES

1. STONE SHALL BE 3-4\"/>

#### STABILIZED CONSTRUCTION ENTRANCE

N.T.S.



#### TYPICAL TRENCH DETAIL

N.T.S.



PREPARED FOR  
DOWNEAST BUILDING & DEVELOPMENT  
110 MAPLE LANE  
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11A LIBERTY STREET  
NEWBURYPORT, MA 01950

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MILLENNIUM ENGINEERING, INC.  
ENGINEERING AND LAND SURVEYING  
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13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: AS NOTED DESG. BY: C.M.Y. PROJECT: M183402  
DATE: MAR. 25, 2019 CHKD. BY: E.W.B.

PLAN OF LAND  
IN  
SALISBURY, MA  
SHOWING  
PROPOSED SITE IMPROVEMENTS  
AT  
3 BRIDGE ROAD / 4 BEACH ROAD

EROSION  
CONTROL  
DETAILS

SHEET: C-9

#### GENERAL EROSION CONTROL NOTES

1. ALL EROSION CONTROL SHALL BE INSTALLED BEFORE THE START OF CONSTRUCTION. EROSION CONTROL SHALL BE REMOVED UPON COMPLETION OF THE PROJECT AND STABILIZATION OF ALL SOIL.
2. ALL FILL SHALL BE FREE OF STUMPS AND LARGE STONES.
3. ANY STANDING BODIES OF WATER CREATED DURING EXCAVATION SHALL BE ELIMINATED.
4. EROSION CONTROL BARRIERS SHALL BE INSPECTED WEEKLY AND AFTER EVERY 0.5\"/>

#### NOTES

1. DURING THE ACTIVE DEWATERING PROCESS, THE STRUCTURE SHALL BE INSPECTED FREQUENTLY (E.G. ONCE PER HOUR).
2. SEDIMENT BUILDUP SHOULD BE REMOVED PERIODICALLY TO ENSURE THAT THE STRUCTURE'S ABILITY TO EFFECTIVELY FILTER SEDIMENT IS MAINTAINED.

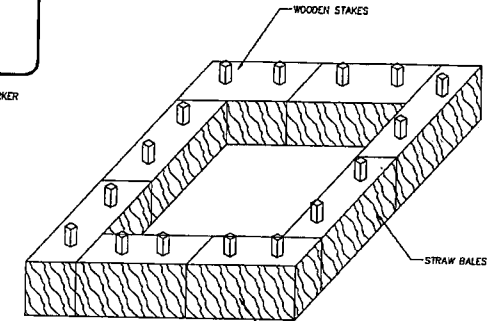
#### TYPICAL DEWATERING DETAIL

N.T.S.

#### CONSTRUCTION SEQUENCE

1. INSTALL EROSION CONTROL AT LIMIT OF WORK & STAKE OUT STORMWATER AREAS.
2. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AS DEPICTED.
3. CLEAR AND GRUB DEBRIS AND DISPOSE OF PROPERLY.
4. STRIP, SCREEN AND STOCKPILE TOPSOIL. TOPSOIL CAN BE TEMPORARILY STOCKPILED ON SITE PROVIDED THAT THE PERIMETER OF THE STOCKPILES ARE PROPERLY STAKED WITH EROSION CONTROL AT THE TOE OF SLOPE.
5. REMOVE EXISTING BUILDING.
6. REMOVE/CAP EXISTING UTILITIES PER DPW STANDARDS.
7. CLEAR AND EXCAVATE FOR BUILDING FOUNDATION.
8. BEGIN BUILDING CONSTRUCTION.
9. INSTALL PROPOSED UTILITIES TO BUILDING FOOTPRINT INCLUDING DRAINAGE SYSTEM, WATER/SEWER SERVICES AND PRIVATE UTILITIES.
10. GRADE PAVEMENT TO TOP OF SUBGRADE ELEVATIONS. ALL ROADWAYS MUST BE STABILIZED IMMEDIATELY AFTER GRADING.
11. SPREAD, SHAPE, AND COMPACT PAVEMENT SUBBASE AS PER TYPICAL ROADWAY SECTION TO ATTAIN FINAL DESIGN ELEVATIONS.
12. INSTALL TOP COURSE PAVEMENT AND PAVEMENT MARKINGS.
14. INSTALL LANDSCAPING AND LOAM AND HYDROSEED ANY DISTURBED SURFACES ALONG EDGES OF PAVEMENT AS REQUIRED.
15. REMOVE EROSION CONTROL.

A TRUE COPY ATTEST  
*Melinda J. Morrison*  
TOWN CLERK  
TOWN OF SALISBURY



Max. Ridge Height  
 Elev. 61'-6"  
 ±14'-6"  
 Third Floor Level  
 Elev. 48'-11 3/4"  
 ±9'-0"  
 Second Floor Level  
 Elev. 37'-11 3/4"  
 ±10'-0"  
 First Floor Level  
 Elev. 27'-11 3/4"  
 ±1'-5 1/2"  
 Average Grade  
 Elev. 26'-6"



Front (Southeast) Elevation - Building B  
 Scale: 1/8" = 1'-0"

Max. Ridge Height  
 Elev. 61'-6"  
 ±14'-6"  
 Third Floor Level  
 Elev. 48'-11 3/4"  
 ±9'-0"  
 Second Floor Level  
 Elev. 37'-11 3/4"  
 ±10'-0"  
 First Floor Level  
 Elev. 27'-11 3/4"  
 ±1'-5 1/2"  
 Average Grade  
 Elev. 26'-6"



Side (Southwest) Elevation - Building B  
 Scale: 1/8" = 1'-0"



Side (Northeast) Elevation - Building B  
 Scale: 1/8" = 1'-0"

Max. Ridge Height  
 Elev. 61'-6"  
 ±14'-6"  
 Third Floor Level  
 Elev. 48'-11 3/4"  
 ±9'-0"  
 Second Floor Level  
 Elev. 37'-11 3/4"  
 ±10'-0"  
 First Floor Level  
 Elev. 27'-11 3/4"  
 ±1'-5 1/2"  
 Average Grade  
 Elev. 26'-6"



Rear (Northwest) Elevation - Building B  
 Scale: 1/8" = 1'-0"

A TRUE COPY ATTEST  
*Melinda J. Manison*  
 TOWN CLERK  
 TOWN OF SALISBURY

Max. Ridge Height  
Elev. 81'-6"

Third Floor Level  
Elev. 46'-11 3/4"

Second Floor Level  
Elev. 37'-11 3/4"

First Floor Level  
Elev. 27'-11 3/4"

Average Grade  
Elev. 26'-6"



Front (Southwest) Elevation - Building A  
Scale: 1/8" = 1'-0"

Max. Ridge Height  
Elev. 81'-6"

Third Floor Level  
Elev. 46'-11 3/4"

Second Floor Level  
Elev. 37'-11 3/4"

First Floor Level  
Elev. 27'-11 3/4"

Average Grade  
Elev. 26'-6"



Side (Northwest) Elevation - Building A  
Scale: 1/8" = 1'-0"



Side (Southeast) Elevation - Building A  
Scale: 1/8" = 1'-0"

Max. Ridge Height  
Elev. 81'-6"

Third Floor Level  
Elev. 46'-11 3/4"

Second Floor Level  
Elev. 37'-11 3/4"

First Floor Level  
Elev. 27'-11 3/4"

Average Grade  
Elev. 26'-6"



Rear (Northeast) Elevation - Building A  
Scale: 1/8" = 1'-0"

A TRUE COPY ATTEST  
*Melinda J. Morrison*  
TOWN CLERK  
TOWN OF SALISBURY



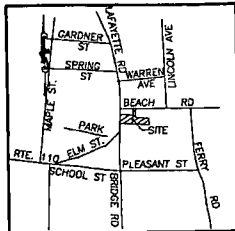


Front Perspective

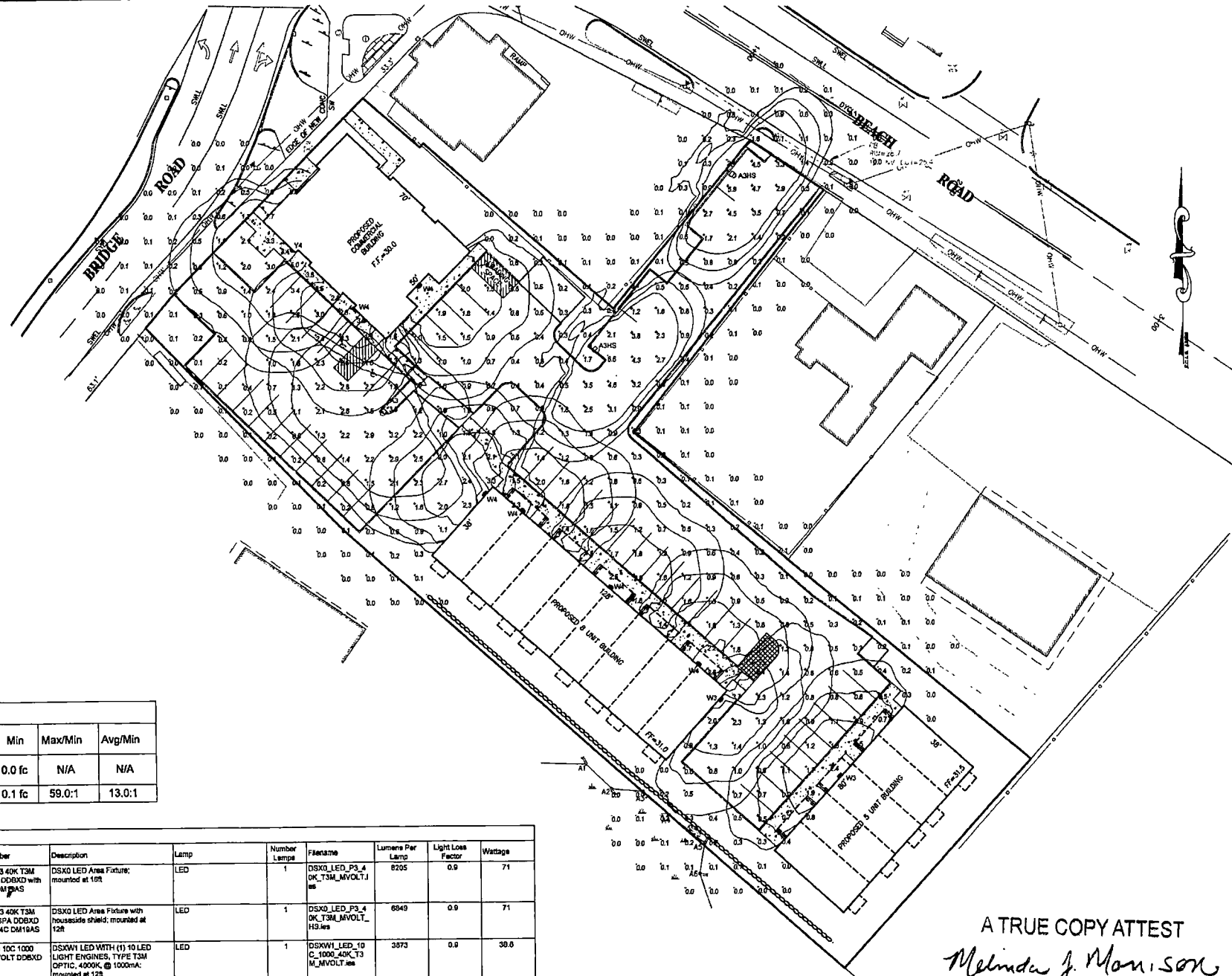


Aerial Perspective

A TRUE COPY ATTEST  
*Melinda J. Morrison*  
 TOWN CLERK  
 TOWN OF SALISBURY



LOCUS MAP  
N.T.S.



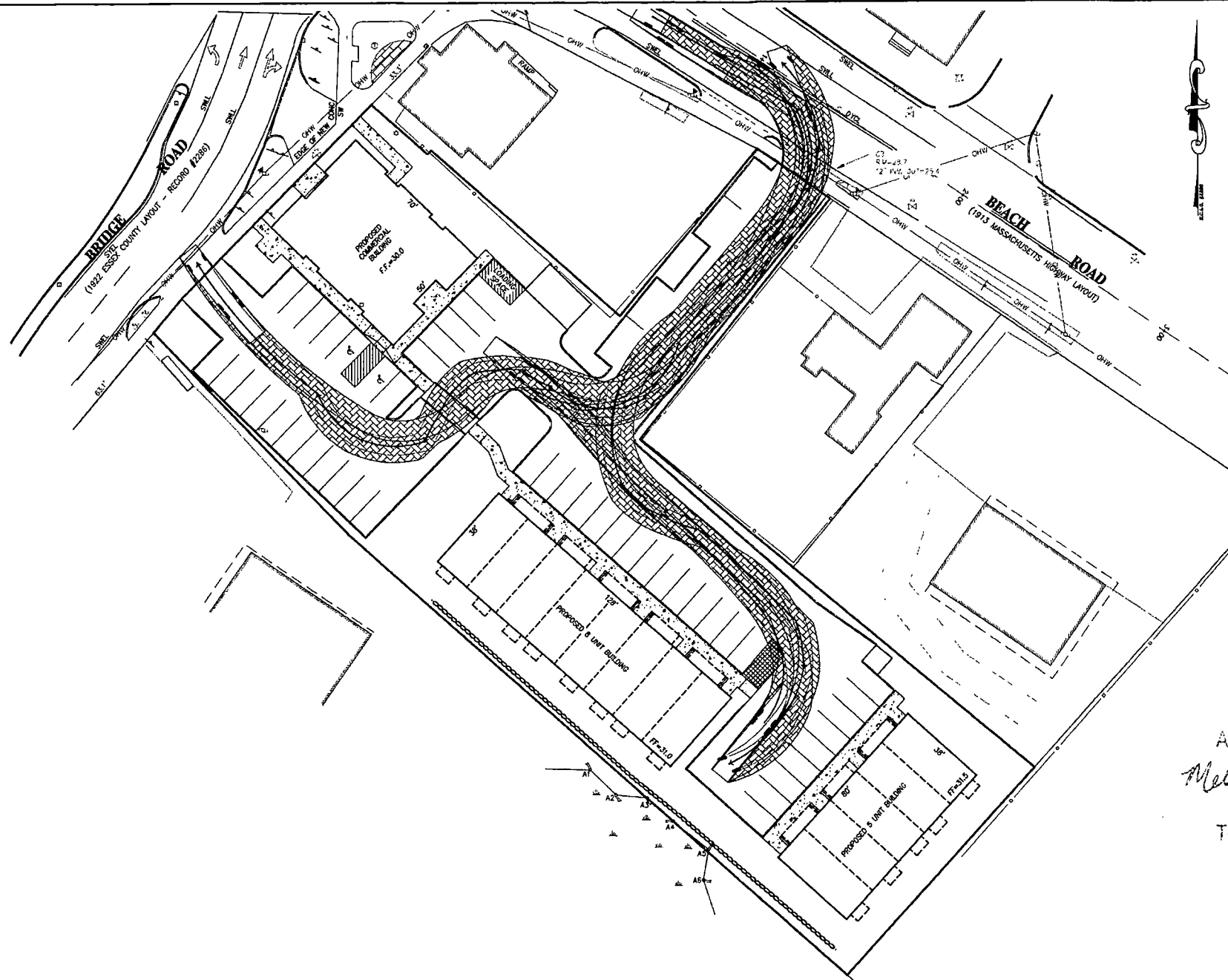
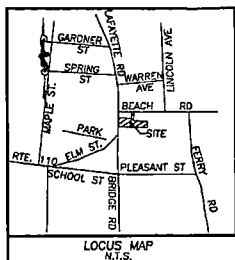
SALISBURY SQUARE CONDOS  
Site Lighting Layout  
At  
3 BRIDGE ROAD / 4 BEACH ROAD

Designer  
Heidi G. Connors  
Visible Light, Inc.  
24 Stickney Terrace  
Suite 6  
Hampton, NH 03842  
Date  
8/19/2019  
Scale  
1"=20'  
Drawing No.  
Summary

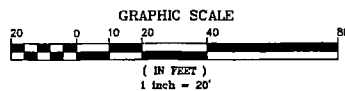
Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Outside of Parking Lot	+	0.3 fc	6.6 fc	0.0 fc	N/A	N/A
Parking Lot		1.3 fc	5.9 fc	0.1 fc	59.0:1	13.0:1

Schedule										
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	File Name	Lumens Per Lamp	Light Loss Factor
	A3	1	Lithonia Lighting	DSX0 LED P3 40K T3M MVOLT EPA DOBXD with 55S 18 4C DM19AS DOBXD	DSX0 LED Area Fixture; mounted at 10ft	LED	1	DSX0_LED_P3_40K_T3M_MVOLT_1.es	8205	0.9
	A3HS	2	Lithonia Lighting	DSX0 LED P3 40K T3M MVOLT HS SPA DOBXD with 55S 12 4C DM19AS	DSX0 LED Area Fixture with house side shield; mounted at 12ft	LED	1	DSX0_LED_P3_40K_T3M_MVOLT_HS.es	6849	0.9
	W3	2	Lithonia Lighting	DSXW1 LED 10C 1000 40K T3M MVOLT DOBXD	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE T3M OPTIC, 4000K, @ 1000mA; mounted at 12ft	LED	1	DSXW1_LED_10C_1000_40K_T3M_MVOLT.es	3873	0.9
	W4	6	Lithonia Lighting	DSXW1 LED 10C 1000 40K T3M MVOLT DOBXD	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE T3M OPTIC, 4000K, @ 1000mA; mounted at 12ft	LED	1	DSXW1_LED_10C_1000_40K_T3M_MVOLT.es	3845	0.9
	Y4	1	Lithonia Lighting	DSXW2 LED 20C 1000 40K T3M MVOLT DOBXD	DSXW2 LED WITH 2 LIGHT ENGINES, 20 LED's, 1000mA DRIVER, 4000K LED, TYPE FORWARD THROW MEDIUM OPTIC; mounted at 14ft	LED	1	DSXW2_LED_20C_1000_40K_T3M_MVOLT.es	7583	0.9

A TRUE COPY ATTEST  
*Melinda J. Monison*  
TOWN CLERK  
TOWN OF SALISBURY




A TRUE COPY ATTEST  
*Melinda J. Monison*  
TOWN CLERK  
TOWN OF SALISBURY



PREPARED FOR  
DOWNEAST BUILDING & DEVELOPMENT  
110 MAPLE LANE  
NORTHBOROUGH, MA 01532  
LIBERTY REAL ESTATE STRATEGY, LLC  
11A LIBERTY STREET  
NEWBURYPORT, MA 01950

NO.	DATE	DESCRIPTION	BY
5	8/19/19	ADDRESS TOWN COMMENTS	C.M.Y.
4	7/30/19	ADDRESS TOWN COMMENTS	C.M.Y.
3	6/10/19	ADDRESS TOWN COMMENTS	C.M.Y.
2	5/16/19	ADDRESS TOWN COMMENTS	C.M.Y.
1	4/3/19	ADDRESS TOWN COMMENTS	C.M.Y.

**MILLENNIUM ENGINEERING, INC.**  
ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8880  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=20'  
DATE: MAR. 25, 2019

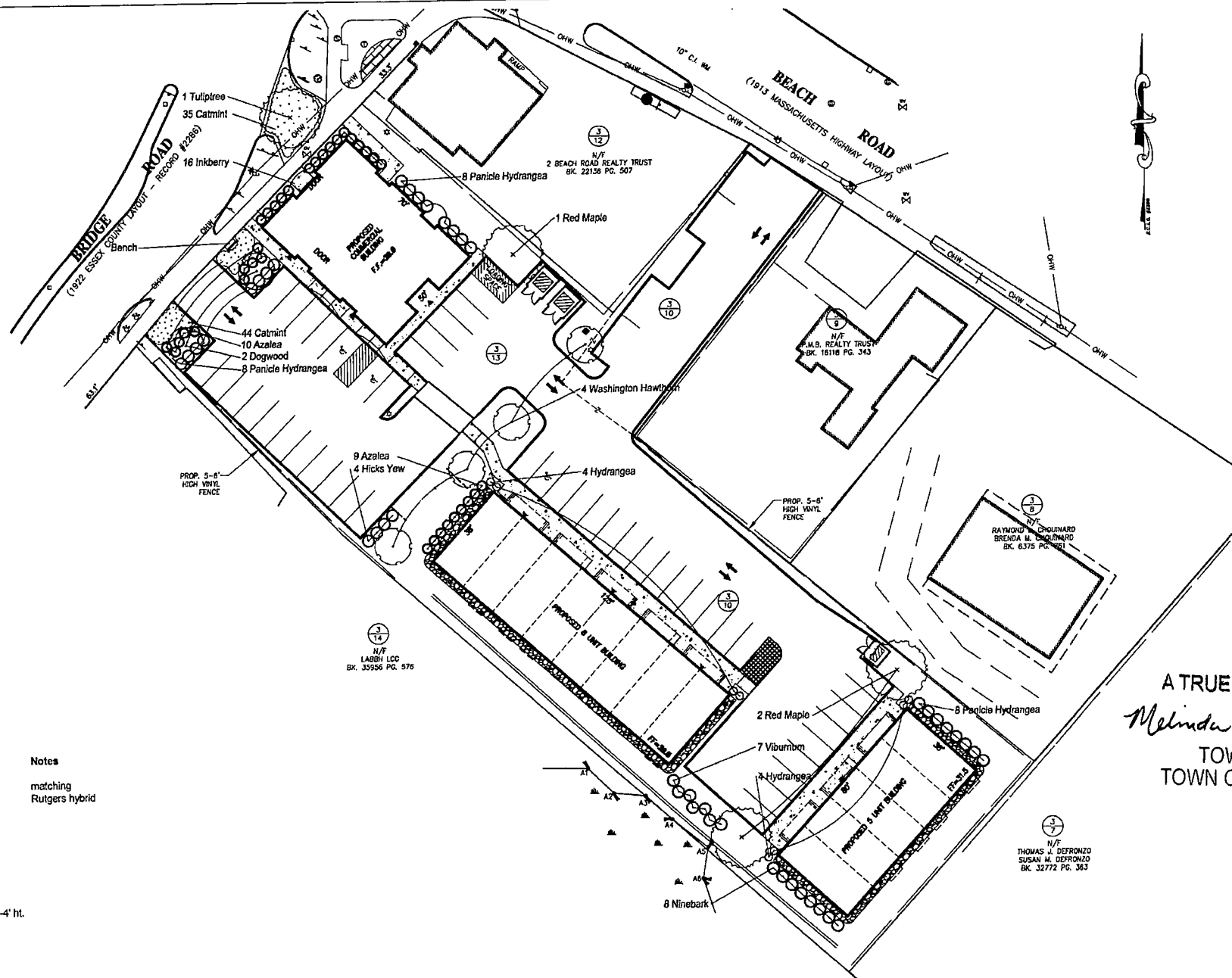
DESIG. BY: C.M.Y.  
CHKD. BY: E.W.B.

PROJECT: M183402

**PLAN OF LAND**  
IN  
**SALISBURY, MA**  
SHOWING  
**PROPOSED SITE IMPROVEMENTS**  
AT  
**3 BRIDGE ROAD / 4 BEACH ROAD**

**FIRE TRUCK  
TEMPLATES**

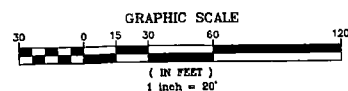
SHEET: F-1



# **Salisbury Sq. Plant List**

Qty.	Scientific Name	Common Name	Size	Notes
<b>Trees</b>				
3	Acer rubrum	Red Maple	3" cal.	matching
2	Cornus x 'Rutgan'	Stellar Pink Dogwood	2" cal.	Rutgers hybrid
4	Crataegus phaenopyrum	Washington Hawthorn	2" cal.	
1	Liriodendron tulipifera	Tuliptree	3" cal.	
<b>Shrubs</b>				
19	Azalea 'Delaware Valley White'	Azalea	5 gal.	
8	Hydrangea 'Blue Wave'	Blue Wave Hydrangea	5 gal.	
24	Hydrangea paniculata 'Quickfire'	Panicle Hydrangea	5 gal.	
16	Ilex glabra 'Compacta'	Inkberry	5 gal.	
8	Physocarpus opulifolius	Ninebark	5 gal.	
4	Taxus x media 'Hicksii'	Hicks Yew	3 1/2-4' ht.	
7	Viburnum dentatum	Arrowwood Viburnum	5 gal.	
<b>Perennials</b>				
79	Nepeta 'Walkers Low'	Catmint	1 gal.	

**\*\* NO PLANT SUBSTITUTIONS UNLESS APPROVED BY L.A.**



PREPARED FOR  
DOWNEAST INVESTMENTS, LLC  
3 BRIDGE ROAD / 4 BEACH ROAD  
SALISBURY, MA 01952

Issued:		
1	11-21-19	For review
2	3-6-19	For review
3	5-15-19	For review
4	5-31-19	For review
5	6-10-19	For review
6	6-19-19	For review
7	7-23-19	For review
8	7-29-19	For review
9	8-14-19	For review

**KD Turner Design**  
landscape architecture  
27 High St.  
Newburyport, MA 01950  
ph) 781.632.6004

**LANDSCAPE PLAN**  
IN  
**SALISBURY, MA**  
AT  
3 BRIDGE ROAD / 4 BEACH ROAD

**L-1**

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*Melinda J. Monison*  
TOWN CLERK  
TOWN OF SALISBURY