

LOCUS MAP
N.T.S.

14-UNIT RESIDENTIAL DEVELOPMENT (LOTS 249-258) AND 2 DUPLEX LOTS (LOTS 259 & 260)

AT
207 BEACH ROAD
IN
SALISBURY, MA

JANUARY 2022

SALISBURY PLANNING BOARD APPROVAL

DATE

OWNER OF RECORD

28
10

IDA P. & EDWARD FOOTE, JR.
123 CENTRAL AVENUE
SALISBURY, MA
BOOK 10016 PAGE 248

TOTAL AREA
53,071 S.F.
1.22 ACRES

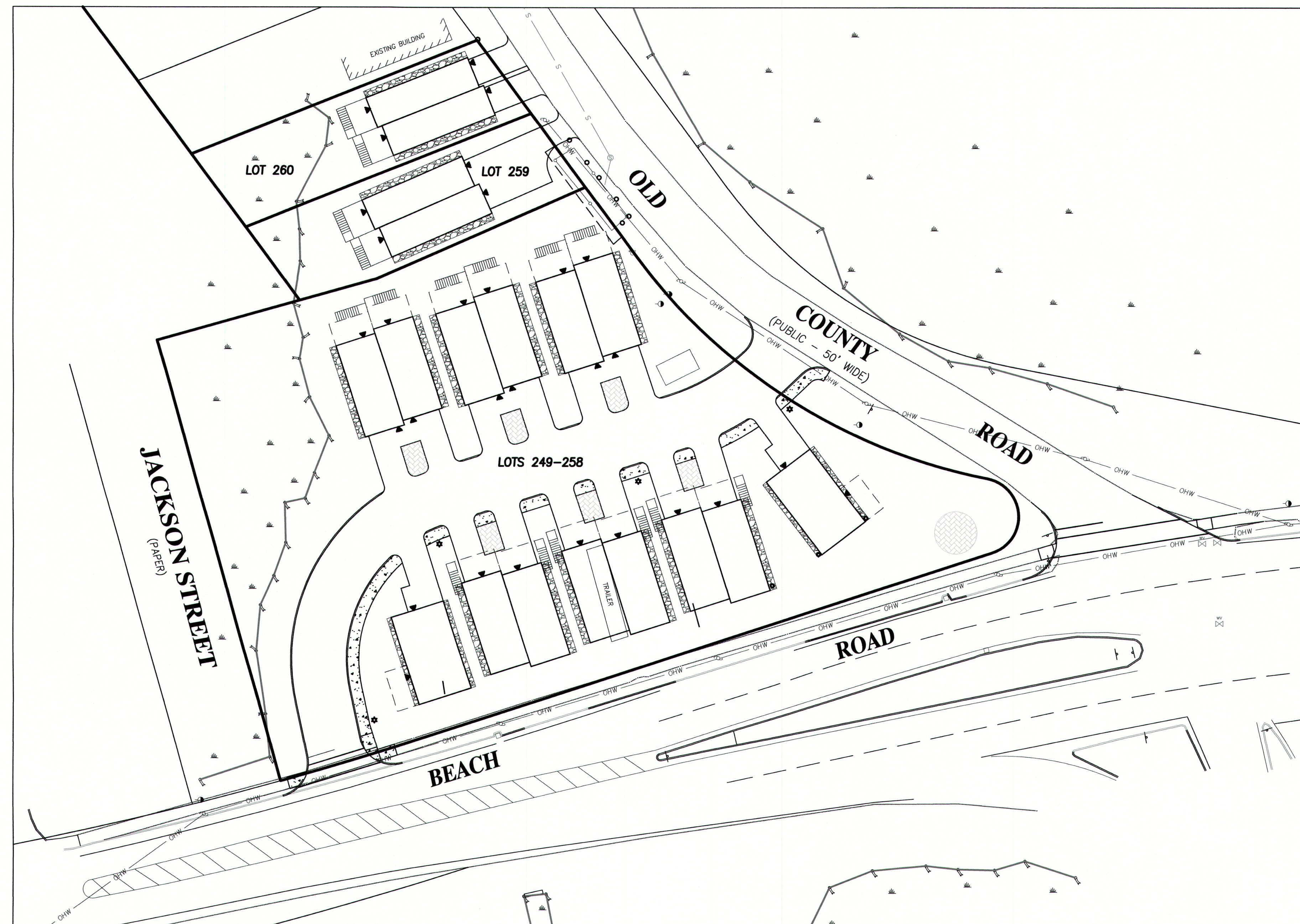
UPLAND AREA
46,920 S.F. ±
1.08 ACRES ±
(88.4% OF LOT)

PLAN BOOK 218 PLAN 91

ZONING TABLE

207 BEACH ROAD - ASSESSORS MAP 28 LOT 10 ZONING DISTRICT BC-RES			
	REQUIRED	EXISTING	PROPOSED
LOT AREA:	-	1.22 ACRES	1.22 ACRES
LOT FRONTAGE:	-	327.96 FEET	327.96 FEET
FRONT SETBACK:	5 FEET	-	14.3 FT
SIDE SETBACK:	**	-	7.6 FT
REAR SETBACK:	**	-	20.9 FT
LOT COVERAGE:	90% MAX	0%	20.7%
BLDG HEIGHT:	35 FEET	-	< 35 FEET
PARKING SPACES:	2 PER UNIT	-	3 PER UNIT

** THE SETBACK REQUIREMENTS SHALL BE BASED ON 10'-0" FOR
NON-FIRE-RATED STRUCTURES AND 5'-0" FOR FIRE-RESISTANT STRUCTURES.
LOT COVERAGE CALCULATIONS: 10,992 S.F. BUILDINGS/53,071 S.F. LOT=20.7%

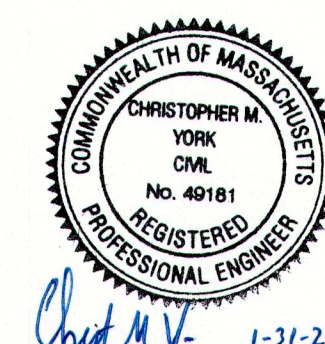
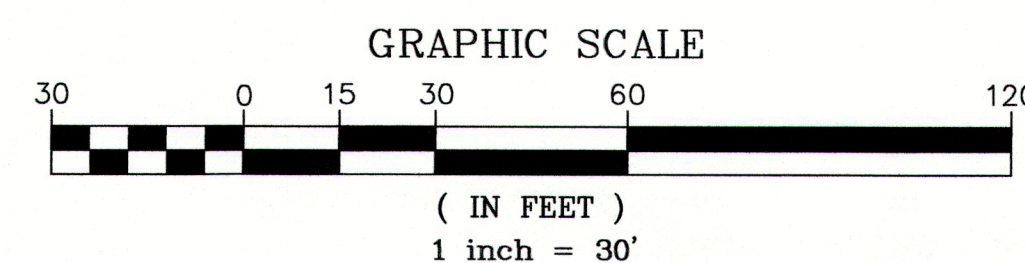


NOTES

1. THE PROPERTY IS LOCATED WITHIN THE TOWN OF SALISBURY FLOOD PLAIN DISTRICT.
2. THE PROPERTY LIES WITHIN THE 100-YEAR FLOOD PLAIN (ZONE AE, ELEV. 9) ACCORDING TO F.I.R.M. COMMUNITY PANEL NUMBER 25009C 0129F.

PLAN INDEX

SHEET NO.	TITLE
C-1	COVER SHEET
C-2	EXISTING CONDITIONS PLAN
C-3	LEGEND/NOTES
C-4	GRADING PLANS
C-5	UTILITY PLAN & PROFILE
C-6	UTILITY DETAILS
C-7	DRAINAGE DETAILS
C-8	EROSION CONTROL DETAILS
E-1	LIGHTING PLAN
F-1	FIRE TRUCK TEMPLATE
L-1	LANDSCAPE PLAN

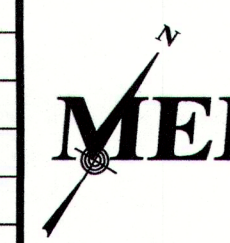


PREPARED FOR

TOM PATENAUDE

P.O. BOX 5
NORTH ANDOVER, MA 01845

NO.	DATE	DESCRIPTION	BY
5	1/31/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
4	1/3/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
3	8/5/21	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
2	7/22/21	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
1	6/23/21	ADDRESS PLANNING COMMENTS	C.M.Y.



MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=30'
DATE: JUN. 3, 2021
DESG. BY: C.M.Y.
CHKD. BY: E.W.B.
PROJECT: M203759

SITE PLAN
IN
SALISBURY, MA

SHOWING
PROPOSED SITE DEVELOPMENT
AT
207 BEACH ROAD

COVER SHEET

SHEET: C-1



WETLAND DELINEATED BY:
WEST ENVIRONMENTAL
(DELINEATED: SEPTEMBER 2020)

ZONING DISTRICT – BEACH COMMERCIAL

BASIS OF BEARINGS

L.C.C. 6250A

OWNER OF RECORD

IDA P. & EDWARD FOOTE, JR.
123 CENTRAL AVENUE—SALISBURY, MA
BOOK 10016 PAGE 248

PLAN REFERENCES

L.C.C. 6250A

N/F 191 BEACH REALTY LLC
CERT 86222

LOTS 249-258
53,071 S.F.
= 1.22 AC.

JACKSON STREET
(PAPER)

LEGEND

- | | |
|---------|-----------------------|
| ● C.B. | CONCRETE BOUND |
| □ S.B. | STONE BOUND |
| ● D.H. | DRILL HOLE |
| ● PK | MASONRY NAIL |
| ● I.P. | IRON PIPE |
| ● I ROD | IRON ROD |
| FND. | FOUND |
| N/F | NOW OR FORMERLY |
| — 7 — | EXISTING ELEVATION |
| — | CONTOUR |
| ● | GUY |
| ⊙ UPOLE | UTILITY POLE |
| — D — | DRAINAGE |
| — W — | WATER |
| — S — | SEWER |
| — FM — | FORCE MAIN |
| — G — | GAS |
| — OHW — | OVERHEAD WIRE |
| □ CB | CATCH BASIN |
| ⊙ DMH | DRAIN MANHOLE |
| ⊙ SMH | SEWER MANHOLE |
| ⊙ | HYDRANT |
| ⊙ | GAS VALVE |
| ⊙ | GAS SHUT OFF |
| ⊙ | WATER SHUT OFF |
| ⊙ | WATER VALVE |
| W1 | WETFLAG & DELINEATION |
| BIT. | BITUMINOUS |
| — | SIGN |
| ⊙ | ASSESSORS MAP# |
| ⊙ | PARCEL # |

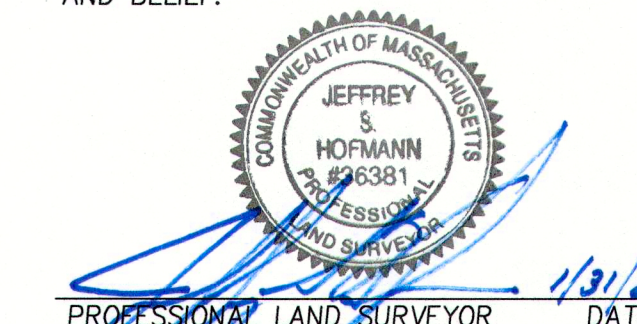
NOTES:

THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.

RECORD UTILITY INFORMATION HAS BEEN OBTAINED
FOR LOCUS. VISIBLE SURFACE STRUCTURES HAVE
BEEN LOCATED AND ARE SHOWN HEREON AND
SUBSURFACE UTILITY LINES ARE SHOWN.

THE CERTIFICATIONS SHOWN HEREON ARE NOT
INTENDED AS CERTIFICATION TO TITLE OR OWNERSHIP
OF PROPERTY SHOWN. OWNERS OF ADJOINING
PROPERTIES ARE ACCORDING TO CURRENT TOWN OF
SALISBURY ASSESSORS RECORDS.

I CERTIFY:
THAT THIS ACTUAL SURVEY WAS MADE ON
THE GROUND BETWEEN JUNE 19 AND JULY
13, 2020, AND THAT THE STRUCTURES
AND PHYSICAL FEATURES ARE LOCATED
AS SHOWN TO THE BEST OF MY ABILITY
AND BELIEF



GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20'

PREPARED FOR

TOM PATENAUDE
P.O. BOX 5
RTH ANDOVER, MA 01845

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1	6/23/21	ADDRESS PLANNING COMMENTS	C.M.		
NO.	DATE	DESCRIPTION	BY		



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13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=20'

CALC BY: SFR

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SITE PLAN

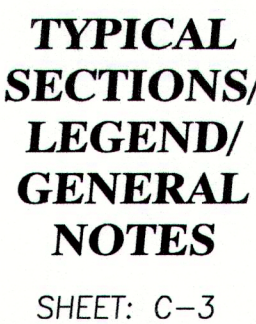
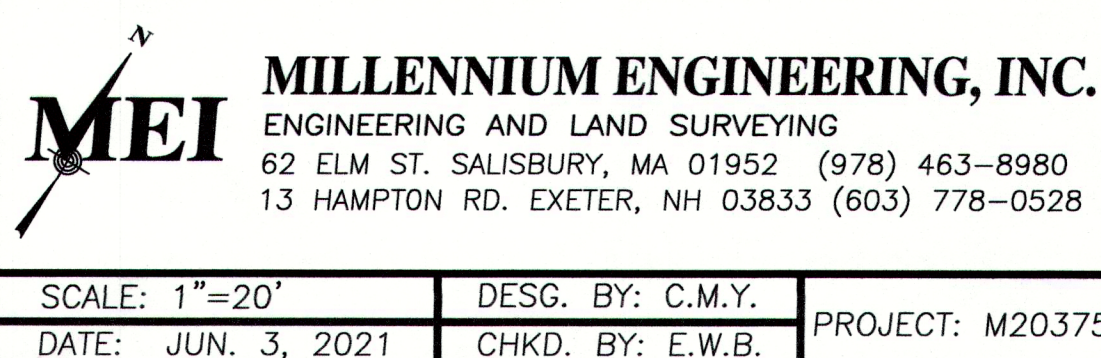
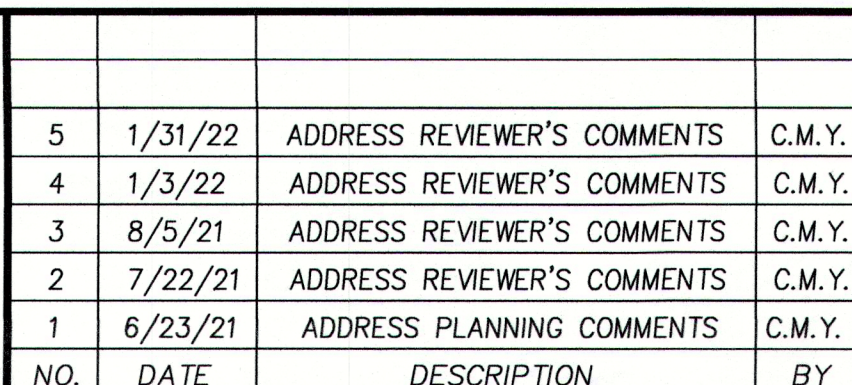
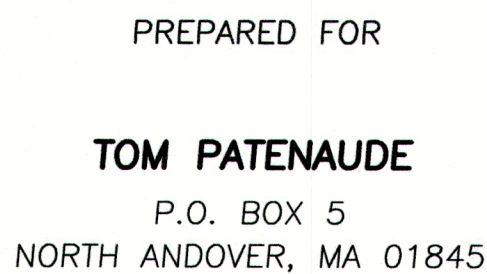
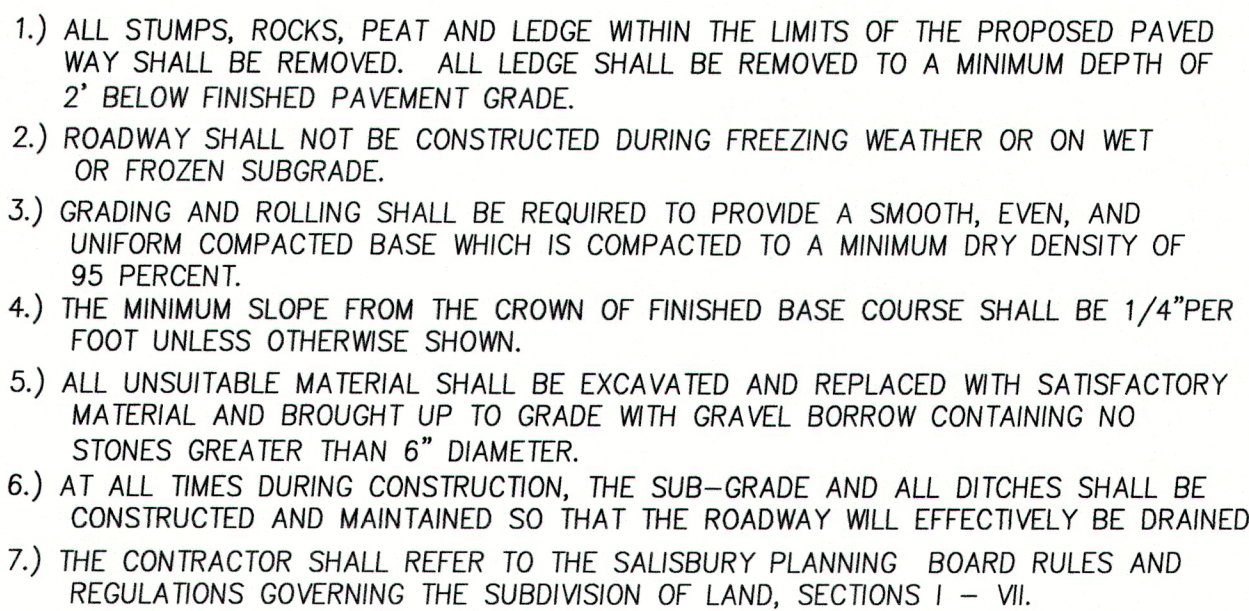
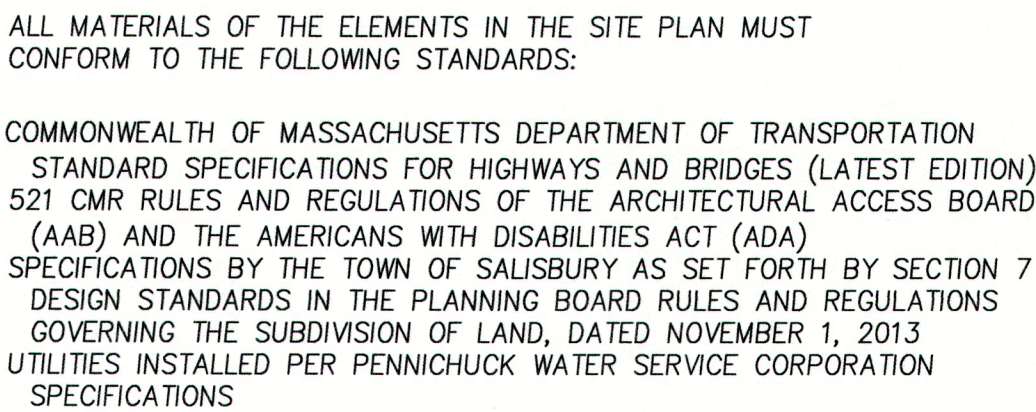
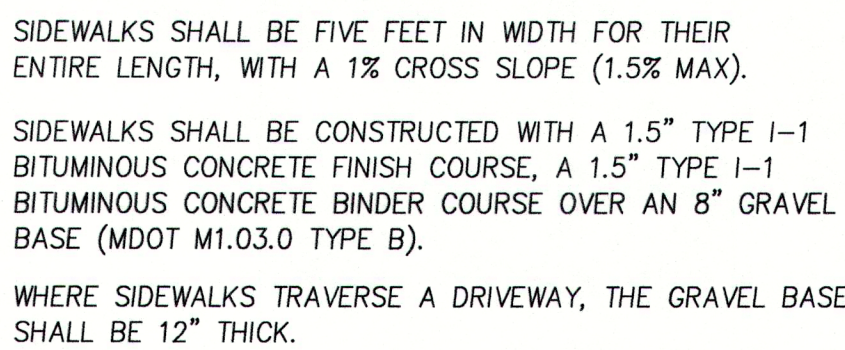
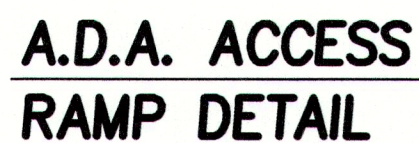
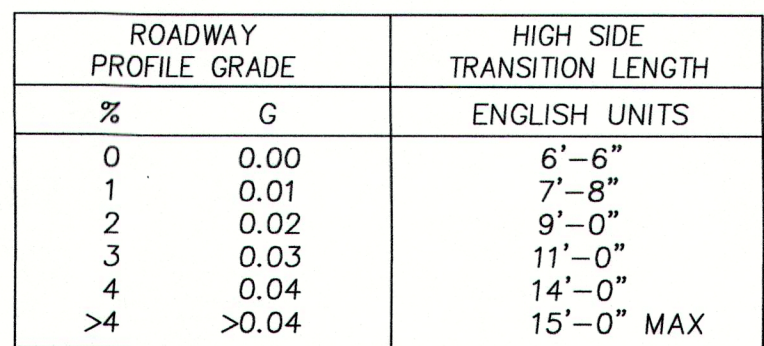
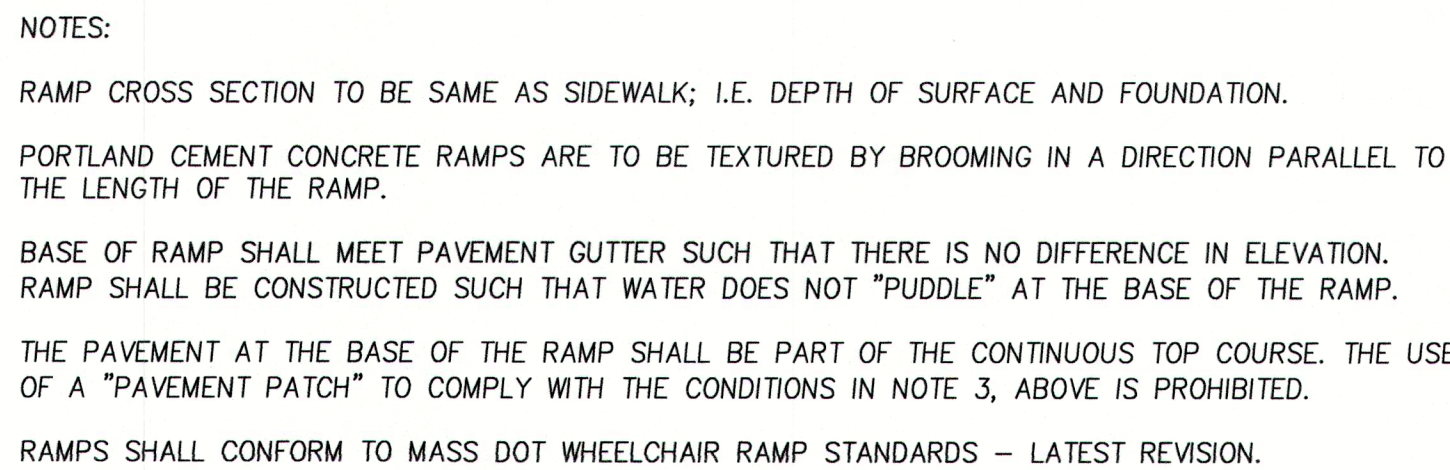
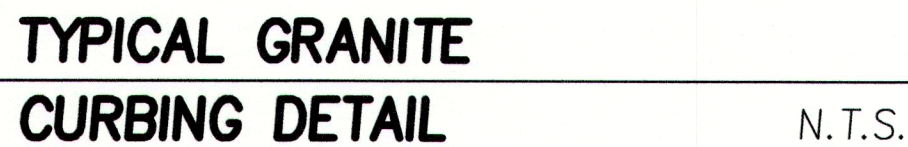
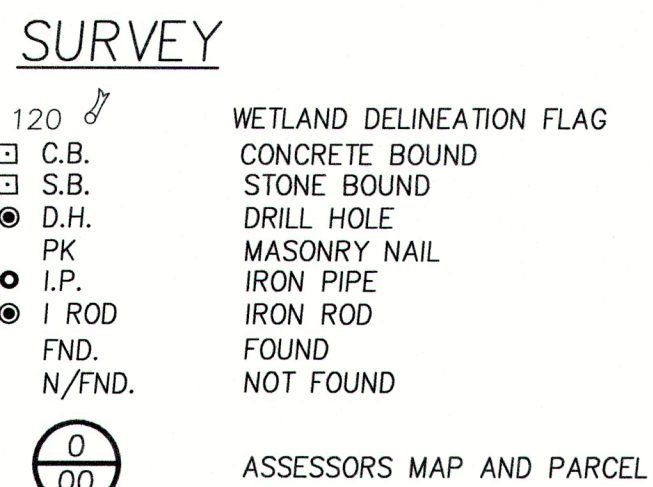
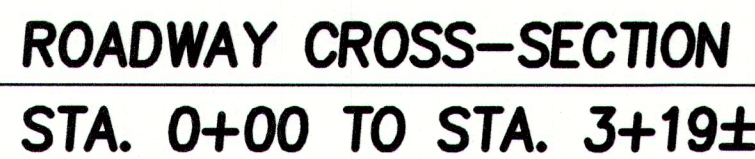
IN

SALISBURY, M

SHOWING
EXISTING CONDITIONS
AT A MAJORITY OF
207 BEACH ROAD
(MAP 28 - LOT 10)

EXISTING CONDITIONS














SHEET: C-2

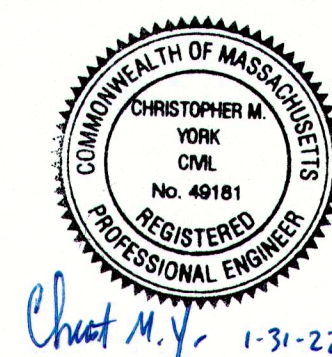
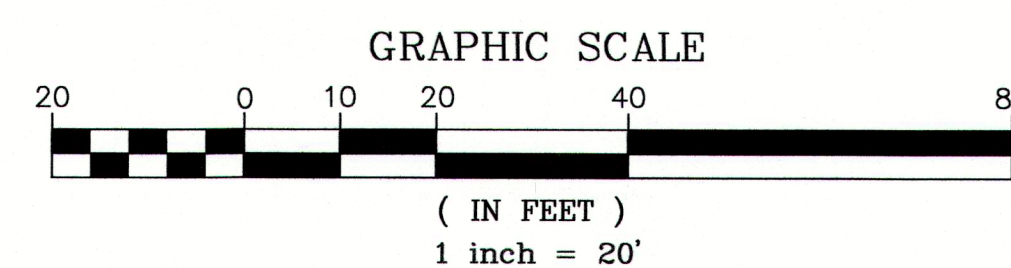




RESOURCE AREA IMPACTS
TOTAL BUFFER ZONE IMPACT = 32,300 S.F.
TOTAL LSCSF IMPACT = 44,400 S.F.



- | | |
|--|---|
|  | EXIST. CONTOUR |
|  | PROP. CONTOUR |
|  | PROP. TREELINE |
|  | PROP. RETAINING WALL |
|  | PROP. SILT FENCE |
|  | PROP. PERFORATED ROOF DRAIN |
|  PROP. GUTTER INLET |  EXIST. CATCH BASIN |
|  PROP. SPOT GRADE |  EXIST. UTILITY POLE |
|  PROP. OUTLET STRUCTURE |  WETLANDS |
| |  EXIST. TEST PIT |

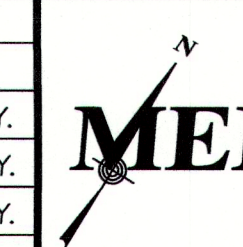


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SCALE: 1"=20'	DESG. BY: C.M.Y.	PROJECT: M203759
DATE: JUN. 3, 2021	CHKD. BY: E.W.B.	

SITE PLAN

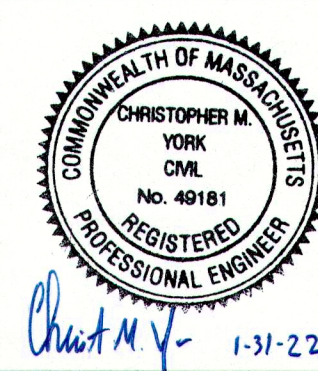
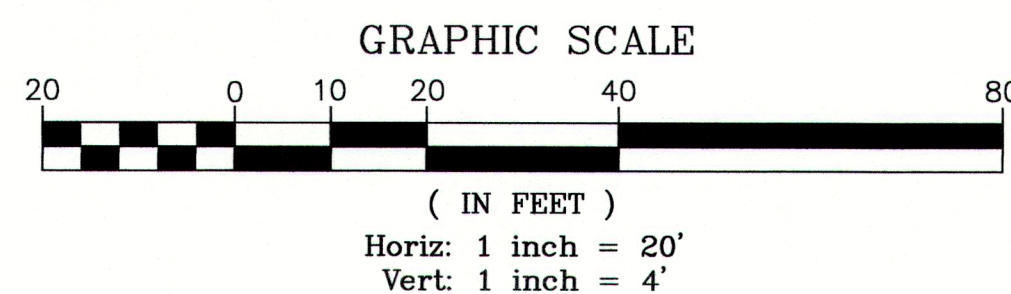
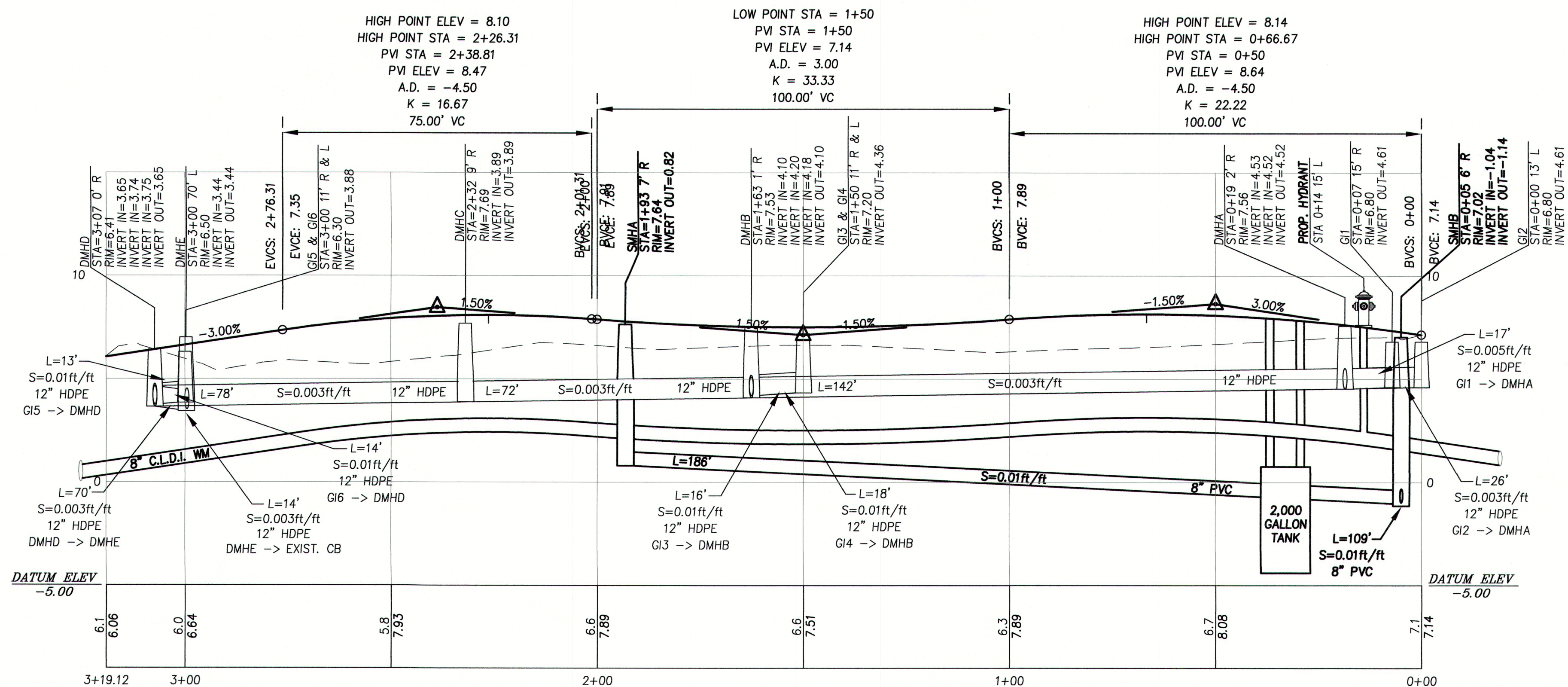
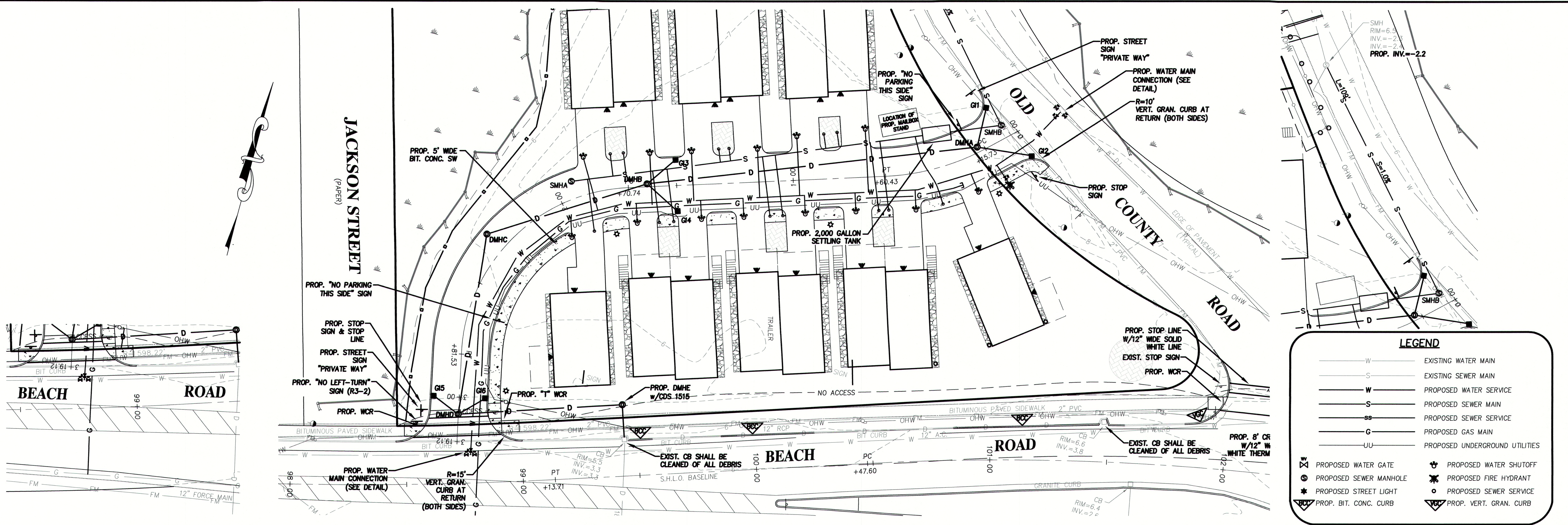
IN

SALISBURY, MA

SHOWING
PROPOSED SITE DEVELOPMENT
AT
207 BEACH ROAD

GRADING PLAN

SHEET: C-4



PREPARED FOR
TOM PATENAUE
P.O. BOX 5
NORTH ANDOVER, MA 01845

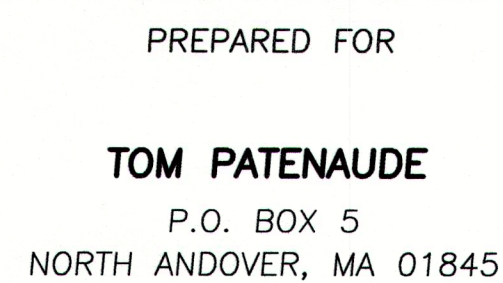
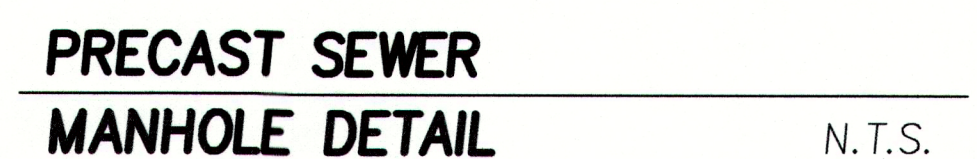
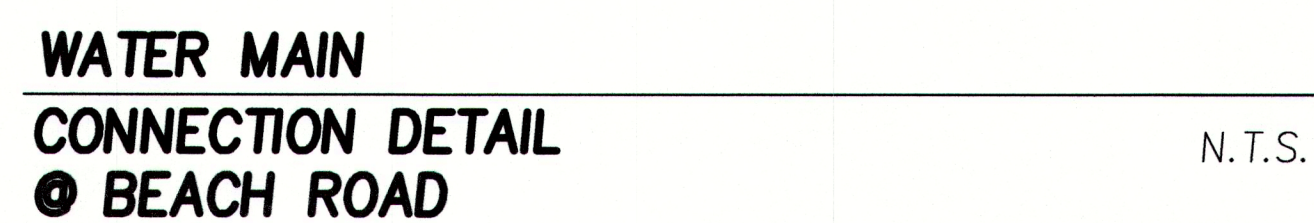
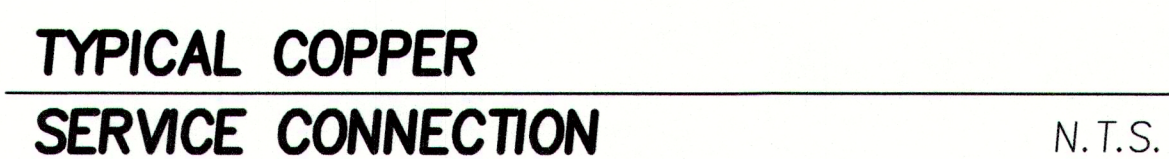
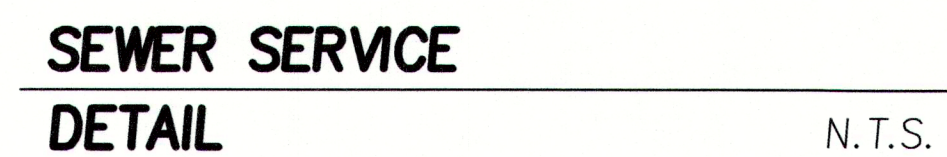
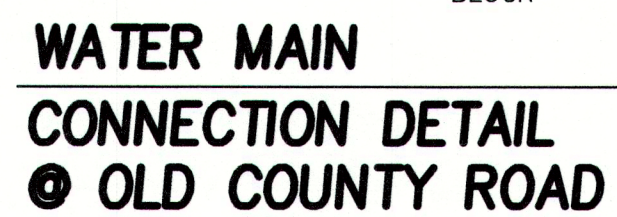
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13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=20'
DATE: JUN. 3, 2021
DESIGNER: C.M.Y.
CHECKER: E.W.B.
PROJECT: M203759

SITE PLAN
IN
SALISBURY, MA
SHOWING
PROPOSED SITE DEVELOPMENT
AT
207 BEACH ROAD

UTILITY PLAN & PROFILE
SHEET: C-5





MILLENNIUM ENGINEERING, INC.

ENGINEERING AND LAND SURVEYING

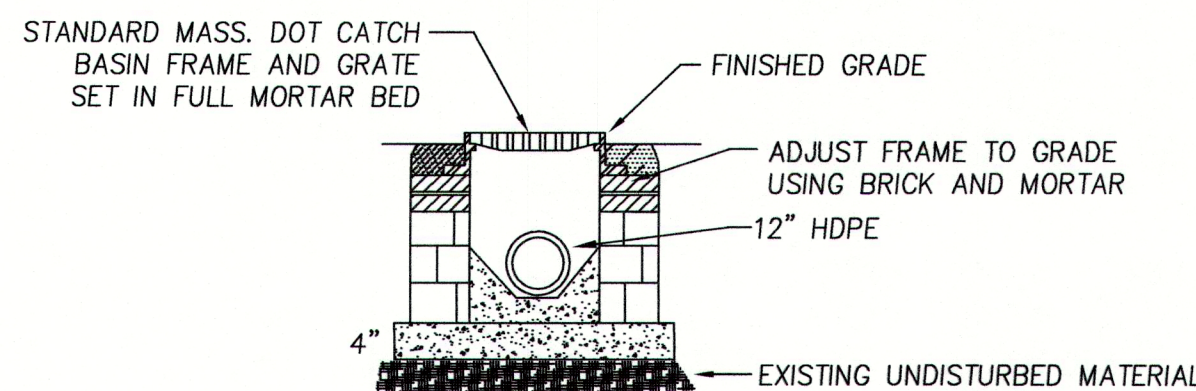
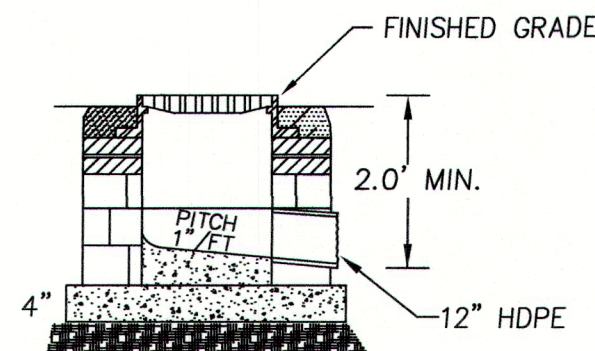
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980

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SCALE: 1"=20'	DESIG. BY: C.M.Y.	PROJECT: M203759
DATE: JUN. 3, 2021	CHKD. BY: E.W.B.	

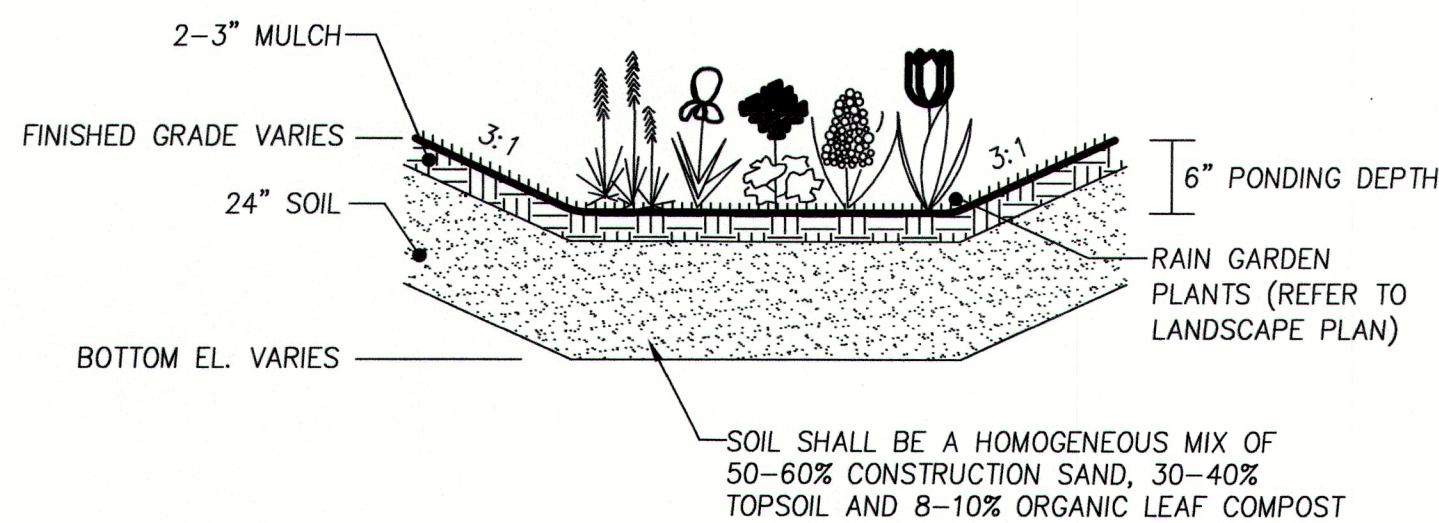
SHOWING
PROPOSED SITE DEVELOPMENT
AT
207 BEACH ROAD

SHEET: C-6



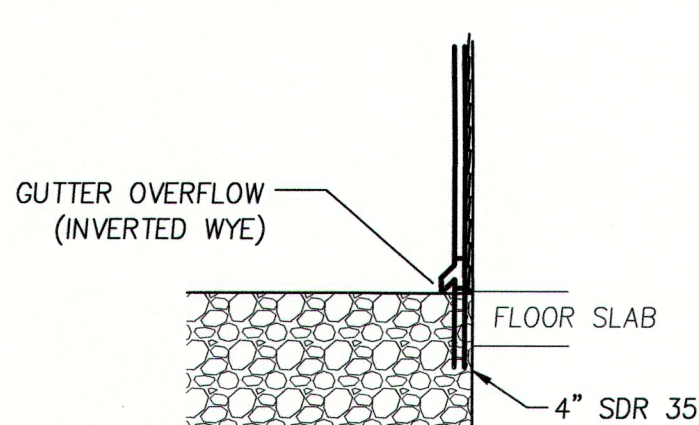
**CONCRETE BLOCK
GUTTER INLET**

N.T.S.



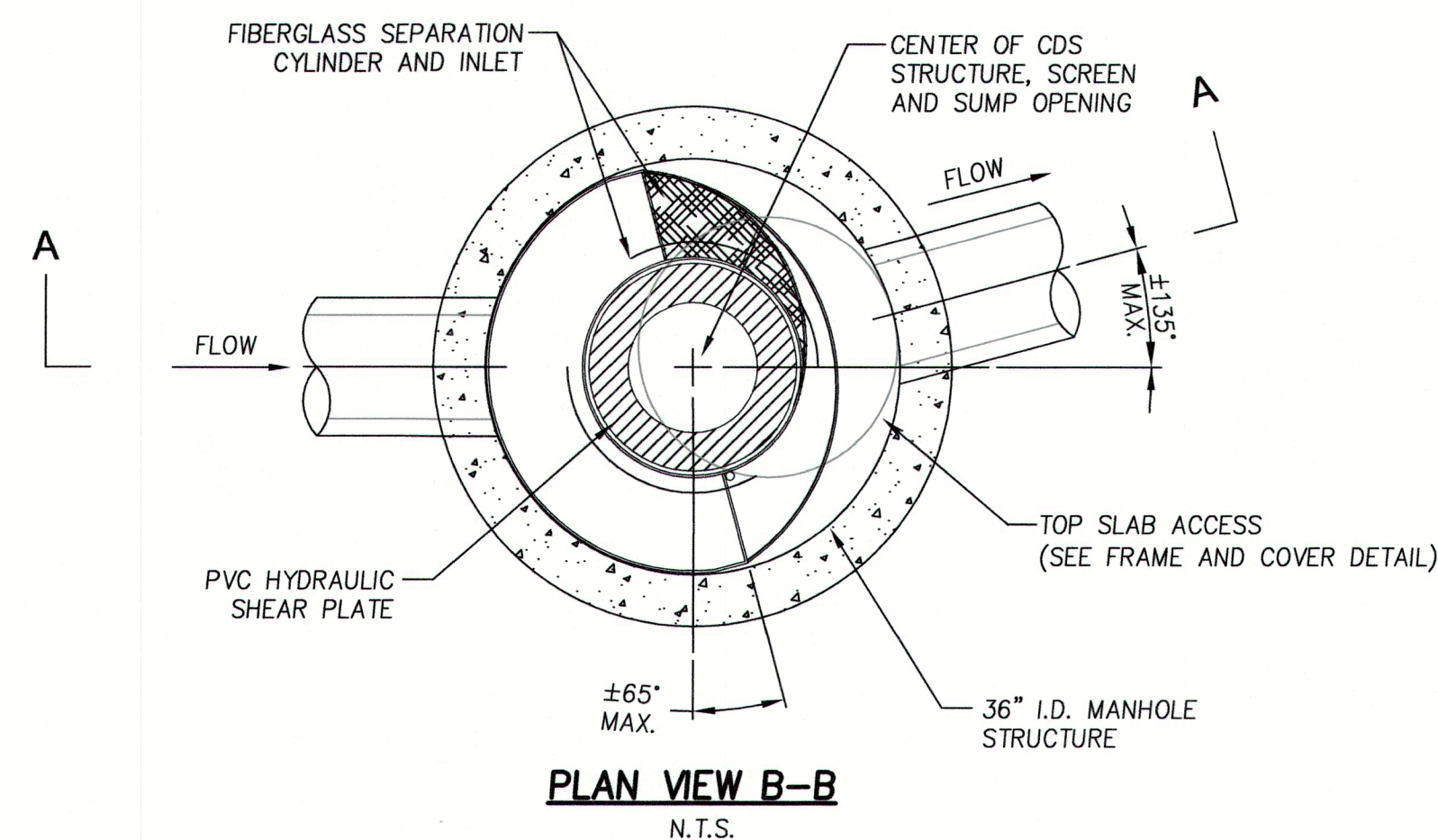
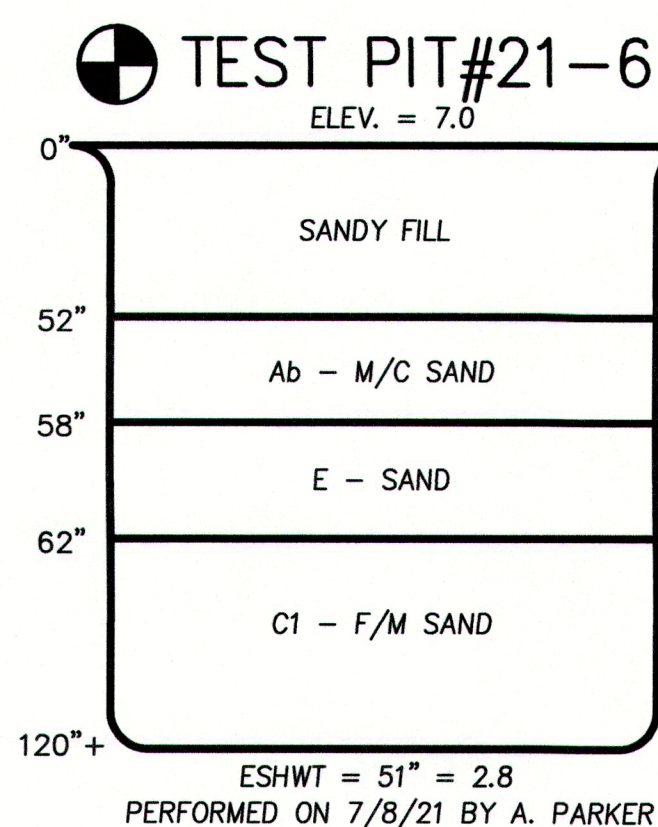
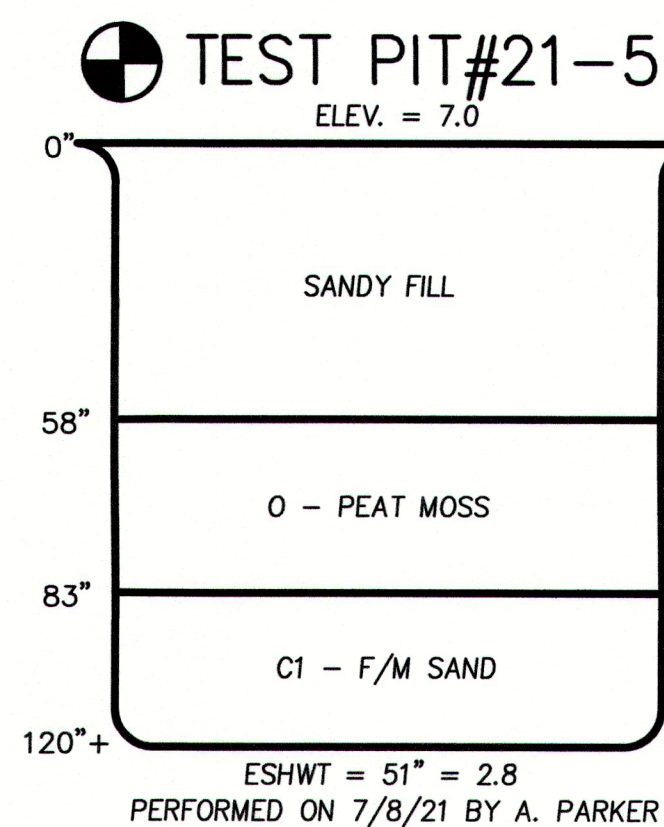
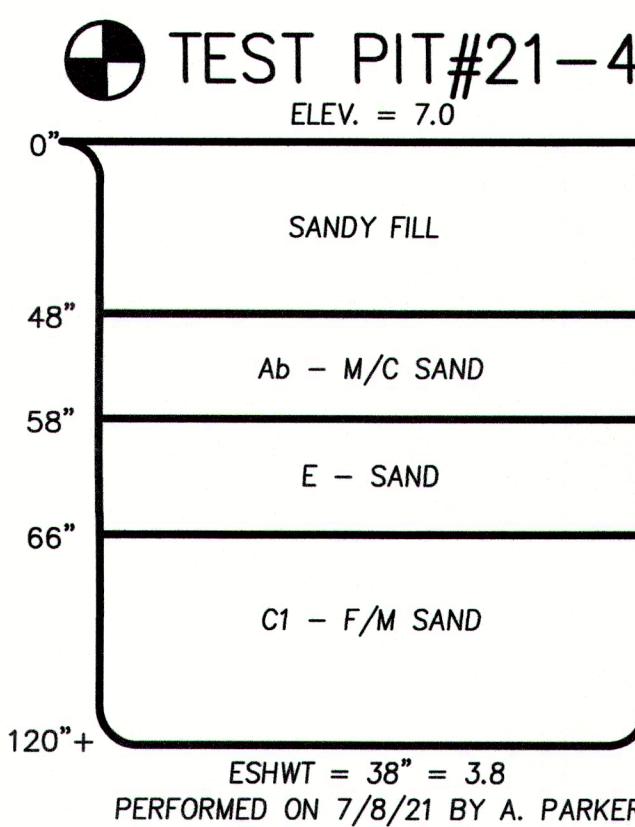
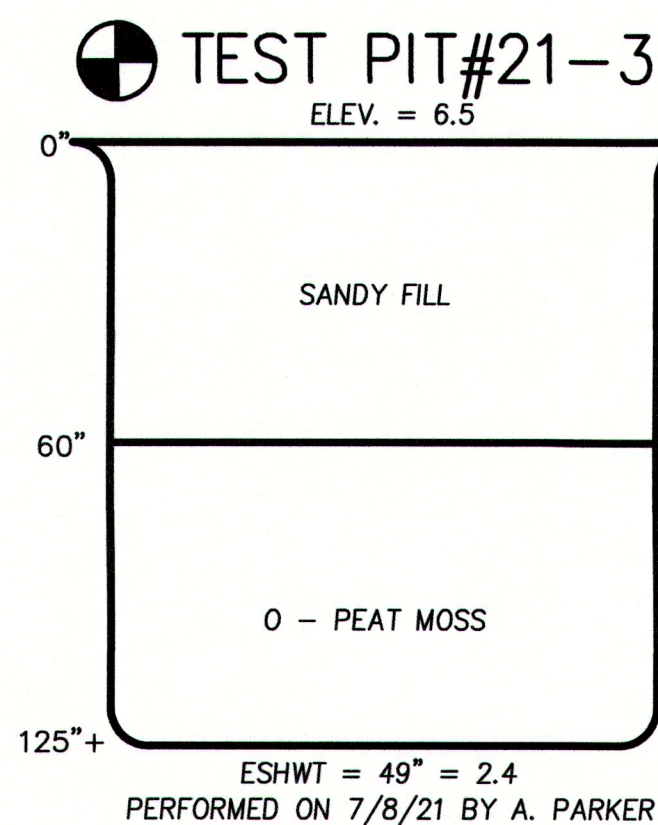
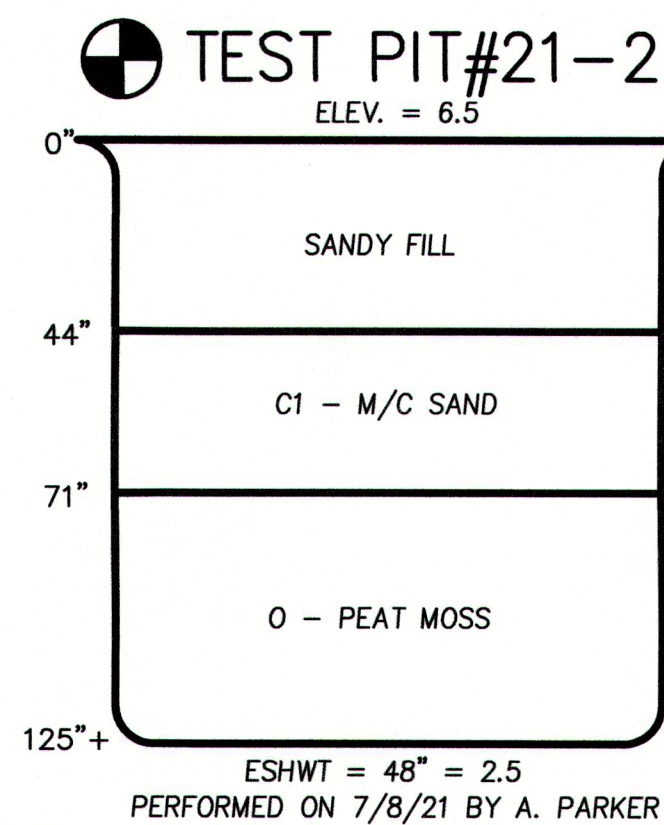
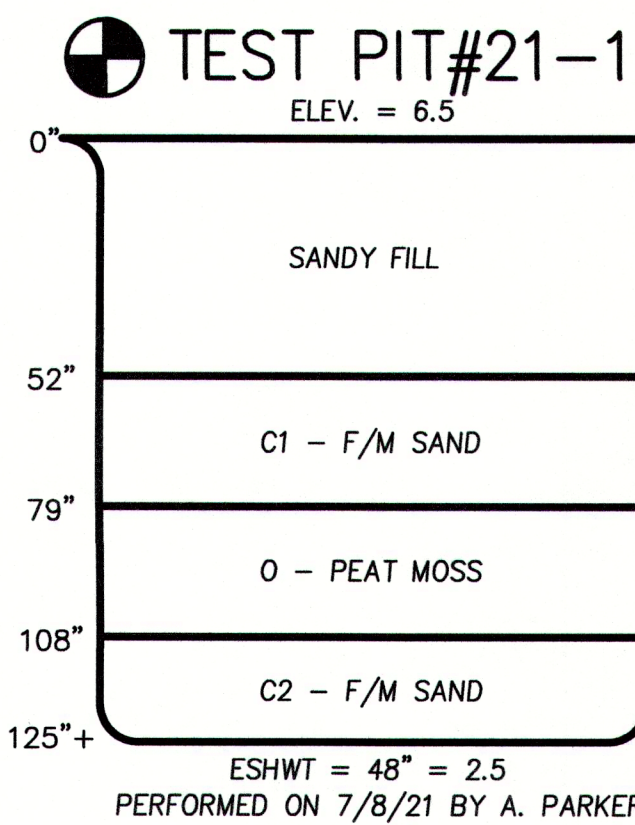
**RAIN GARDEN
DETAIL**

N.T.S.



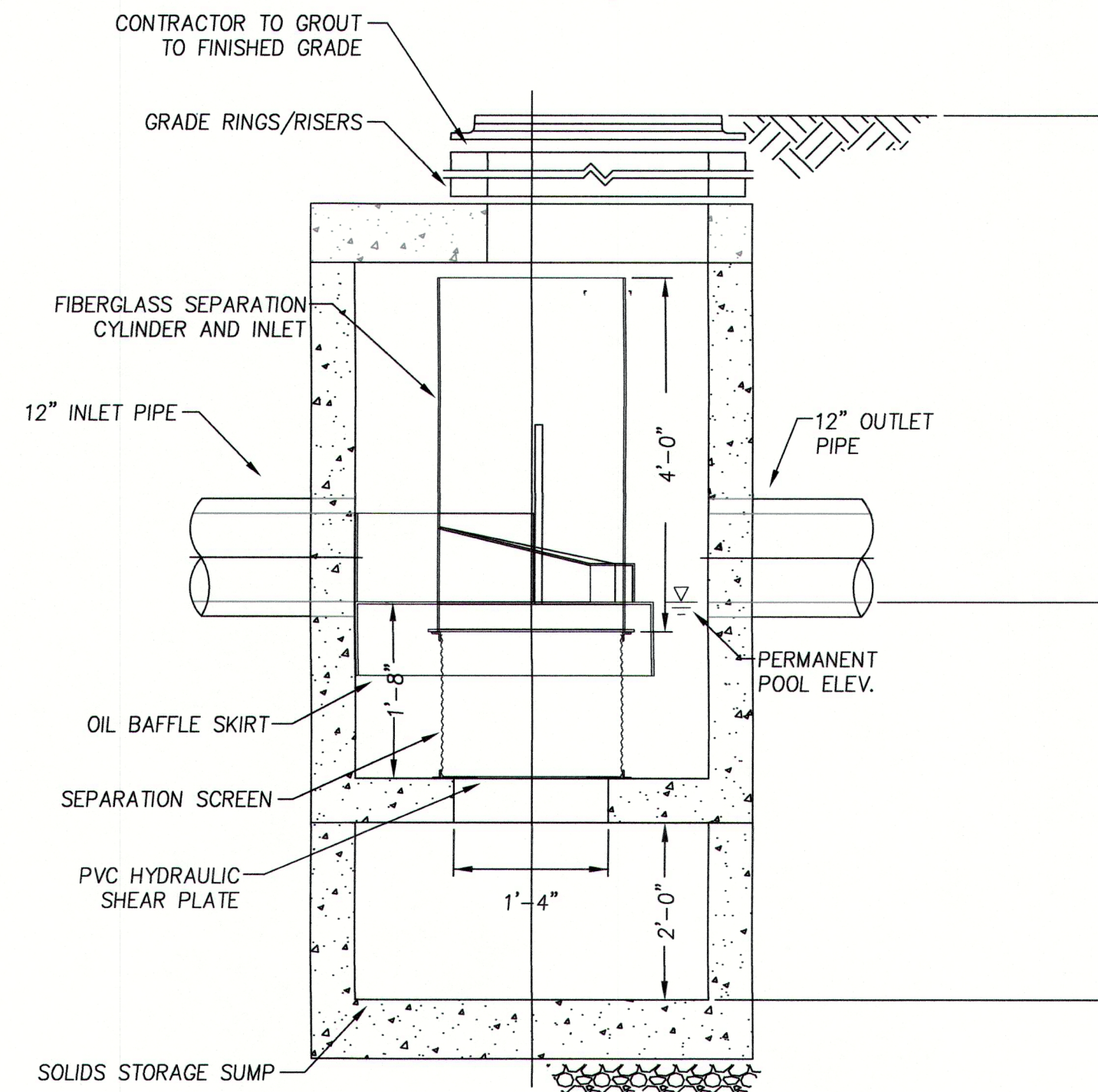
**GUTTER DOWN
SPOUT DETAIL**

N.T.S.



PLAN VIEW B-B

N.T.S.

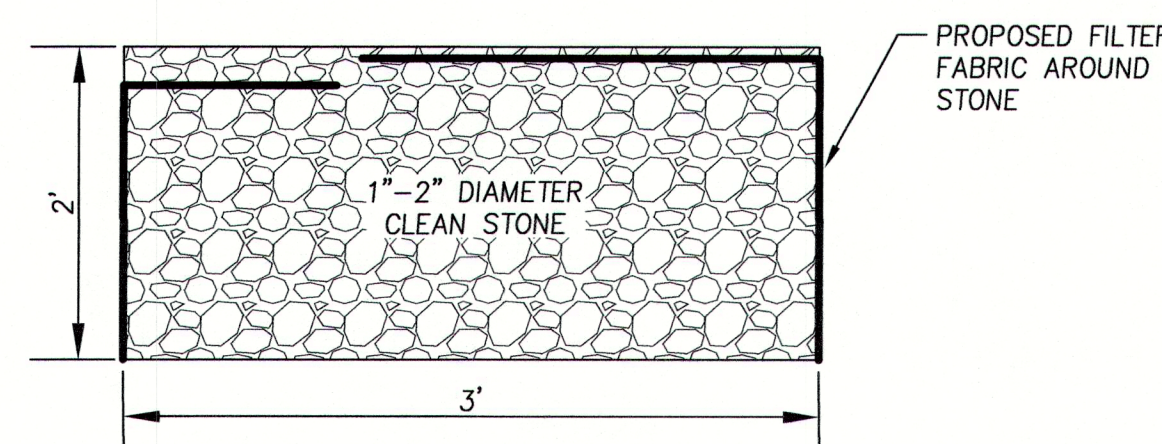


ELEVATION A-A

N.T.S.

**CDS1515-3-C
DETAIL**

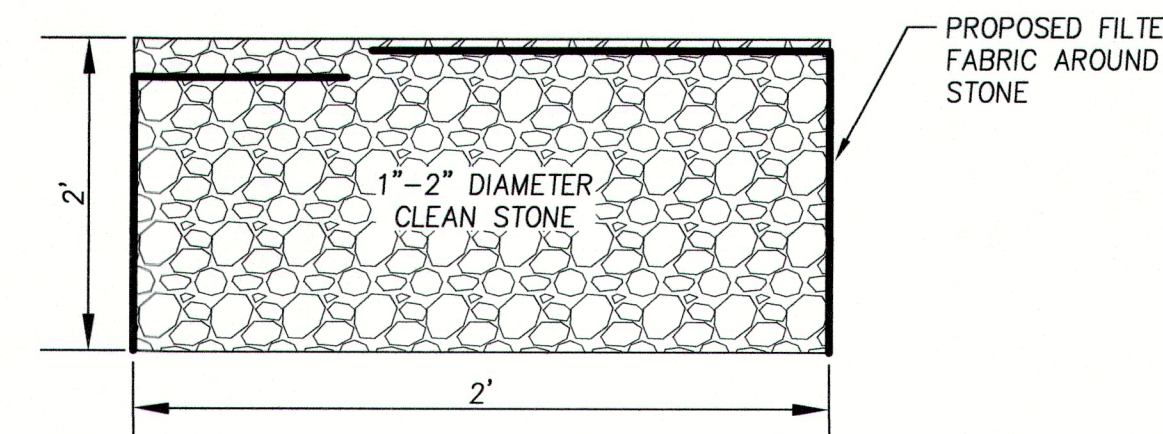
N.T.S.



NOTE: PRIOR TO FILL MATERIAL INSTALLATION, ALL TOPSOIL, SUBSOIL, AND UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH COARSE SAND TO BOTTOM OF TRENCH.

**STONE TRENCH
DETAIL (DUPLEX)**

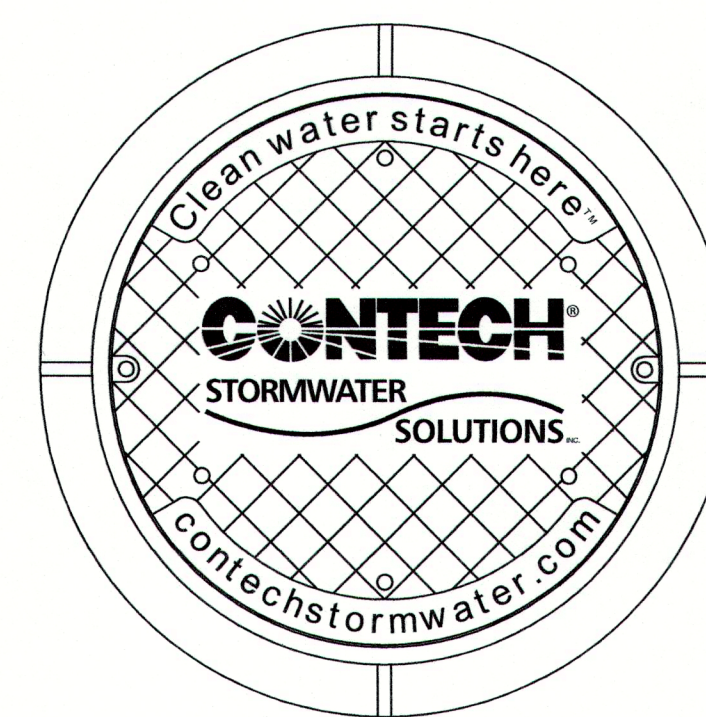
N.T.S.



NOTE: PRIOR TO FILL MATERIAL INSTALLATION, ALL TOPSOIL, SUBSOIL, AND UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH COARSE SAND TO BOTTOM OF TRENCH.

**STONE TRENCH
DETAIL (SINGLE-FAMILY)**

N.T.S.



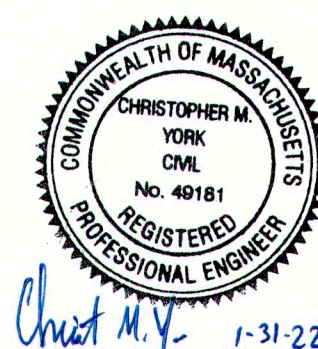
FRAME AND COVER
(DIAMETER VARIES)
N.T.S.

GENERAL NOTES

1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
3. FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH CONSTRUCTION PRODUCTS REPRESENTATIVE. www.contech-cpi.com
4. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
5. STRUCTURE SHALL MEET AASHTO HS20 AND CASTINGS SHALL MEET AASHTO M306 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
6. PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

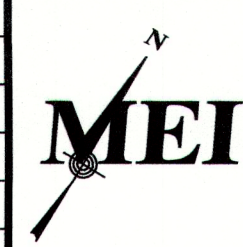
INSTALLATION NOTES

1. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
2. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
3. CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
4. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
5. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



PREPARED FOR
TOM PATENAUE
P.O. BOX 5
NORTH ANDOVER, MA 01845

NO.	DATE	DESCRIPTION	BY
5	1/31/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
4	1/3/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
3	8/5/21	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
2	7/22/21	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
1	6/23/21	ADDRESS PLANNING COMMENTS	C.M.Y.



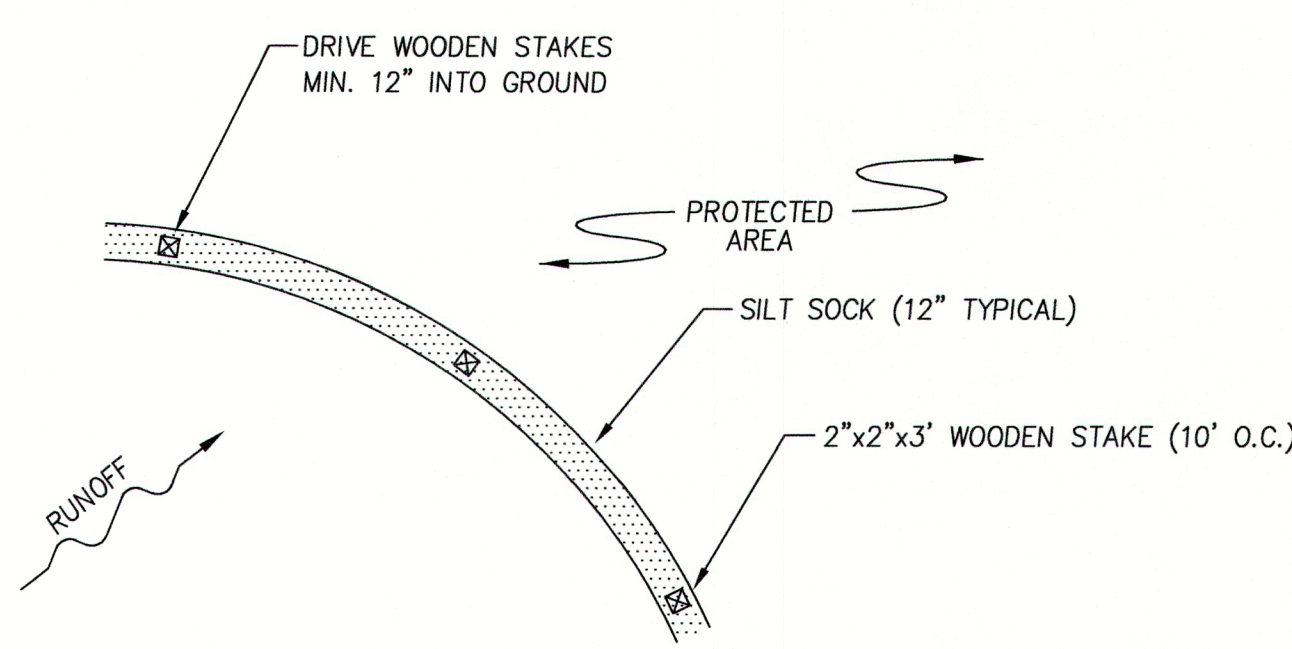
MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=20'	DESIG. BY: C.M.Y.	PROJECT: M203759
DATE: JUN. 3, 2021	CHKD. BY: E.W.B.	

SITE PLAN
IN
SALISBURY, MA
SHOWING
PROPOSED SITE DEVELOPMENT
AT
207 BEACH ROAD

**DRAINAGE
DETAILS**

SHEET: C-7

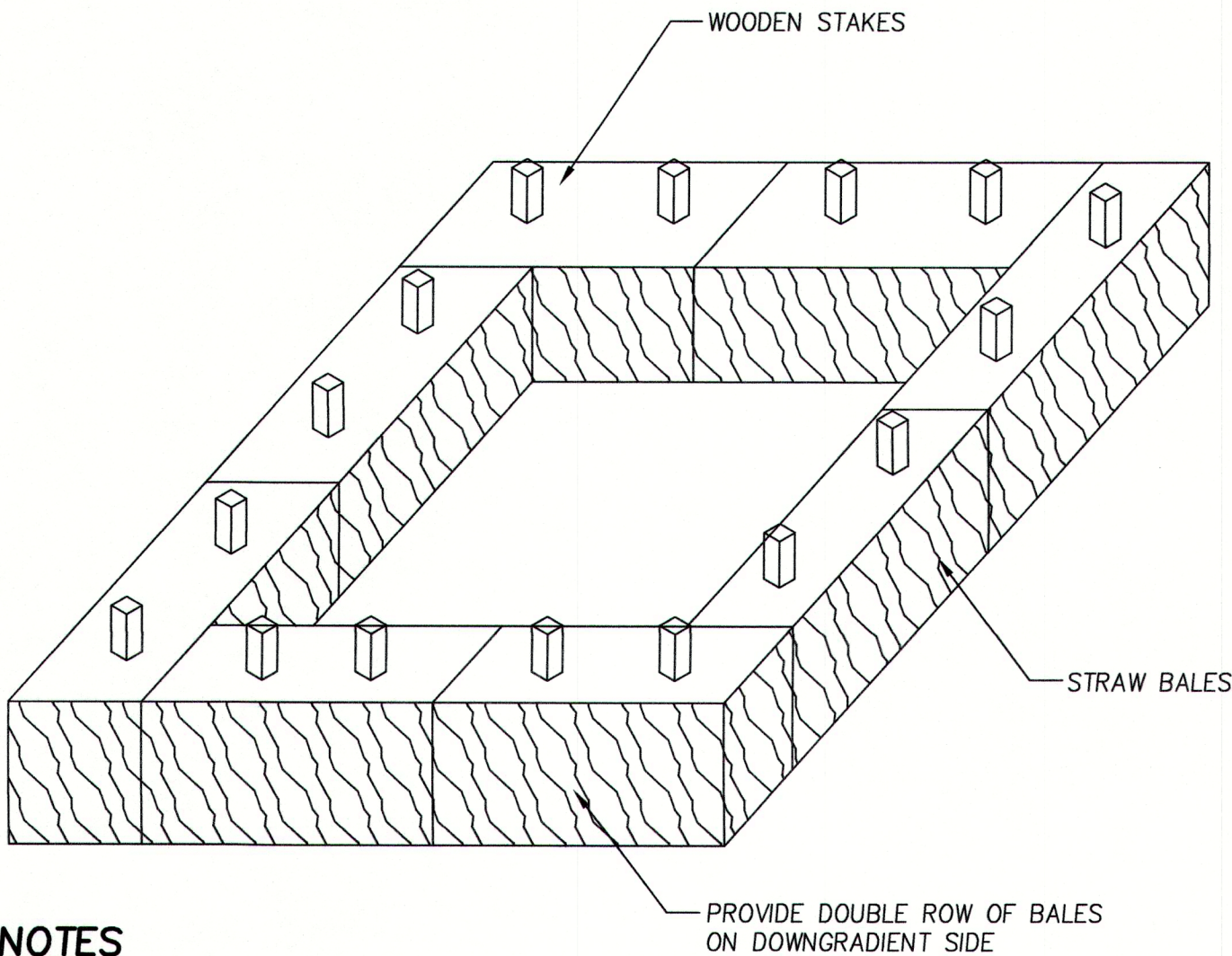


NOTES

1. ALL MATERIAL SHALL MEET SPECIFICATIONS BY FILTREXX OR APPROVED EQUAL.
2. SILT SOCK SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
3. THE CONTRACTOR SHALL REMOVE SEDIMENT AT THE BASE OF THE UPSLOPE SIDE OF THE SILT SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE SILT SOCK.
4. SILT SOCK SHALL BE MAINTAINED UNTIL DISTURBED AREA ABOVE THE DEVICE HAS BEEN PERMANENTLY STABILIZED AND CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
5. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE SOCK HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

SILT SOCK
INSTALLATION

N.T.S.

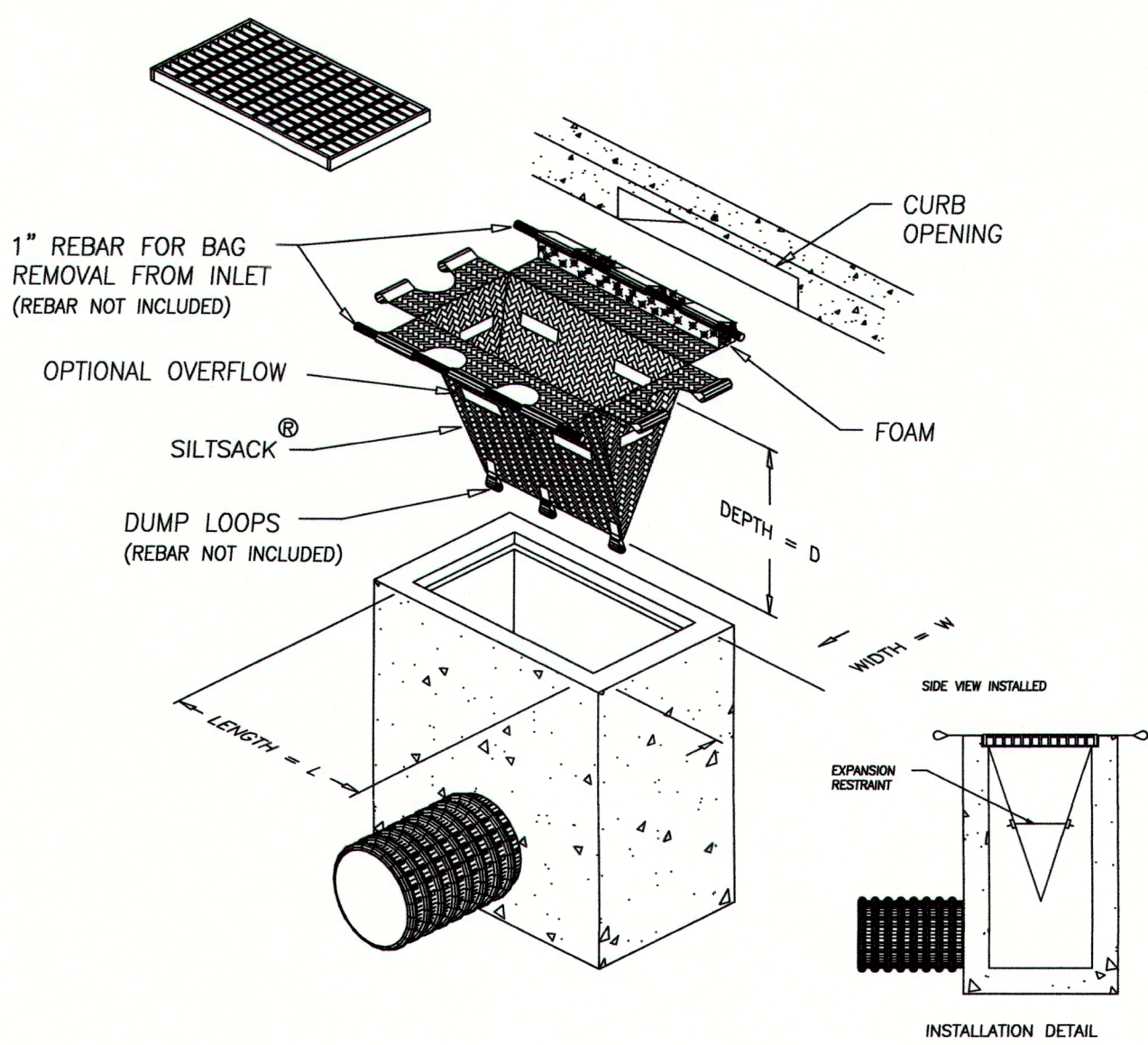


NOTES

1. DURING THE ACTIVE DEWATERING PROCESS, THE STRUCTURE SHALL BE INSPECTED FREQUENTLY (E.G. ONCE PER HOUR).
2. SEDIMENT BUILDUP SHOULD BE REMOVED PERIODICALLY TO ENSURE THAT THE STRUCTURE'S ABILITY TO EFFECTIVELY FILTER SEDIMENT IS MAINTAINED.

TYPICAL DEWATERING
DETAIL

N.T.S.

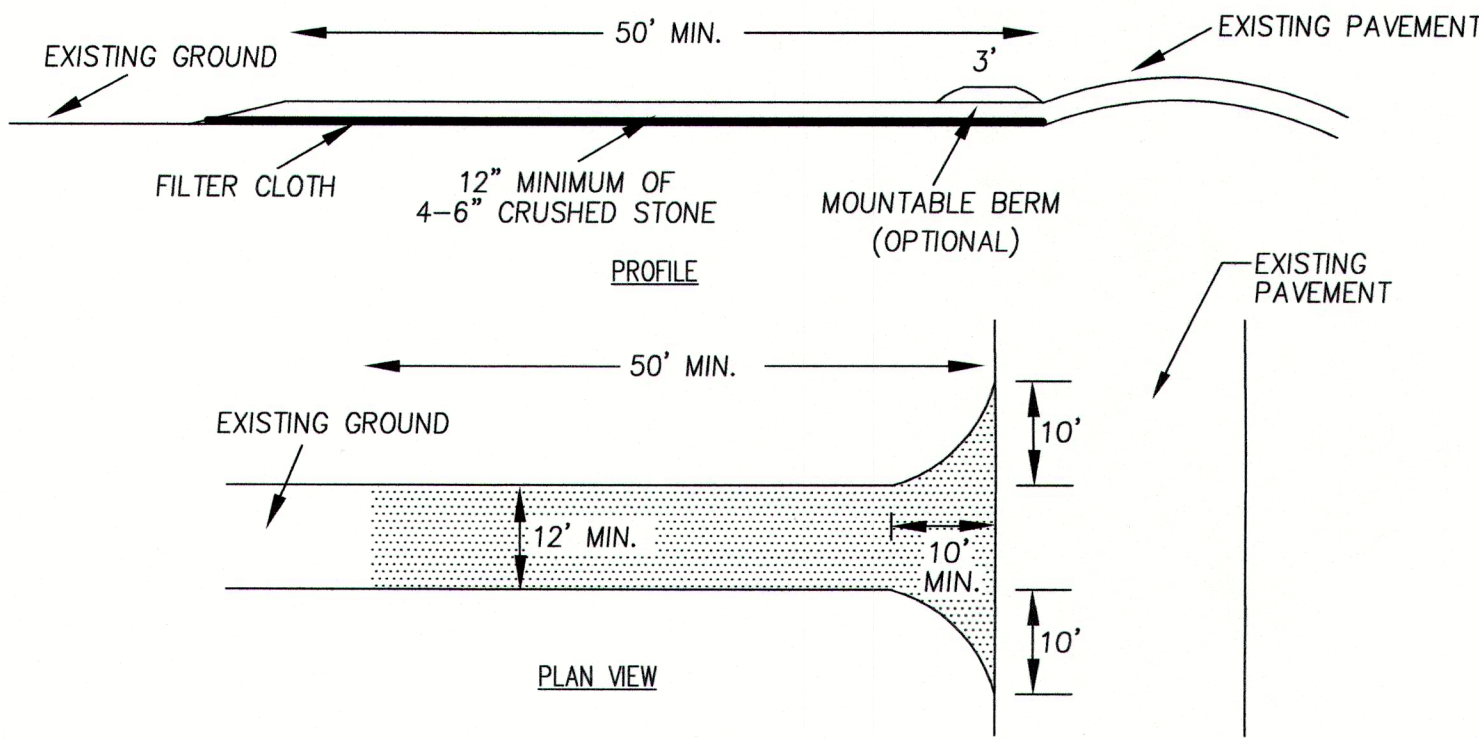


NOTES

1. TO INSTALL SILTSACK IN THE CATCH BASIN, REMOVE THE GRATE AND PLACE THE SACK IN THE OPENING. HOLD APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME. THIS IS THE AREA OF THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
2. WHEN THE RESTRAINT CORD IS NO LONGER VISIBLE, SILTSACK IS FULL AND SHOULD BE EMPTIED.
3. TO REMOVE SILTSACK, TAKE TWO PIECES OF 1" DIAMETER REBAR AND PLACE THROUGH THE LIFTING LOOPS ON EACH SIDE OF THE SACK TO FACILITATE THE LIFTING OF SILTSACK.
4. TO EMPTY SILTSACK, PLACE UNIT WHERE THE CONTENTS WILL BE COLLECTED. PLACE THE REBAR THROUGH THE LIFT STRAPS (CONNECTED TO THE BOTTOM OF THE SACK) AND LIFT. THIS WILL LIFT SILTSACK FROM THE BOTTOM AND EMPTY THE CONTENTS. CLEAN OUT AND RINSE. RETURN SILTSACK TO ITS ORIGINAL SHAPE AND PLACE BACK IN THE BASIN.
5. SILTSACK IS REUSABLE. ONCE THE CONSTRUCTION CYCLE IS COMPLETE, REMOVE SILTSACK FROM THE BASIN AND CLEAN. SILTSACK SHOULD BE STORED OUT OF SUNLIGHT UNTIL NEXT USE.

SILT SACK
DETAIL

N.T.S.

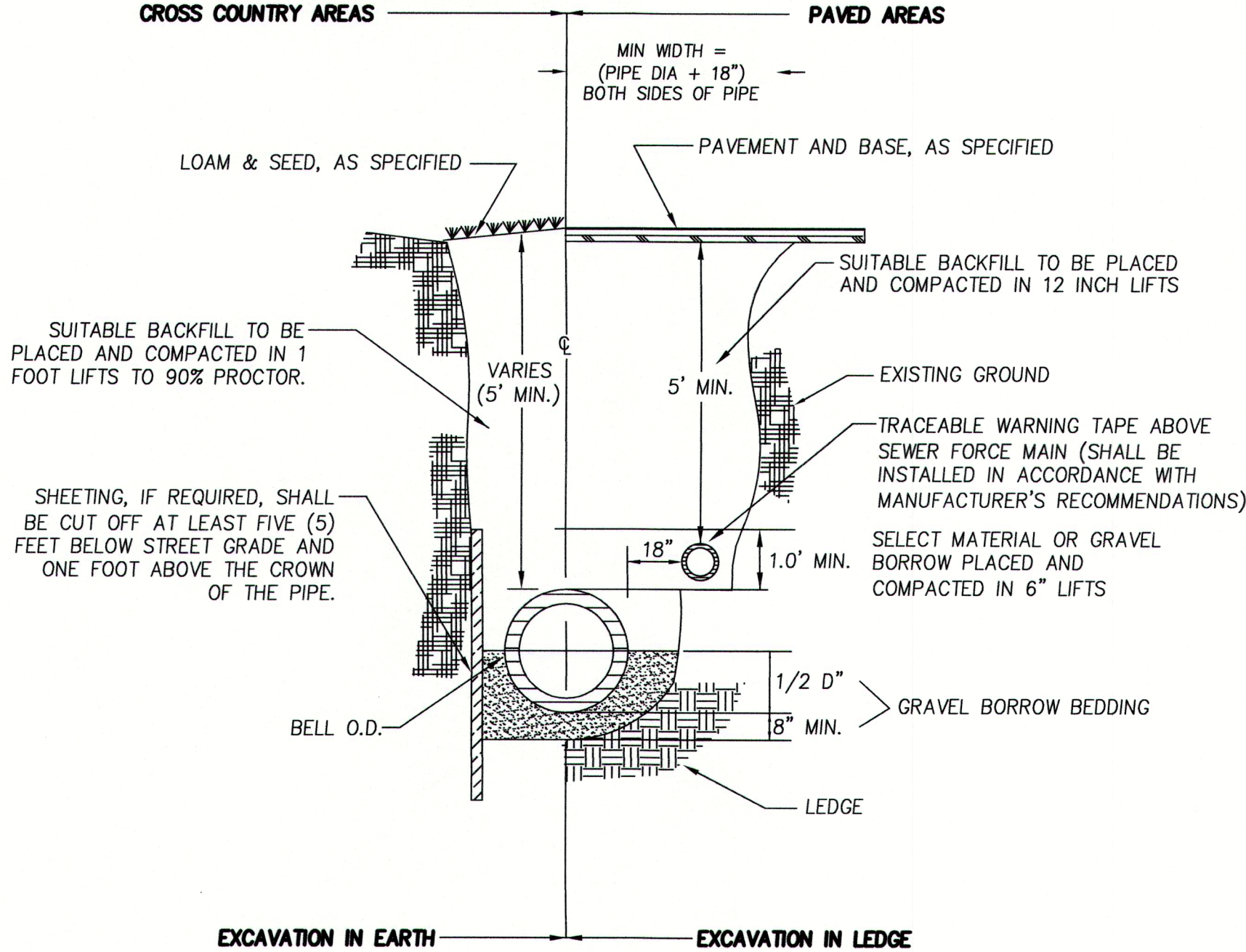


NOTES

1. STONE SHALL BE 4-6" CRUSHED STONE OR RECLAIMED STONE.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50'.
3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 12".
4. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
5. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP-DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED PROMPTLY.
7. WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

STABILIZED CONSTRUCTION
ENTRANCE

N.T.S.



TYPICAL TRENCH
DETAIL

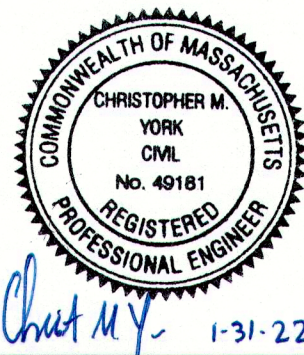
N.T.S.

GENERAL EROSION
CONTROL NOTES

1. ALL EROSION CONTROL SHALL BE INSTALLED BEFORE THE START OF CONSTRUCTION. EROSION CONTROL SHALL BE REMOVED UPON COMPLETION OF THE PROJECT AND STABILIZATION OF ALL SOIL.
2. ALL FILL SHALL BE FREE OF STUMPS AND LARGE STONES.
3. ANY STANDING BODIES OF WATER CREATED DURING EXCAVATION SHALL BE ELIMINATED.
4. ACCUMULATED SEDIMENT DEPOSITS UPSTREAM OF BARRIERS SHALL BE PROPERLY DISPOSED OF ON A REGULAR BASIS.
5. AREAS OUTSIDE THE LIMITS OF WORK (EROSION CONTROL/SILT FENCE LOCATIONS) DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE EXPENSE OF THE CONTRACTOR.
6. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EROSION AND/OR SEDIMENT CONTROLS DURING CONSTRUCTION. HE/SHE SHALL INSPECT CONTROLS WEEKLY AND AFTER EVERY 0.5" OF RAINFALL. REPAIRS, IF REQUIRED, SHALL BE MADE IMMEDIATELY.
7. TEMPORARY GROUND COVER SHALL BE ESTABLISHED IN AREAS OF CONSTRUCTION WHERE REQUIRED BY THE SALISBURY CONSERVATION COMMISSION.
8. ANY DISTURBED AREAS OF THE SITE NOT USED FOR ROADWAY OR UTILITY CONSTRUCTION SHALL BE STABILIZED WITH LOAM AND SEED UNTIL FURTHER DISTURBANCE IS REQUIRED FOR BUILDING CONSTRUCTION.
9. PROVIDE SILT SACK OR APPROVED EQUAL AT ALL CATCH BASINS.
10. A MINIMUM OF 6" OF LOAM SHALL BE INSTALLED ON ALL DISTURBED UNPAVED SURFACES.
11. PERMANENT SEED MIX SHALL BE MA STATE SLOPE MIXTURE (50% CREEPING RED FESCUE, 30% KENTUCKY 31 TALL FESCUE, 10% ANNUAL RYEGRASS, 5% RED TOP, 5% LADINO CLOVER) AND MA STATE PLOT MIXTURE (50% CREEPING RED FESCUE, 25% 85/80 KENTUCKY BLUEGRASS, 10% ANNUAL RYEGRASS, 10% RED TOP, 5% LADINO CLOVER)
12. NO MORE THAN 3 ACRES SHALL BE DISTURBED AT ONE TIME. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
13. WHERE PLACEMENT OF FILL IS REQUIRED FOR STORM WATER CONTROL, FILL SHALL BE PLACED IN AN UNFROZEN STATE UPON UNFROZEN GROUND. UNDER NO CIRCUMSTANCES SHALL FILL BE PLACED FROM NOVEMBER THROUGH JANUARY.
14. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED: BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED; A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED; A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
15. ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCT. 15TH, OR WHICH ARE DISTURBED AFTER OCT. 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
16. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCT. 15TH, OR WHICH ARE DISTURBED AFTER OCT. 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

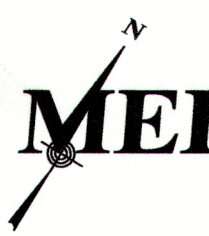
CONSTRUCTION
SEQUENCE

1. INSTALL EROSION CONTROL AT LIMIT OF WORK.
2. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AS DEPICTED.
3. CLEAR AND GRUB DEBRIS TO PHASE LINE AND DISPOSE OF PROPERLY.
4. STRIP, SCREEN AND STOCKPILE TOPSOIL. TOPSOIL CAN BE TEMPORARILY STOCKPILED ON SITE PROVIDING THAT THE PERIMETER OF THE STOCKPILES ARE PROPERLY STAKED WITH SILT FENCE AT THE TOE OF SLOPE.
5. GRADE PAVEMENT TO TOP OF SUBGRADE ELEVATIONS. ALL ROADWAYS MUST BE STABILIZED IMMEDIATELY AFTER GRADING.
6. BEGIN BUILDING CONSTRUCTION.
7. INSTALL UTILITIES/DRAINAGE STRUCTURES.
8. LOAM AND HYDROSEED SIDESLOPES AND ALL DISTURBED AREAS WITHIN 72 HOURS.
9. SPREAD, SHAPE, AND COMPACT PAVEMENT SUBBASE AS PER TYPICAL PAVEMENT SECTION TO ATTAIN FINAL DESIGN ELEVATIONS.
10. PERFORM BINDER COURSE PAVING.
11. LOAM AND HYDROSEED ANY DISTURBED SURFACES ALONG EDGES OF PAVEMENT AS REQUIRED.
12. PERFORM FINAL PAVING (TOP COURSE).
13. REMOVE EROSION CONTROL.



PREPARED FOR
TOM PATENAUDE
P.O. BOX 5
NORTH ANDOVER, MA 01845

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3	8/5/21	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
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1	6/23/21	ADDRESS PLANNING COMMENTS	C.M.Y.



MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=20'

DESIG. BY: C.M.Y.

DATE: JUN. 3, 2021

CHKD. BY: E.W.B.




PROJECT: M203759

SITE PLAN
IN
SALISBURY, MA

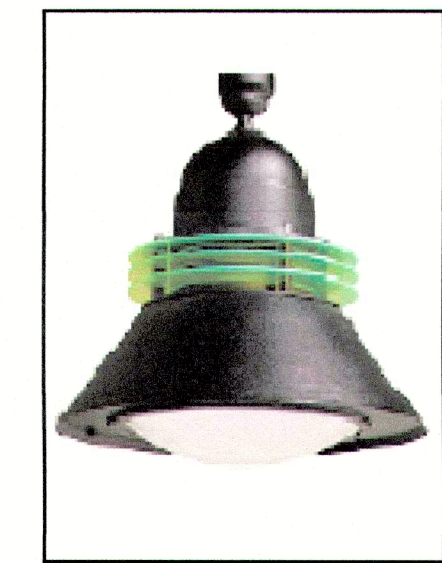
SHOWING
PROPOSED SITE DEVELOPMENT
AT
207 BEACH ROAD

**EROSION
CONTROL
DETAILS**

SHEET: C-8

Schedule									
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens per Lamp	LLF
	S3	4	Sternberg Lighting	1A 1970LED S 4ARC45T3 MDL03 FG	1970 Gallery fixture, Flat Glass (AR), Type 3; mounted at 14ft	LED	1970LED-4ARC45T3-MDL03-FG.IES	6548	0.9
	W1	14	Sternberg Lighting	S540-XRLED-9L45T5-MDL07-CSA	Seville Series 4 sided decorative lantern, Clear Seeded Acrylic, Type 5; mounted at 6ft	LED	S540-XRLED-9L45T5-MDL07-CSA.IES	2156	0.66
	W2	8	Sternberg Lighting	S540-XRLED-9L45T5-MDL07-CSA	Seville Series 4 sided decorative lantern, Clear Seeded Acrylic, Type 5; mounted at 16ft	LED	S540-XRLED-9L45T5-MDL07-CSA.IES	2156	0.66

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Outside of Roadway	+	0.2 fc	3.7 fc	0.0 fc	N/A	N/A
Roadway	+	1.3 fc	3.0 fc	0.3 fc	10.0:1	4.3:1



1970LED GALLERY SERIES

LED

EPA .93 (R*)
WEIGHT 38 LBS

7 YEAR WARRANTY

LUMEN RANGE 5,075 to 16,420

LIFE SPAN L70 MINIMUM 100,000 HOURS

UL LISTED

CLICK FOR FAQ's



RATED IP65

JOB NAME

FIXTURE TYPE

MEMO



S540-XRLED SEVILLE SERIES

LED

EPA 1.05 (R*)
WEIGHT 24 LBS

5 YEAR WARRANTY

LUMEN RANGE 1,345 to 5,680

LIFE SPAN L70 MINIMUM 50,000 HOURS

UL LISTED

CLICK FOR FAQ's

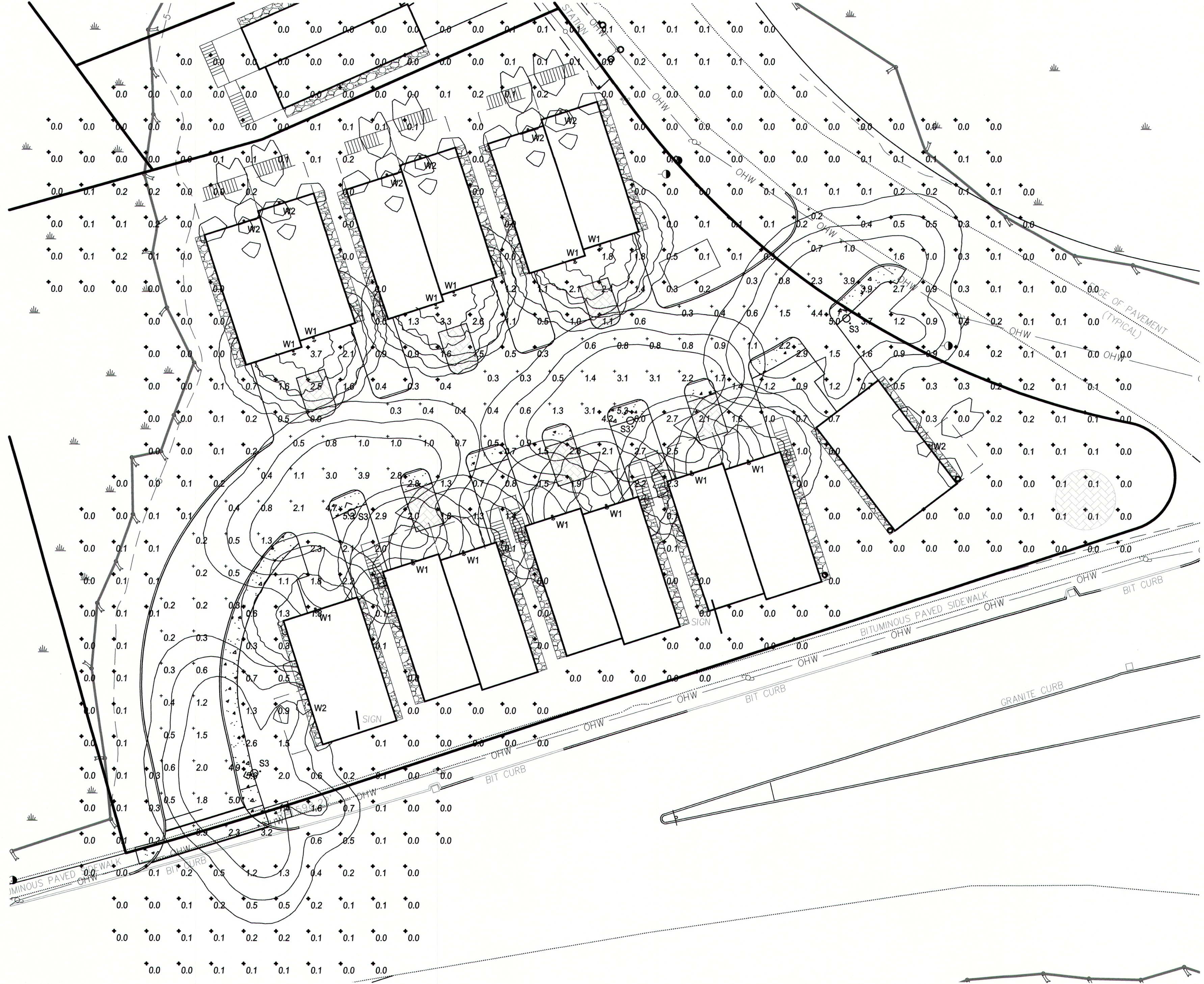
JOB NAME

FIXTURE TYPE

MEMO

BUILD A PART NUMBER												
ORDERING EXAMPLE: 2A-1970LED-S-GR-4ARC45T5-MDL03-SV1-R7-PE-HSHN/CA6/5218P5/UBKT												
Mounting Config.	Fixture	Shade Edge	Top Feature	LED	CCT	Type	Driver	Lens	Optional Control Receptacle	Optional Control	Option Fuse	Option Hang-straight

BUILD A PART NUMBER												
ORDERING EXAMPLE: 2A-S540-XRLED-9L45T5-MDL07-CSA-FHD/491PM/I610TFP5/BKT												
Mounting Config.	Fixture	LED	CCT	Type	Driver	Lens	Option Fuse	Option Chimney	Option House Side Shield	Arm See Arm Spec Sheets	Pole See Pole Spec Sheets	Finish



PLAN BOOK 218 PLAN 91

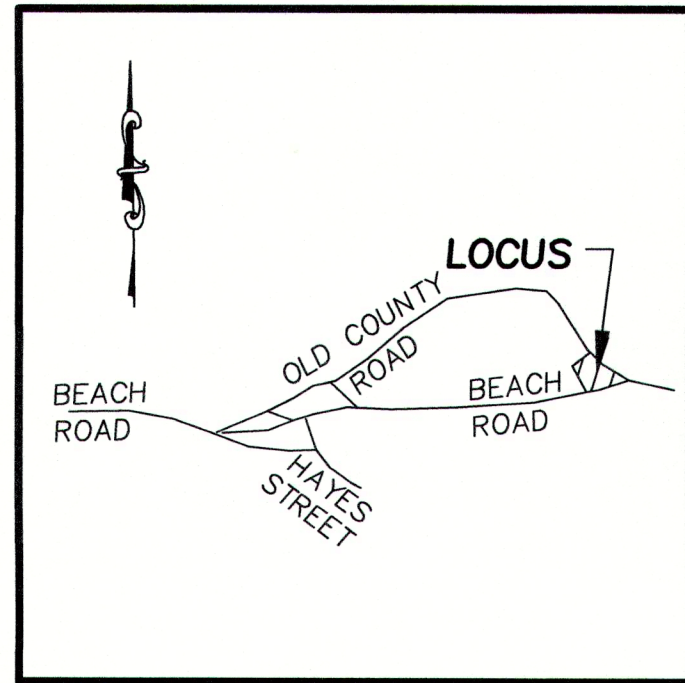


Site Lighting Layout
At
207 BEACH ROAD

Designer
Heidi G. Connors
Visible Light, Inc.
24 Stickney Terrace
Suite 6
Hampton, NH 03842
Date
1/31/2022
Scale
1"=20'
Drawing No.

Summary

E-1



LOCUS MAP
N.T.S.

LEGEND

110

EXIST. CONTOUR

111

PROP. CONTOUR

PROP. TREELINE

PROP. RETAINING WALL

SF

PROP. SILT FENCE

RD

PROP. PERFORATED ROOF DRAIN

PROP. GUTTER INLET

EXIST. CATCH BASIN

PROP. SPOT GRADE

EXIST. UTILITY POLE

PROP. OUTLET STRUCTURE

WETLANDS

EXIST. TEST PIT

GRAPHIC SCALE

(IN FEET)
1 inch = 20'

PREPARED FOR
TOM PATENAUDE
P.O. BOX 5
NORTH ANDOVER, MA 01845

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SCALE: 1"=20'

DATE: JUN. 3, 2021

DESIGNER: C.M.Y.

CHECKED: E.W.B.

PROJECT: M203759

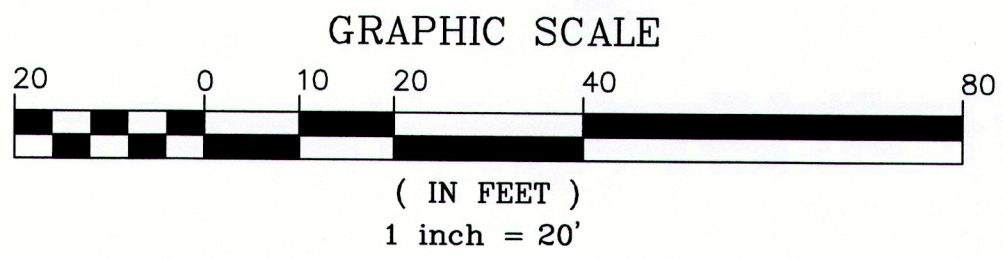
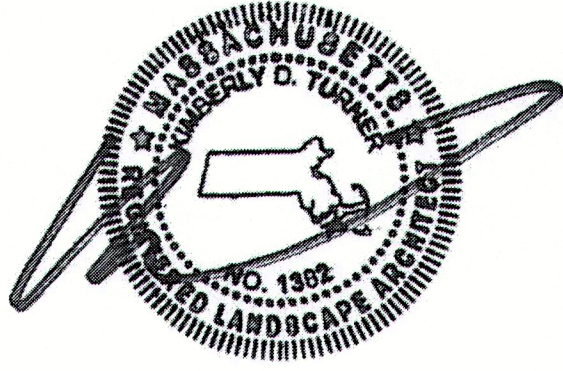
SITE PLAN
IN
SALISBURY, MA
SHOWING
PROPOSED SITE DEVELOPMENT
AT
207 BEACH ROAD

FIRE TRUCK TEMPLATE
SHEET: F-1

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Notes:
1. Planting period shall be noted as March 15-May 15 and Sept 15-Nov 15, weather permitting.
2. Owner is responsible for maintaining live vegetation and the maintenance, removal, and replacement of all dead trees, shrubs, groundcover, and perennials.

Plant List				
Qty.	Scientific Name	Common Name	Size	Notes
Trees				
11	Amelanchier canadensis	Serviceberry	2-2.5" cal.	
5	Cornus x 'Rutban'	Dogwood	2-2.5" cal.	
6	Liquidambar styraciflua	Sweetgum	2.5-3" cal.	
Shrubs				
16	Clethra alnifolia	Summersweet	5 gal.	
8	Ilex glabra	Inkberry	5 gal.	
8	Ilex verticillata	Winterberry	5 gal.	
9	Viburnum opulus	Cranberrybush Viburnum	5 gal.	
Perennials				
22	Asclepias tuberosa	Butterfly Weed	1 gal.	
22	Iris versicolor	Flag Iris	1 gal.	
22	Nepeta 'Walker's Low'	Catmint	1 gal.	



PREPARED FOR

TOM PATENAUE
P.O. BOX 5
NORTH ANDOVER, MA 01845

NO.	DATE	DESCRIPTION	BY
5	8/20/21	FOR REVIEW	KT
4	8/3/21	FOR REVIEW	KT
3	7/17/21	FOR REVIEW	KT
2	6/22/21	FOR REVIEW	KT
1	5/25/21	FOR REVIEW	KT

KDTurner Design
landscape architecture
27 High St.
Newburyport, MA 01950
ph) 781.632.6004

SCALE: 1"=20'
DATE: MAY 20, 2021

LANDSCAPE PLAN
IN
SALISBURY, MA
SHOWING
PROPOSED SITE DEVELOPMENT
AT
OLD COUNTY ROAD AND BEACH ROAD

L-1

