

LOCUS MAP
N.T.S.

14-UNIT RESIDENTIAL DEVELOPMENT (LOTS 249-258) AND 2 DUPLEX LOTS (LOTS 259 & 260)

AT
207 BEACH ROAD
IN
SALISBURY, MA

JANUARY 2022

OWNER OF RECORD

28
10

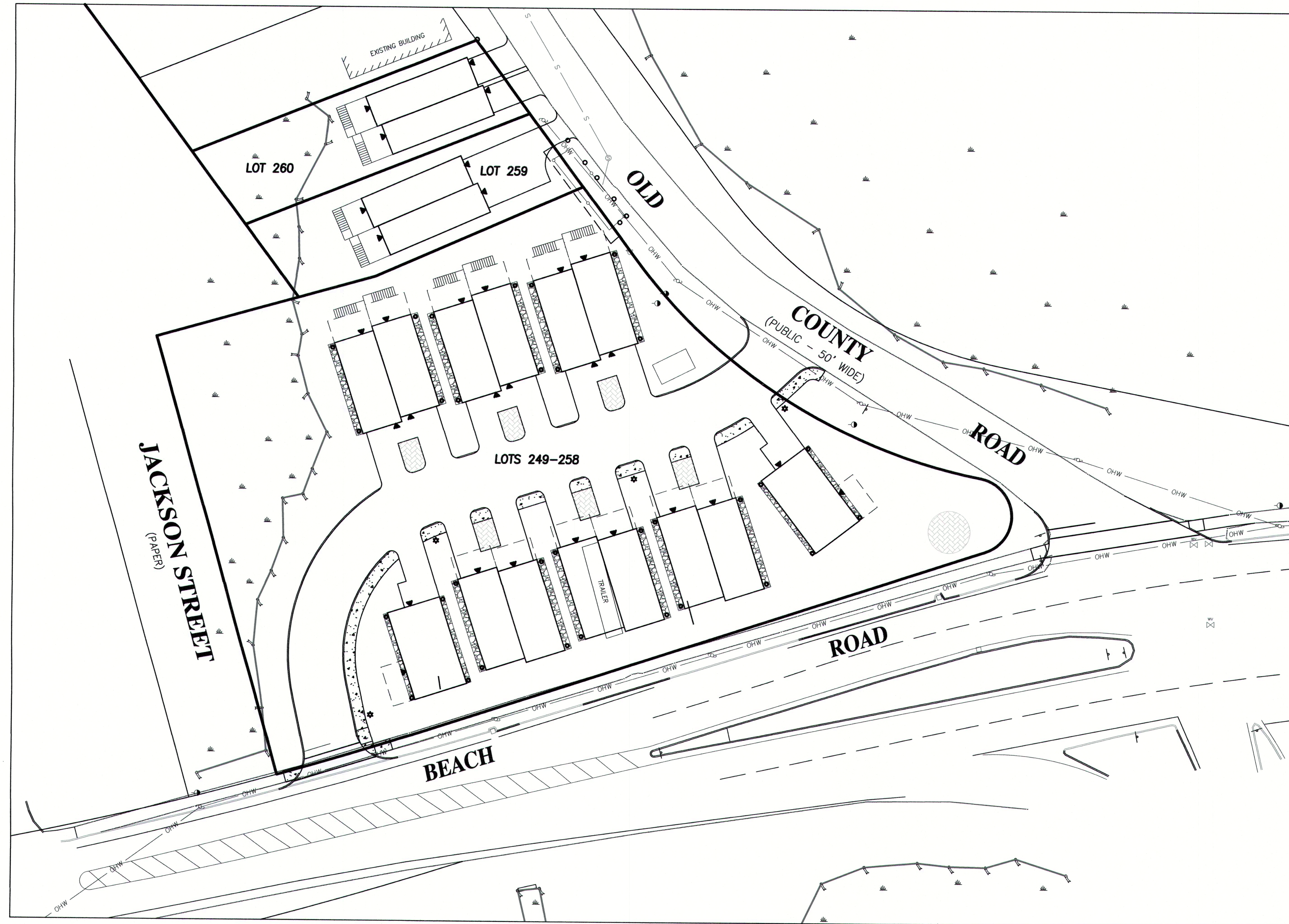
IDA P. & EDWARD FOOTE, JR.
123 CENTRAL AVENUE
SALISBURY, MA
BOOK 10016 PAGE 248

TOTAL AREA
53,071 S.F.
1.22 ACRES

UPLAND AREA
46,920 S.F.±
1.08 ACRES±
(88.4% OF LOT)

PLAN INDEX

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C-1	COVER SHEET
C-2	EXISTING CONDITIONS PLAN
C-3	LEGEND/NOTES
C-4	GRADING PLANS
C-5	UTILITY PLAN & PROFILE
C-6	UTILITY DETAILS
C-7	DRAINAGE DETAILS
C-8	EROSION CONTROL DETAILS
E-1	LIGHTING PLAN
F-1	FIRE TRUCK TEMPLATE
L-1	LANDSCAPE PLAN



ZONING TABLE

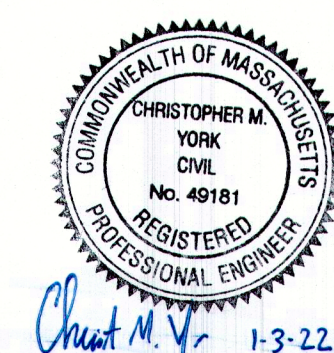
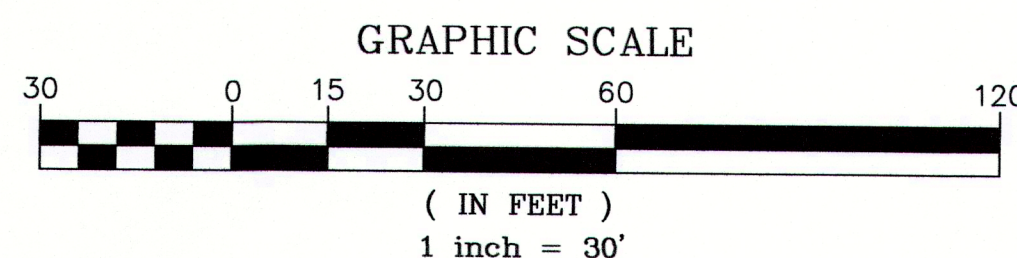
207 BEACH ROAD - ASSESSORS MAP 28 LOT 10
ZONING DISTRICT BC-RES

	REQUIRED	EXISTING	PROPOSED
LOT AREA:	-	1.22 ACRES	1.22 ACRES
LOT FRONTAGE:	-	327.96 FEET	327.96 FEET
FRONT SETBACK:	5 FEET	-	14.3 FT
SIDE SETBACK:	**	-	7.6 FT
REAR SETBACK:	**	-	20.9 FT
LOT COVERAGE:	90% MAX	0%	20.7%
BLDG HEIGHT:	35 FEET	-	< 35 FEET
PARKING SPACES:	2 PER UNIT	-	3 PER UNIT

** THE SETBACK REQUIREMENTS SHALL BE BASED ON 10'-0" FOR
NON-FIRE-RATED STRUCTURES AND 5'-0" FOR FIRE-RESISTANT STRUCTURES.
LOT COVERAGE CALCULATIONS: 10,992 S.F. BUILDINGS/53,071 S.F. LOT=20.7%

NOTES

1. THE PROPERTY IS LOCATED WITHIN THE TOWN OF SALISBURY FLOOD PLAIN DISTRICT.
2. THE PROPERTY LIES WITHIN THE 100-YEAR FLOOD PLAIN (ZONE AE, ELEV. 9) ACCORDING TO F.I.R.M. COMMUNITY PANEL NUMBER 25009C 0129F.

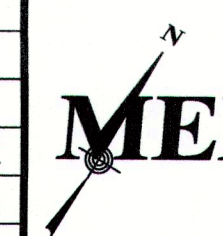


PREPARED FOR

TOM PATENAUE

P.O. BOX 5
NORTH ANDOVER, MA 01845

NO.	DATE	DESCRIPTION	BY
4	1/3/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
3	8/5/21	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
2	7/22/21	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
1	6/23/21	ADDRESS PLANNING COMMENTS	C.M.Y.



MILLENNIUM ENGINEERING, INC.

ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=30'

DESG. BY: C.M.Y.

DATE: JUN. 3, 2021

CHKD. BY: E.W.B.

PROJECT: M203759

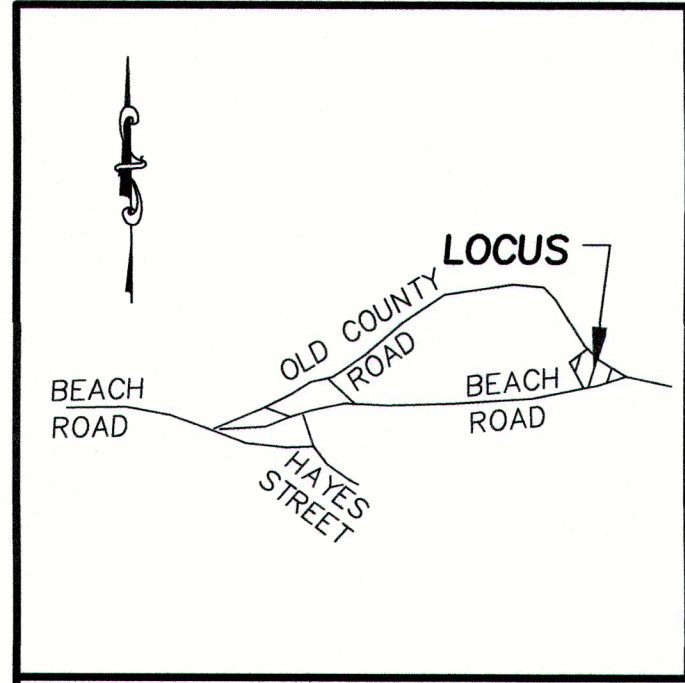
SITE PLAN

IN
SALISBURY, MA

SHOWING
PROPOSED SITE DEVELOPMENT
AT
207 BEACH ROAD

COVER SHEET

SHEET: C-1



LOCUS MAP
N.T.S.

WETLAND DELINEATED BY:
WEST ENVIRONMENTAL
(DELINEATED: SEPTEMBER 2020)

ZONING DISTRICT — BEACH COMMERCIAL

BASIS OF BEARINGS

L.C.C. 6250A

OWNER OF RECORD

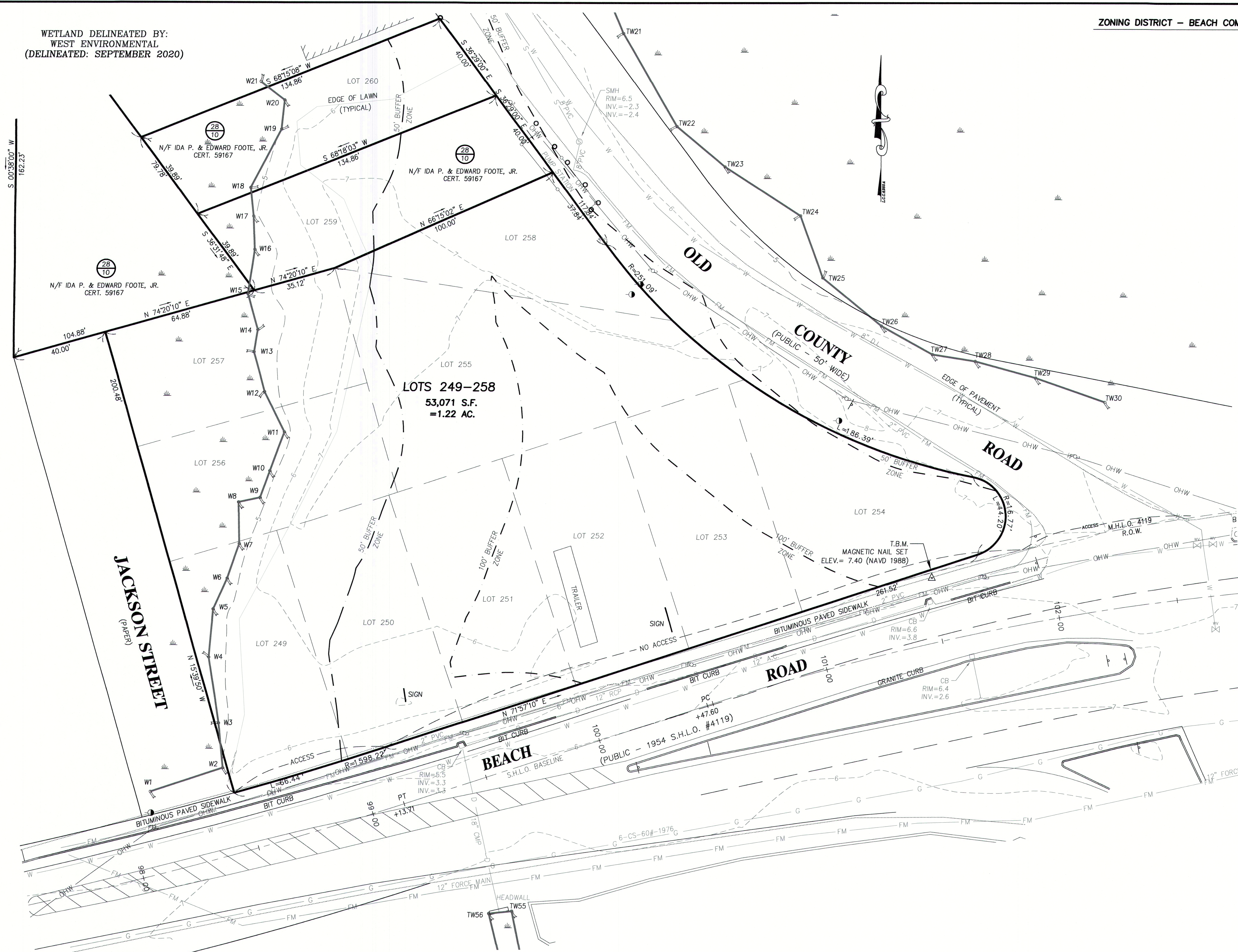
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123 CENTRAL AVENUE—SALISBURY, MA
BOOK 10016 PAGE 248

PLAN REFERENCES

L.C.C. 6250A

LEGEND

- C.B. CONCRETE BOUND
- S.B. STONE BOUND
- D.H. DRILL HOLE
- PK MASONRY NAIL
- I.P. IRON PIPE
- I ROD IRON ROD
- FND. FOUND
- N/F NOW OR FORMERLY
- 7 EXISTING ELEVATION CONTOUR
- GUY GUY
- UPOLE UTILITY POLE
- D DRAINAGE
- W WATER
- S SEWER
- FM FORCE MAIN
- G GAS
- OHW OVERHEAD WIRE
- CB CATCH BASIN
- DMH DRAIN MANHOLE
- SMH SEWER MANHOLE
- HYDRANT HYDRANT
- GAS VALVE GAS VALVE
- GAS SHUT OFF GAS SHUT OFF
- WATER SHUT OFF WATER SHUT OFF
- WATER VALVE WATER VALVE
- W1 WETFLAG & DELINEATION
- BIT. BITUMINOUS
- SIGN SIGN
- ASSESSORS MAP# PARCEL#



NOTES:

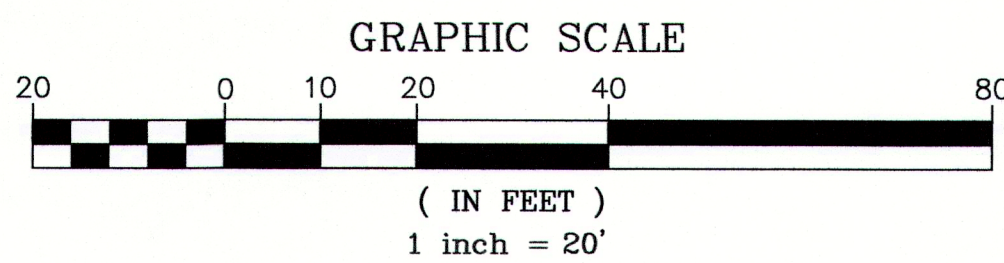
THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.

RECORD UTILITY INFORMATION HAS BEEN OBTAINED FOR LOCUS. VISIBLE SURFACE STRUCTURES HAVE BEEN LOCATED AND ARE SHOWN HEREON AND SUBSURFACE UTILITY LINES ARE SHOWN.

THE CERTIFICATIONS SHOWN HEREON ARE NOT INTENDED AS CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN OF SALISBURY ASSESSORS RECORDS.

I CERTIFY:
THAT THIS ACTUAL SURVEY WAS MADE ON THE GROUND BETWEEN JUNE 19 AND JULY 13, 2020, AND THAT THE STRUCTURES AND PHYSICAL FEATURES ARE LOCATED AS SHOWN TO THE BEST OF MY ABILITY AND BELIEF.

JEFFREY S. HOFMANN
PROFESSIONAL LAND SURVEYOR
DATE 4/22



PREPARED FOR
TOM PATENAUDE
P.O. BOX 5
NORTH ANDOVER, MA 01845

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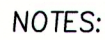
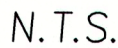
MEI **MILLENNIUM ENGINEERING, INC.**
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=20'	CALC. BY: S.F.R.	PROJECT: M203759
DATE: JUN. 3, 2021	CHKD. BY: J.S.H.	

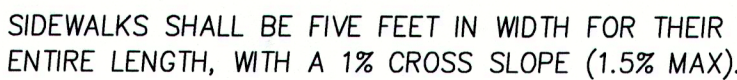
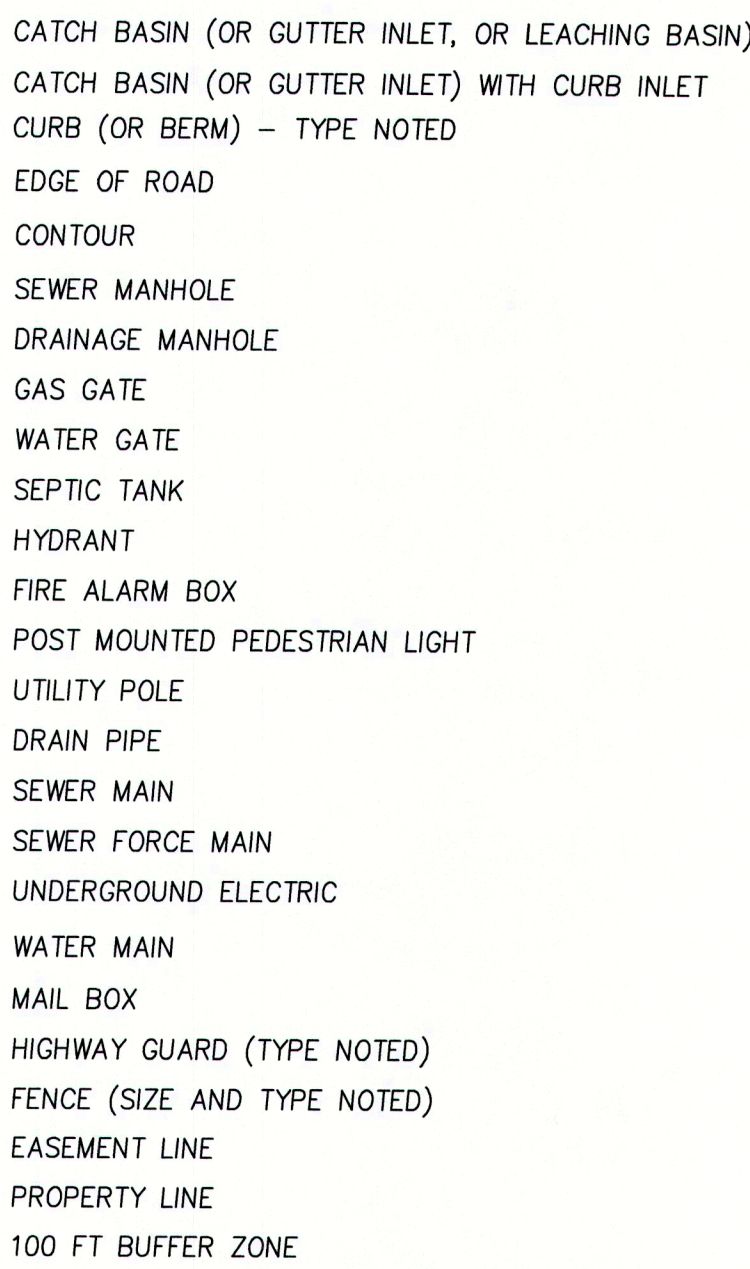
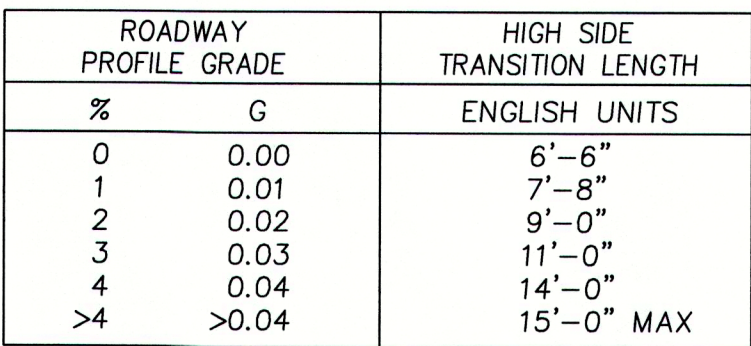
SITE PLAN
IN
SALISBURY, MA
SHOWING
EXISTING CONDITIONS
AT A MAJORITY OF
207 BEACH ROAD
(MAP 28 — LOT 10)

EXISTING CONDITIONS

SHEET: C-2



1. RAMP CROSS SECTION TO BE SAME AS SIDEWALK; I.E. DEPTH OF SURFACE AND FOUNDATION.
2. PORTLAND CEMENT CONCRETE RAMPS ARE TO BE TEXTURED BY BROOMING IN A DIRECTION PARALLEL TO THE LENGTH OF THE RAMP.
3. BASE OF RAMP SHALL MEET PAVEMENT GUTTER SUCH THAT THERE IS NO DIFFERENCE IN ELEVATION. RAMP SHALL BE CONSTRUCTED SUCH THAT WATER DOES NOT "PUDDLE" AT THE BASE OF THE RAMP.
4. THE PAVEMENT AT THE BASE OF THE RAMP SHALL BE PART OF THE CONTINUOUS TOP COURSE. THE USE OF A "PAVEMENT PATCH" TO COMPLY WITH THE CONDITIONS IN NOTE 3, ABOVE IS PROHIBITED.
5. RAMPS SHALL CONFORM TO MASS DOT WHEELCHAIR RAMP STANDARDS - LATEST REVISION.

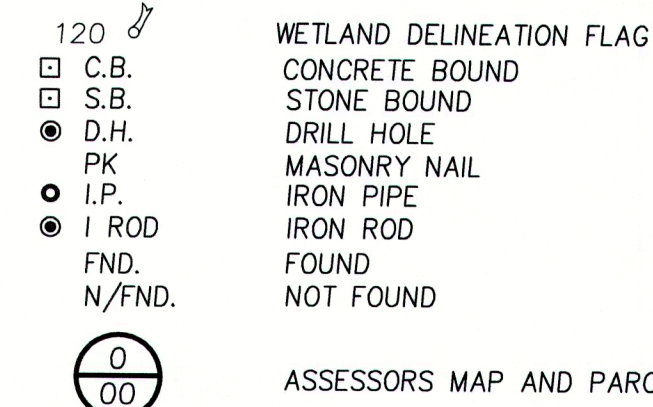
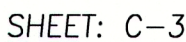
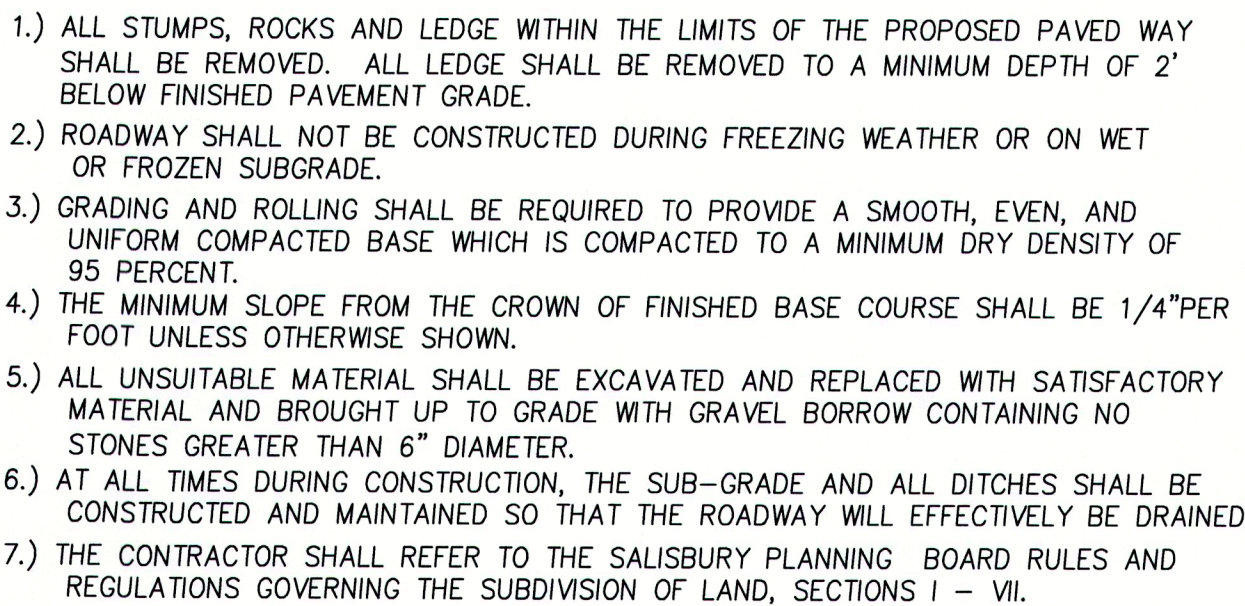


SIDEWALKS SHALL BE CONSTRUCTED WITH A 1.5" TYPE I-1 BITUMINOUS CONCRETE FINISH COURSE, A 1.5" TYPE I-1 BITUMINOUS CONCRETE BINDER COURSE OVER AN 8" GRAVEL BASE (MDOT M1.03.0 TYPE B).

WHERE SIDEWALKS TRAVERSE A DRIVEWAY, THE GRAVEL BASE SHALL BE 12" THICK.



1. COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION
STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES (LATEST EDITION)
2. 521 CMR RULES AND REGULATIONS OF THE ARCHITECTURAL ACCESS BOARD
(AAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA)
3. SPECIFICATIONS BY THE TOWN OF SALISBURY AS SET FORTH BY SECTION 7
DESIGN STANDARDS IN THE PLANNING BOARD RULES AND REGULATIONS
GOVERNING THE SUBDIVISION OF LAND, DATED NOVEMBER 1, 2013
4. UTILITIES INSTALLED PER PENNICHUCK WATER SERVICE CORPORATION
SPECIFICATIONS

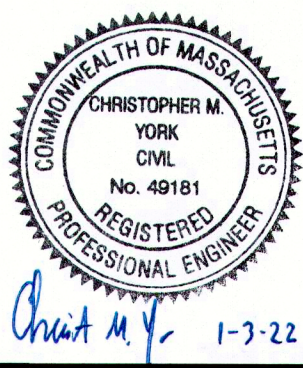


1. THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS. ANY PROPOSED REVISIONS TO THE WORK SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND REGULATING CITY AND/OR STATE AGENCIES.
2. THE CONTRACTOR SHALL INSTALL ALL SYSTEM COMPONENTS IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND ALL APPLICABLE ELECTRICAL, PLUMBING, AND SANITARY CODES.
3. ALL WORK SHALL CONFORM TO: THE SALISBURY PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, THE WETLANDS PROTECTION ACT (310 CMR 10.00), THE ORDER OF CONDITIONS ISSUED BY THE SALISBURY CONSERVATION COMMISSION, TOWN OF SALISBURY ZONING CODE, CHAPTER 300, ZONING; ARTICLE III. USE REGULATIONS; ARTICLE IV. DIMENSIONAL REGULATIONS; TABLE C-4. OFF STREET PARKING STANDARDS; ARTICLE XVII. SITE PLAN REVIEW; CHAPTER 465, PLANNING BOARD, §465 10-13; AND PLANNING BOARD RULES AND REGULATIONS, III. SITE PLAN REVIEW.
4. THE LOCATION OF ALL UTILITIES, AS SHOWN ON THESE PLANS, ARE BASED UPON PLANS AND RECORD INFORMATION PROVIDED BY MUNICIPAL AND PRIVATE UTILITY COMPANIES AND ARE CONSIDERED APPROXIMATE BOTH AS TO SIZE AND LOCATION. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UTILITIES ARE SHOWN. THE CONTRACTOR SHALL NOT RELY ON THESE PLANS FOR SUCH INFORMATION AND WILL MAKE EXAMINATIONS IN THE FIELD BY VARIOUS AVAILABLE RECORDS, UTILITY COMPANIES AND INDIVIDUALS, AS TO THE LOCATION OF ALL SUBSURFACE STRUCTURES.
5. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES BY CONTACTING "DIG-SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION. DIG-SAFE TELEPHONE NUMBER: 1-888-344-7233.
6. THE CONTRACTOR SHALL FIELD CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE NEW WORK. HE/SHE SHALL EXCAVATE TO VERIFY PERTINENT DRAINAGE INVERTS AND POTENTIAL UTILITY CONFLICTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
7. ALL EXISTING STRUCTURES AND SURFACES, UNLESS OTHERWISE SHOWN, SHALL BE COMPLETELY REMOVED FROM THE AREAS OF WORK. ALL TREES SCHEDULED FOR REMOVAL SHALL BE FIELD MARKED AND APPROVED FOR REMOVAL BY THE OWNER PRIOR TO CUTTING OPERATIONS.
8. THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF THE PUBLIC, EMPLOYEES, AND ALL OTHER PERSONS ASSOCIATED WITH THE PROJECT. HE/SHE SHALL COORDINATE AND BE RESPONSIBLE FOR ALL SAFETY SIGNING, BARRIERS AND TEMPORARY PAVEMENT MARKINGS NECESSARY TO PROVIDE A SMOOTH AND PROPER TRANSITION FOR TRAFFIC FLOW.
9. IF REQUIRED BY THE CONTRACTOR, OVERHEAD LINES SHALL BE RELOCATED BY THE UTILITY COMPANY AT THE CONTRACTORS EXPENSE.
10. ALL SEWER MAINS AND SERVICES SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY OR 18 INCHES VERTICALLY FROM PROPOSED WATER MAINS AND SERVICES AND SHALL MAINTAIN 5 FEET OF COVER OVER THE TOP OF THE PIPING, UNLESS OTHERWISE SHOWN OR APPROVED. PIPES SHALL BE ENCASED IN CONCRETE WHERE THIS SEPARATION CANNOT BE OBTAINED.
11. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 5 FEET OF COVER OVER THE TOP OF THE PIPE, UNLESS OTHERWISE SHOWN OR APPROVED.
12. WHENEVER SEWER MAINS MUST CROSS WATER MAINS, THE SEWER SHALL BE CONSTRUCTED AS FOLLOWS; A) JOINTS SHALL BE MECHANICAL TYPE WATER PRESSURE RATED WITH ZERO LEAKAGE WHEN TESTED AT 25 PSI FOR GRAVITY SEWERS AND 1.5 TIMES WORKING PRESSURE FOR FORCE MAINS AND JOINTS NOT TO BE LOCATED WITHIN 9 FEET OF THE CROSSING; B) SEWER SERVICES SHOULD BE INSTALLED A MINIMUM OF 18 INCHES BELOW WATER MAINS. IF SEPARATION IS LESS THAN 18 INCHES, SEWER SERVICE SHALL BE CONCRETE ENCASED OR CONSTRUCTED WITH PRESSURE CLASS PVC FOR A DISTANCE OF 10 FEET EACH SIDE OF THE WATER MAIN. 10-FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE SHALL BE MAINTAINED.
13. INDIVIDUAL BUILDING OWNERS ARE RESPONSIBLE FOR MAINTENANCE OF THEIR SEWER SERVICE FROM THE BUILDING TO THE CONNECTION TO THE SEWER MAIN.
14. ALL SIGNS AND PAVEMENT MARKINGS TO BE INSTALLED WITHIN THE PROJECT SITE SHALL CONFORM TO THE APPLICABLE SPECIFICATIONS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
15. 14 DAYS PRIOR TO COMMENCING CONSTRUCTION, THE OWNER/DEVELOPER SHALL PRESENT A CONSTRUCTION SCHEDULE TO THE PLANNING DEPARTMENT.
16. THE OWNER/DEVELOPER SHALL SUBMIT TWO HARD COPIES OF AS-BUILT DRAWINGS TO THE PLANNING BOARD PRIOR TO FINAL OCCUPANCY. AS BUILTS SHALL INCLUDE ALL LANDBASE AND UTILITIES INFORMATION.
17. ONSITE BURIAL OF STUMPS OR ANY OTHER DEBRIS IS PROHIBITED.
18. THE PROPERTY LIES WITHIN THE 100-YEAR FLOOD PLAIN (ZONE AE, ELEV. 9) ACCORDING TO F.I.R.M. COMMUNITY PANEL NUMBER 25009C 0129F.
19. ALL ELEVATIONS ARE BASED ON N.A.V.D. 1988.



TOM PATENAUDE

P.O. BOX 5
NORTH ANDOVER, MA 01845

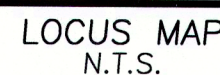


ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=20'

DESIG. BY: C M Y

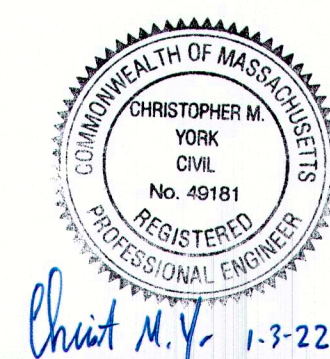
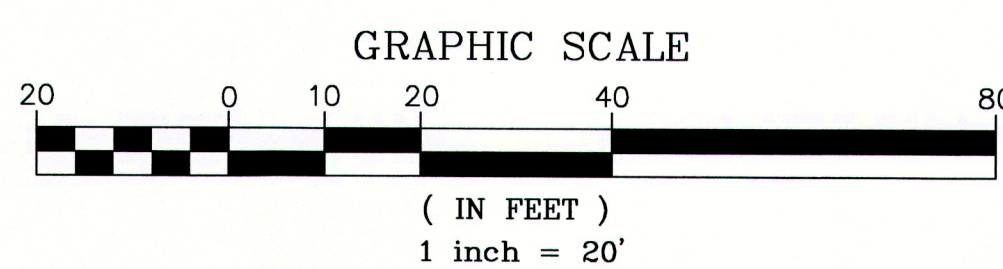
PROJECT: M20.3759



RESOURCE AREA IMPACTS
TOTAL BUFFER ZONE IMPACT = 32,300 S.F.
TOTAL LSCSF IMPACT = 44,400 S.F.



- | | |
|------------------------|-----------------------------|
| | EXIST. CONTOUR |
| | PROP. CONTOUR |
| | PROP. TREELINE |
| | PROP. RETAINING WALL |
| | PROP. SILT FENCE |
| | PROP. PERFORATED ROOF DRAIN |
| | |
| PROP. GUTTER INLET | EXIST. CATCH BASIN |
| PROP. SPOT GRADE | EXIST. UTILITY POLE |
| PROP. OUTLET STRUCTURE | WETLANDS |
| | EXIST. TEST PIT |

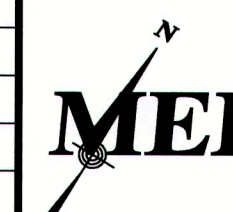


PREPARED FOR

TOM PATENAUDE

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NORTH ANDOVER, MA 01845

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NO	DATE	DESCRIPTION	R



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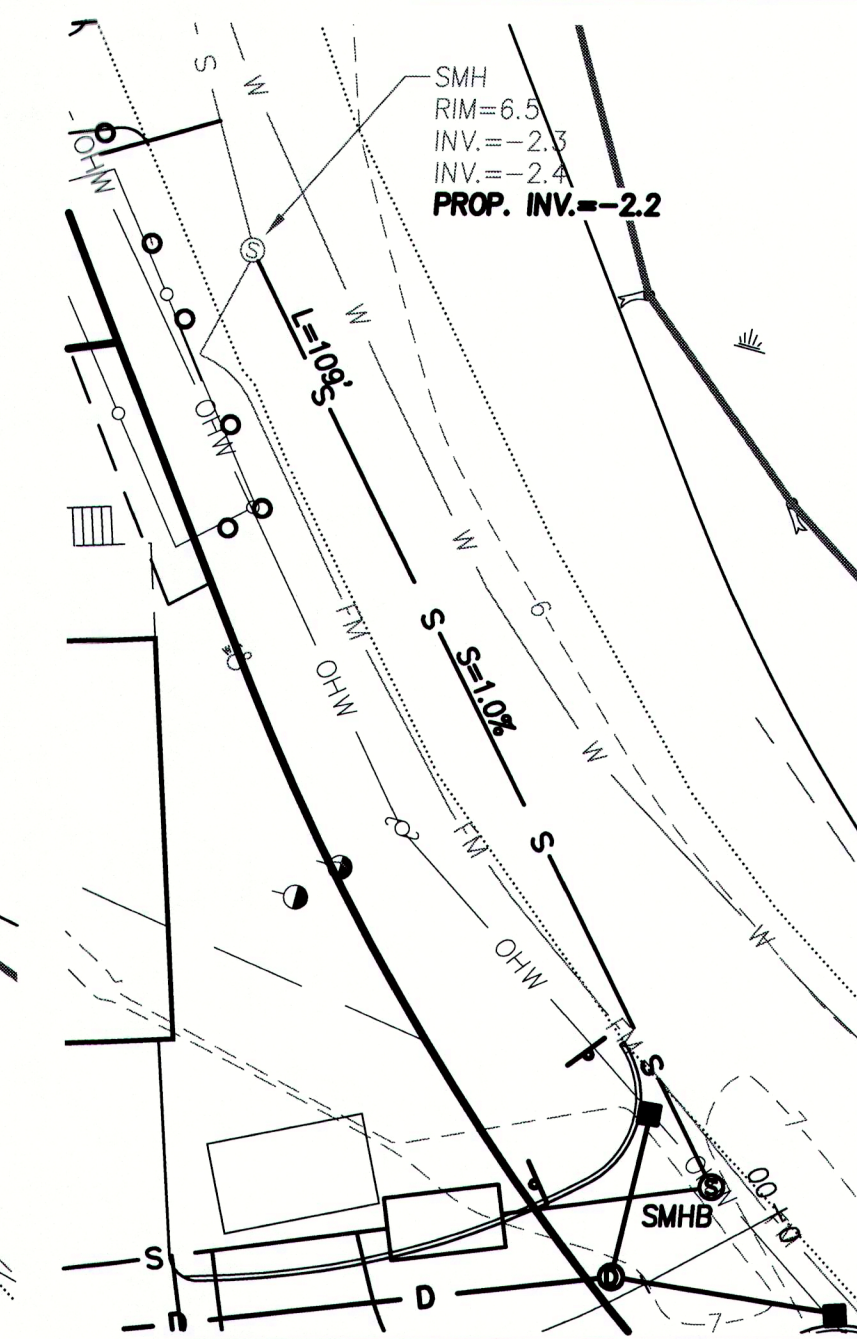
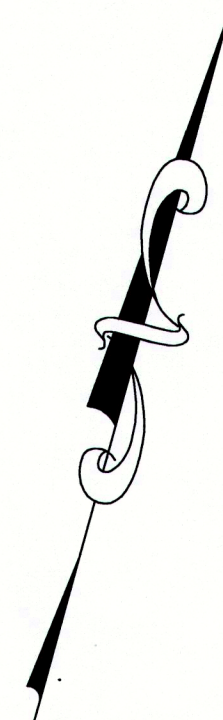
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





SITE PLAN
IN
SALISBURY, MA
SHOWING
PROPOSED SITE DEVELOPMENT
AT
207 BEACH ROAD

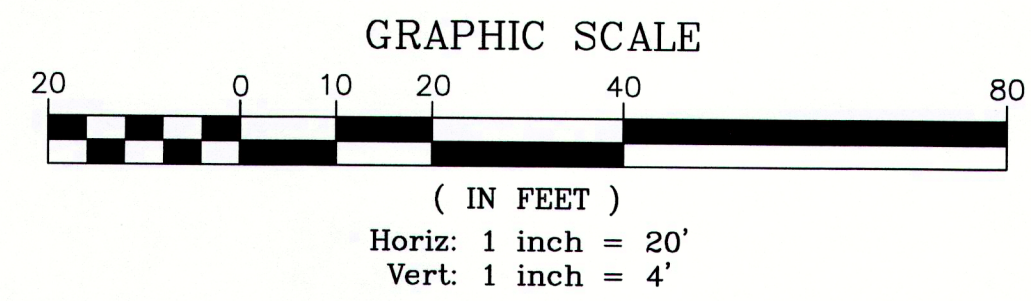
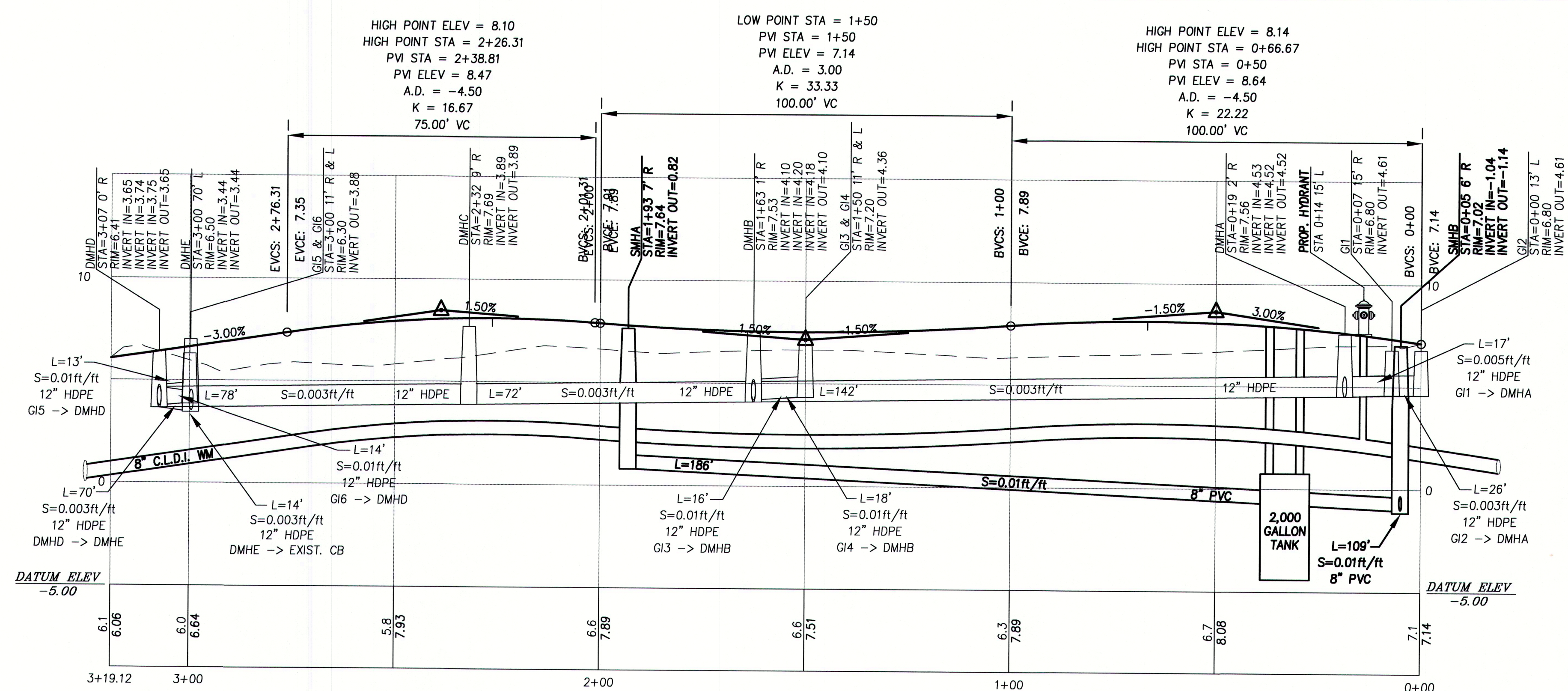
GRADING PLAN

SHEET: C-4



LEGEND

———W———		EXISTING WATER MAIN
———S———		EXISTING SEWER MAIN
———W———		PROPOSED WATER SERVICE
———S———		PROPOSED SEWER MAIN
———SS———		PROPOSED SEWER SERVICE
———G———		PROPOSED GAS MAIN
———UU———		PROPOSED UNDERGROUND UTILITIES
 W		PROPOSED WATER GATE
 S		PROPOSED SEWER MANHOLE
 *		PROPOSED STREET LIGHT
		PROP. BIT. CONC. CURB
		PROPOSED WATER SHUTOFF
		PROPOSED FIRE HYDRANT
		PROPOSED SEWER SERVICE
		PROP. VERT. GRAN. CURB



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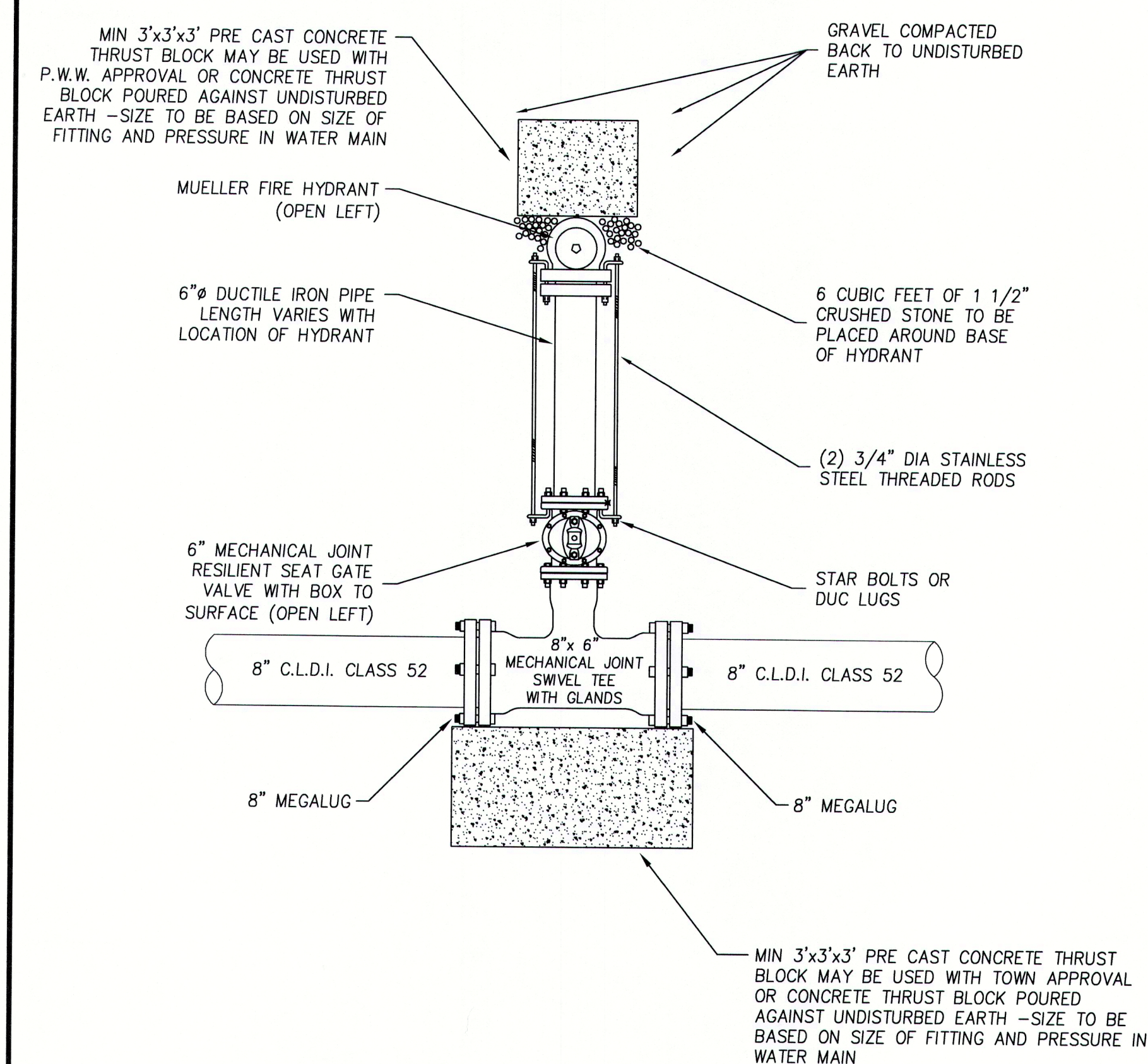


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SITE PLAN
IN
SALISBURY, MA
SHOWING
PROPOSED SITE DEVELOPMENT
AT
207 BEACH ROAD

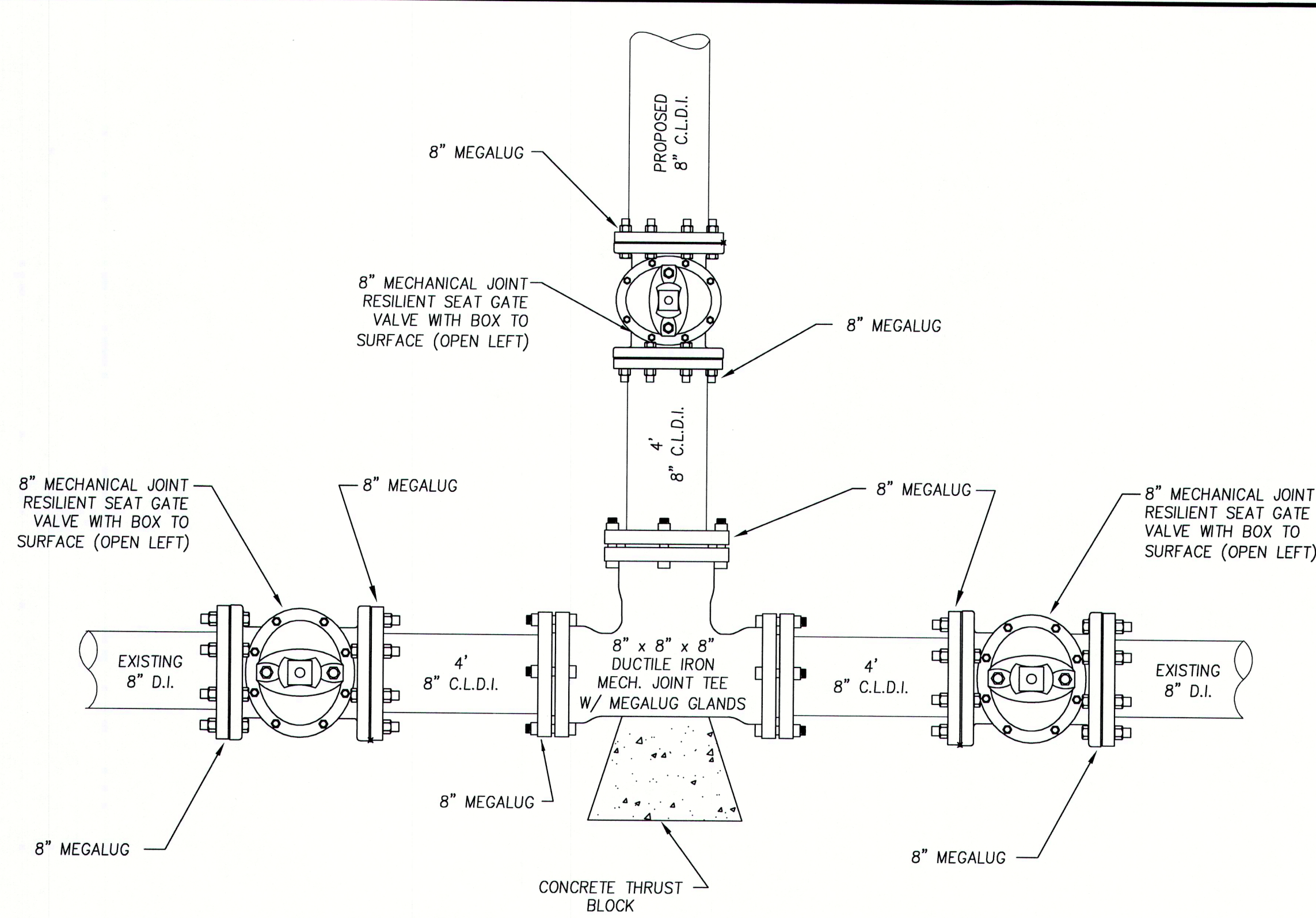
UTILITY PLAN & PROFILE

SHEET: C-5



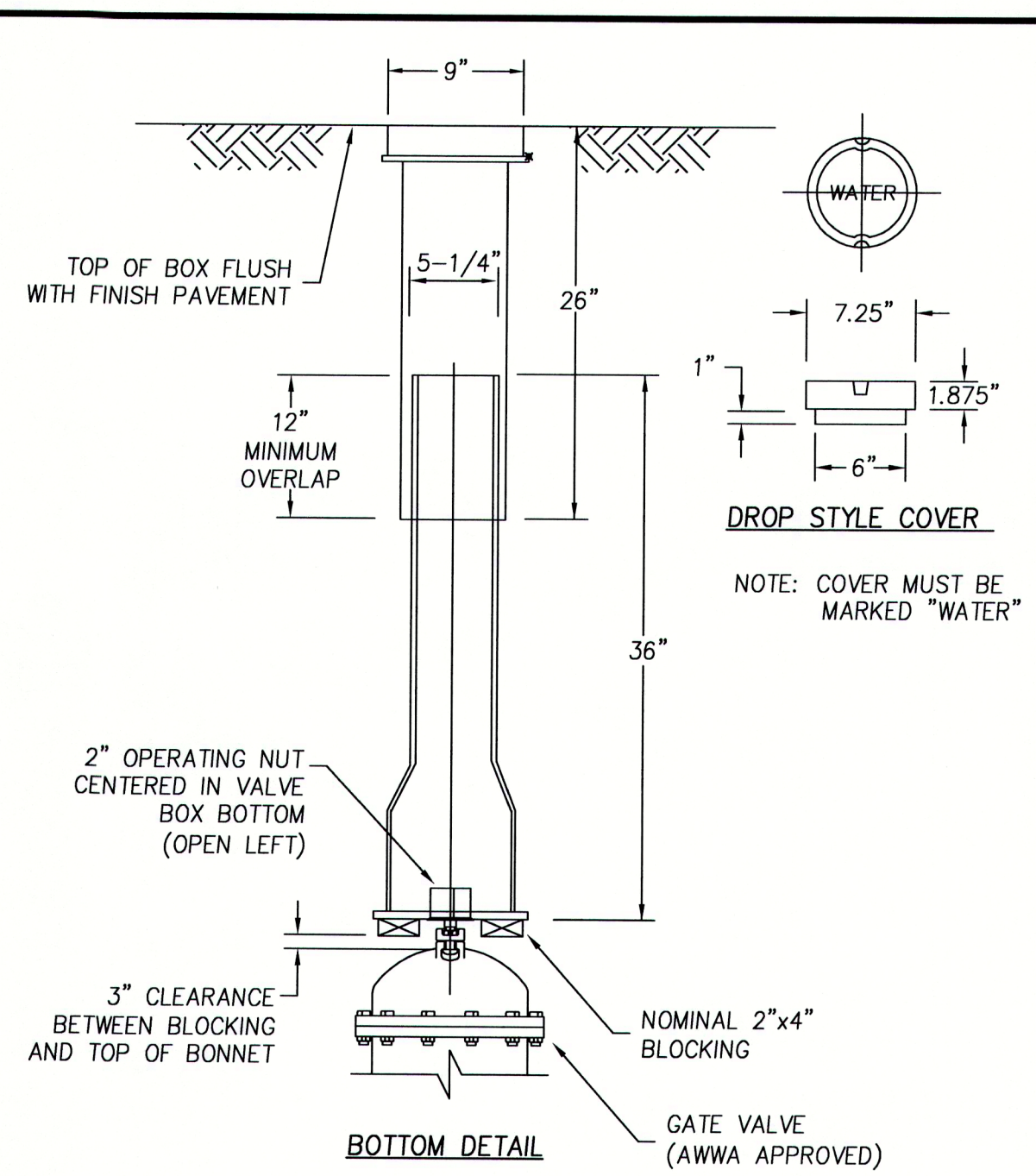
TYPICAL FIRE
HYDRANT INSTALLATION

N.T.S.



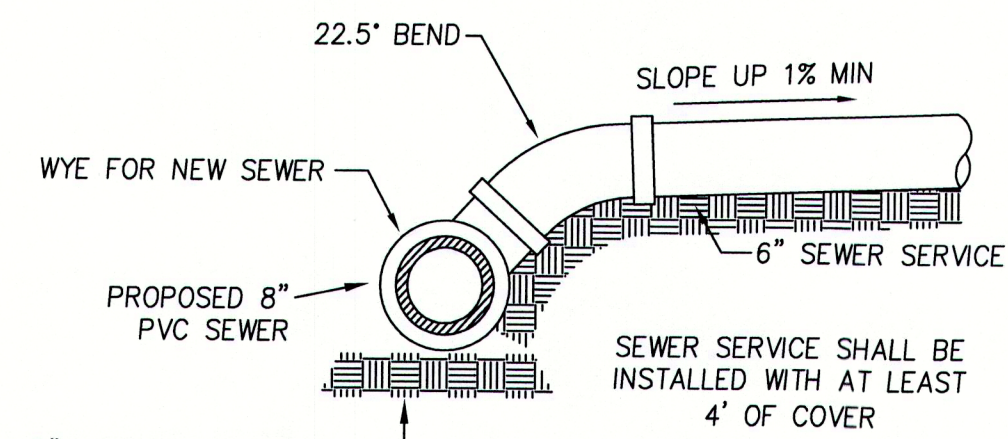
WATER MAIN
CONNECTION DETAIL
● OLD COUNTY ROAD

N.T.S.



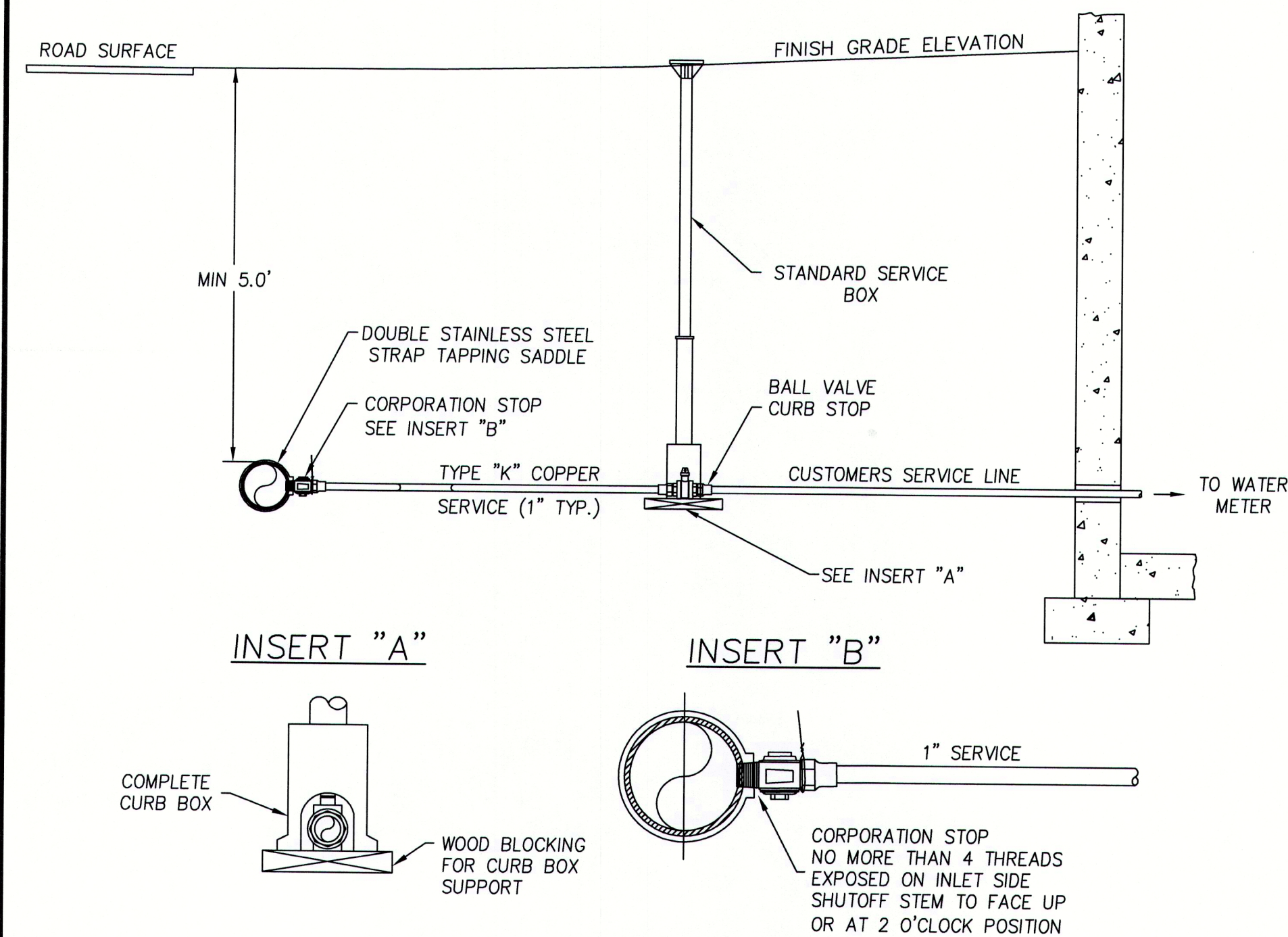
TYPICAL GATE VALVE
BOX DETAIL

N.T.S.



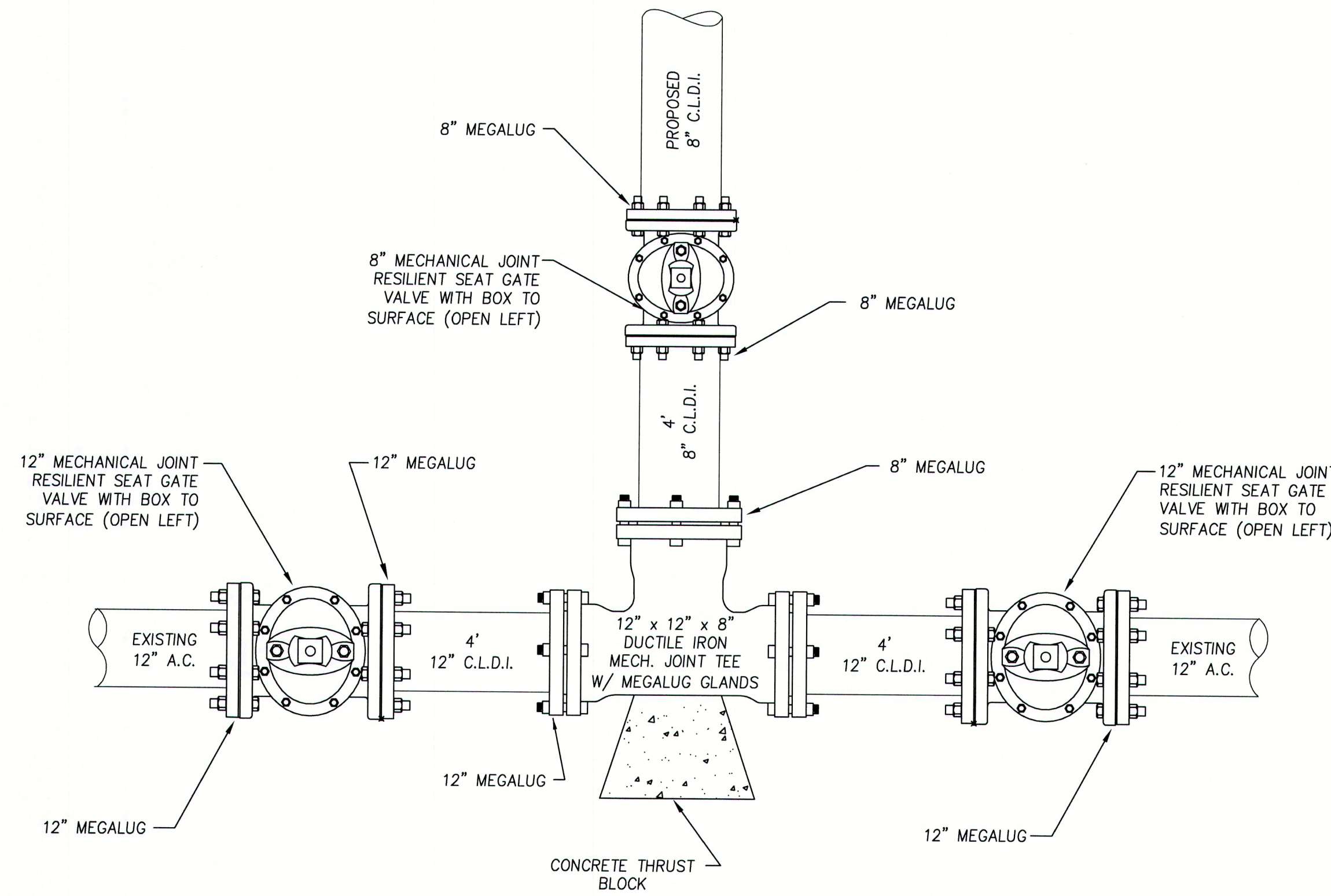
SEWER SERVICE
DETAIL

N.T.S.



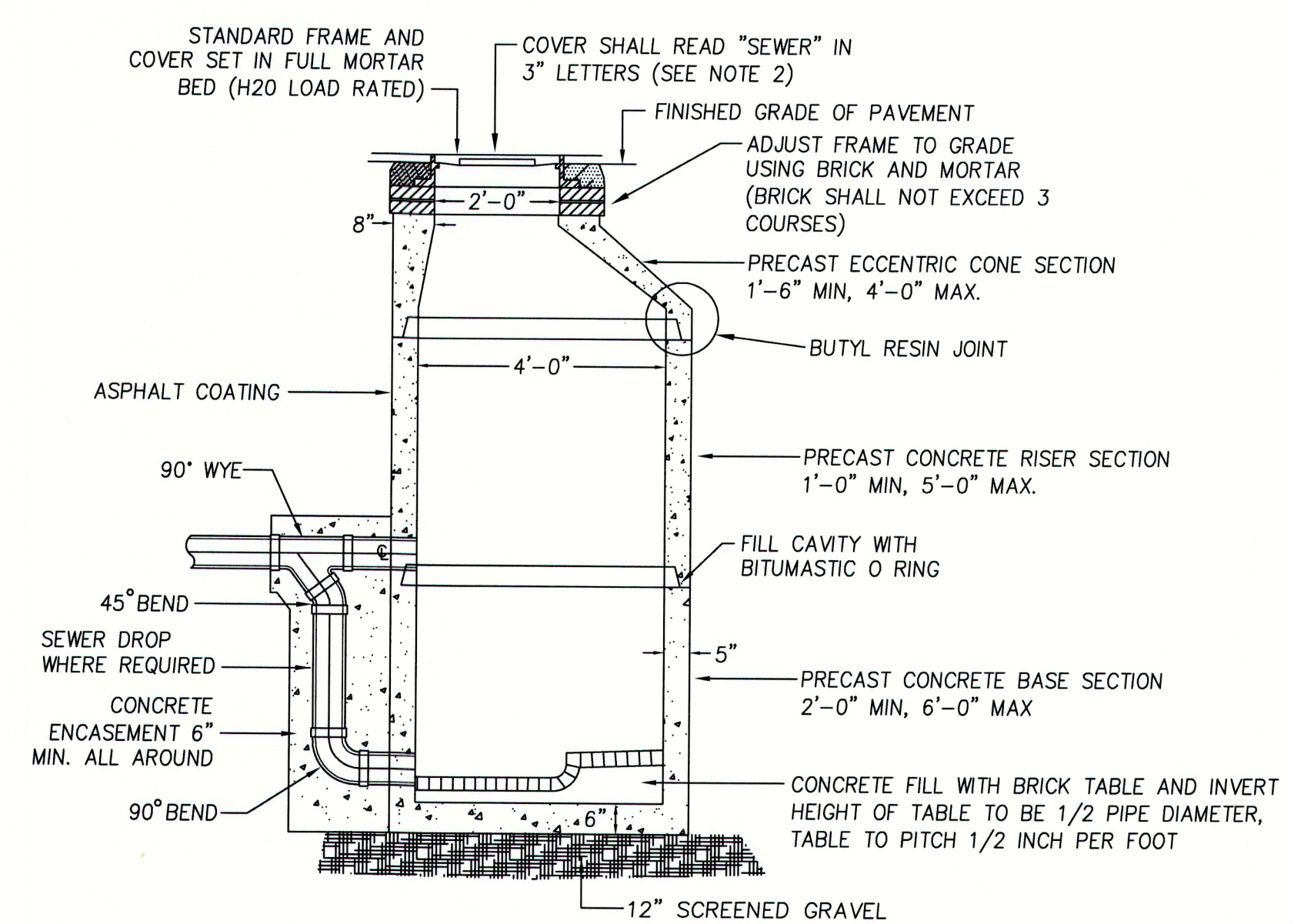
TYPICAL COPPER
SERVICE CONNECTION

N.T.S.



WATER MAIN
CONNECTION DETAIL
● BEACH ROAD

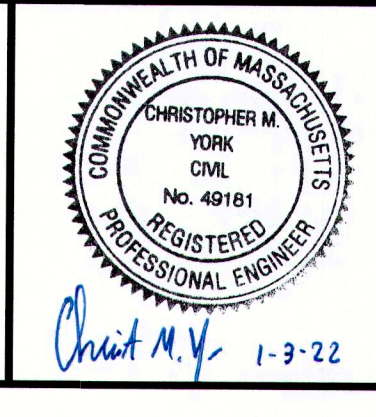
N.T.S.



NOTES: 1) SEWER MANHOLES SHALL CONFORM TO ASTM C478 AND ASTM C185
2) COVER SHALL BE LEBARON FOUNDRY (MODEL NO. LA246),
MECHANICS IRON FOUNDRY, NEEHAN FOUNDRY, OR EQUAL.


PRECAST SEWER
MANHOLE DETAIL

N.T.S.



PREPARED FOR
TOM PATENAUDE
P.O. BOX 5
NORTH ANDOVER, MA 01845

NO.	DATE	DESCRIPTION	BY
4	1/3/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
3	8/5/21	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
2	7/22/21	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
1	6/23/21	ADDRESS PLANNING COMMENTS	C.M.Y.

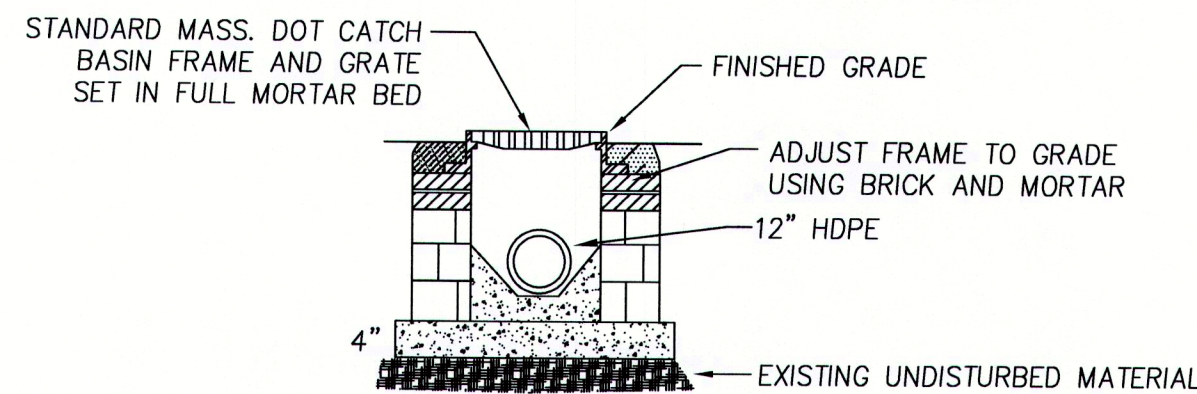
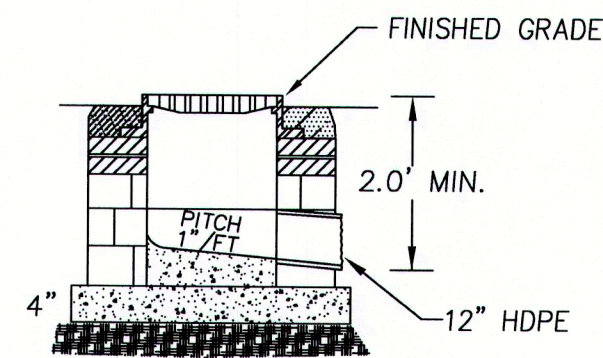
**MILLENNIUM ENGINEERING, INC.**
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=20'	DESIGN BY: C.M.Y.	PROJECT: M203759
DATE: JUN. 3, 2021	CHECKED BY: E.W.B.	

SITE PLAN
IN
SALISBURY, MA
SHOWING
PROPOSED SITE DEVELOPMENT
AT
207 BEACH ROAD

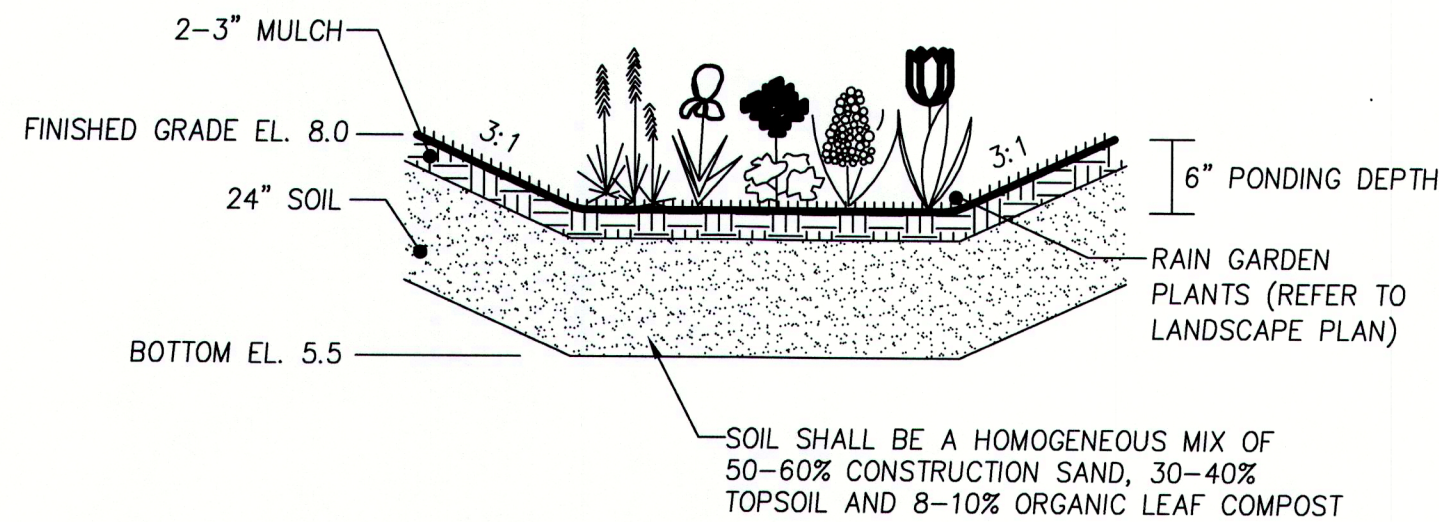
**UTILITY
DETAILS**

SHEET: C-6



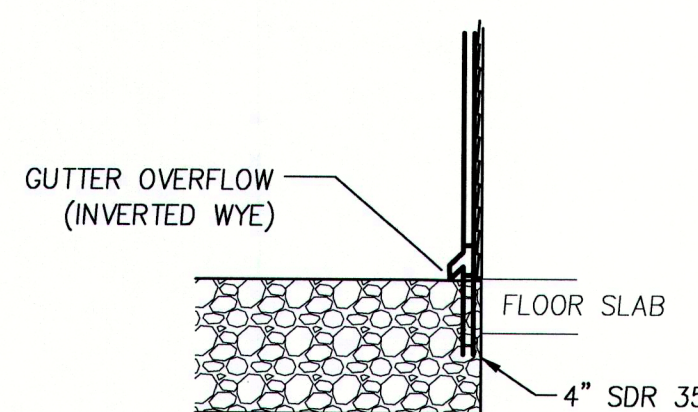
CONCRETE BLOCK
GUTTER INLET

N.T.S.



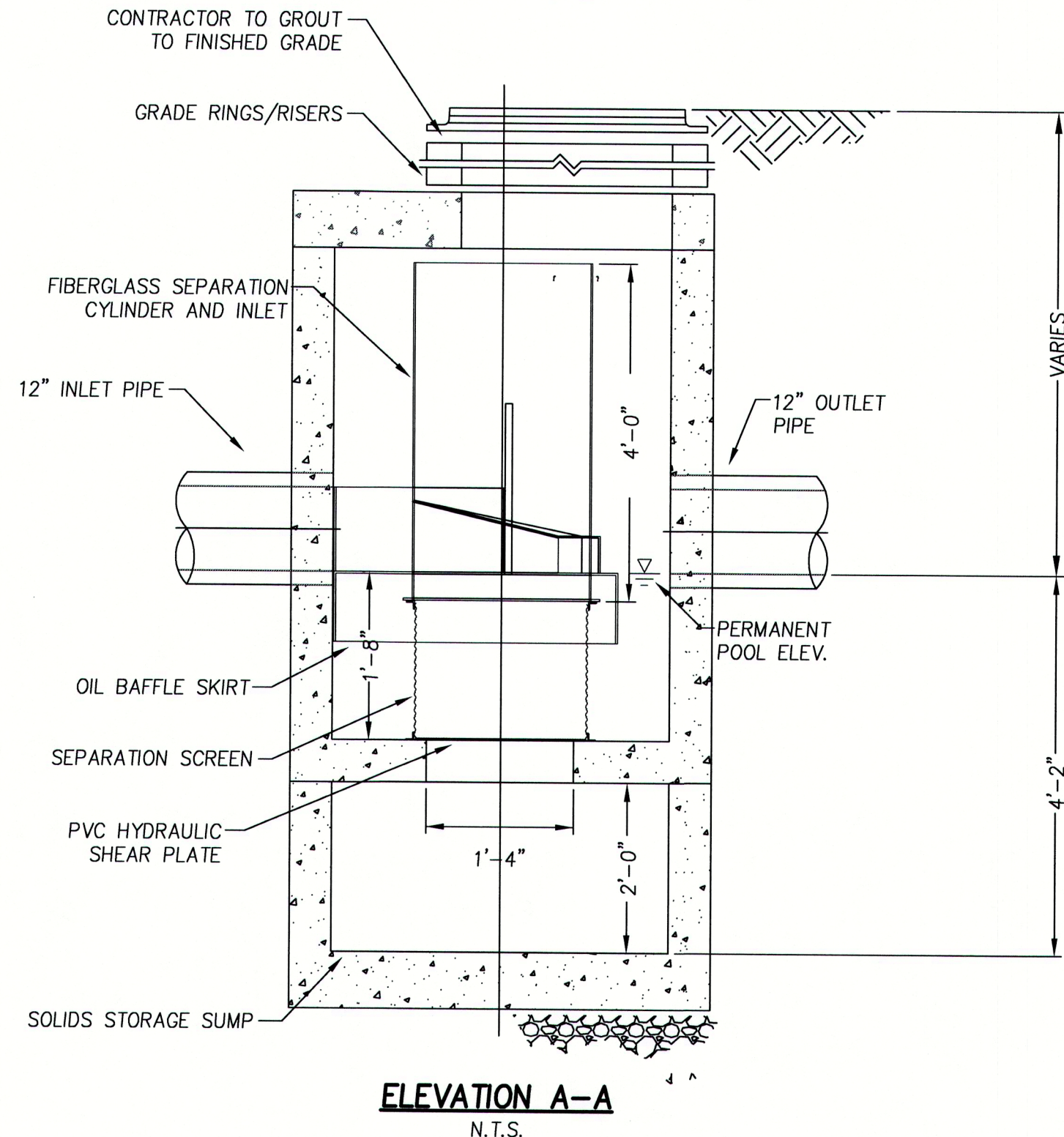
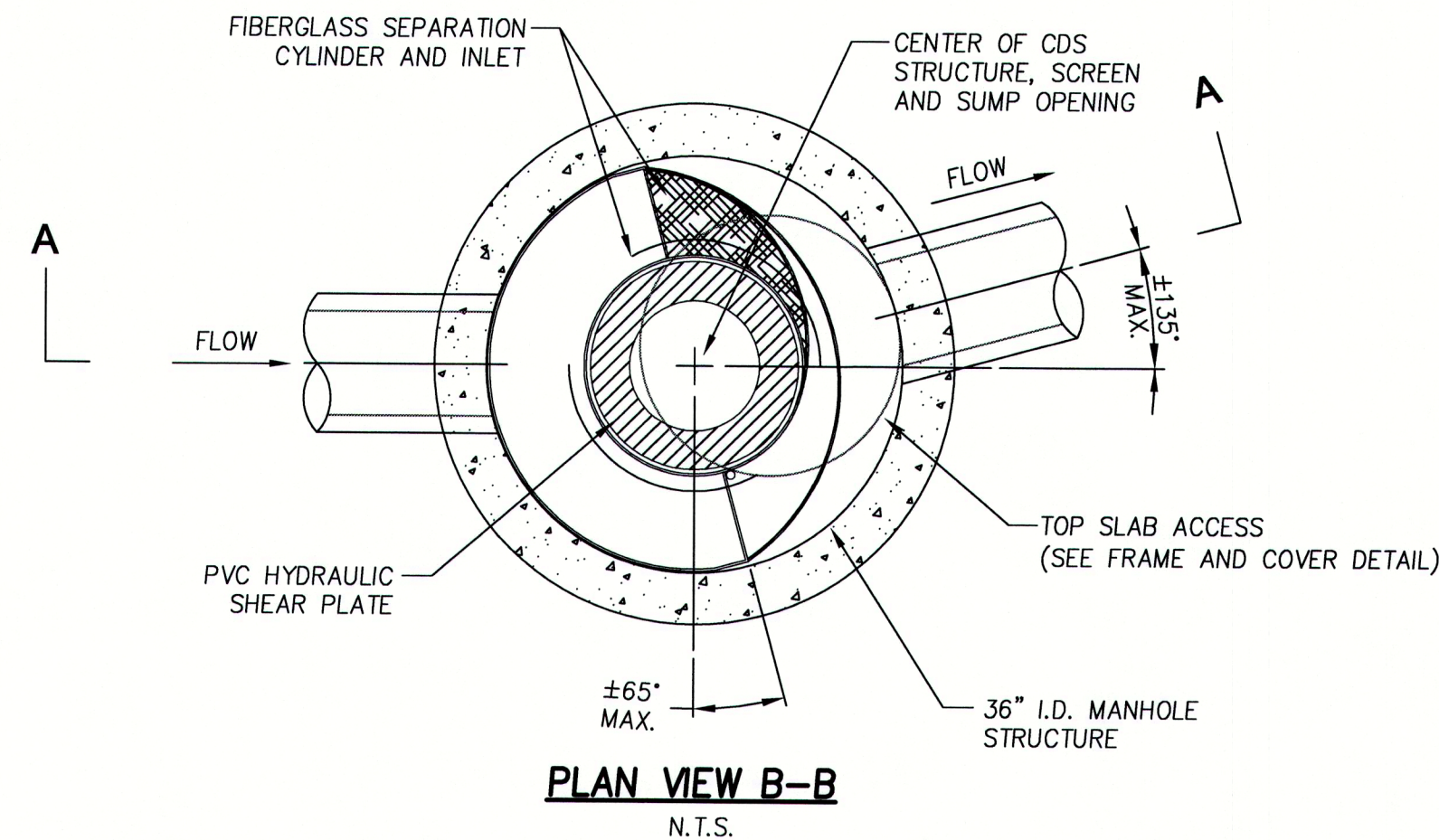
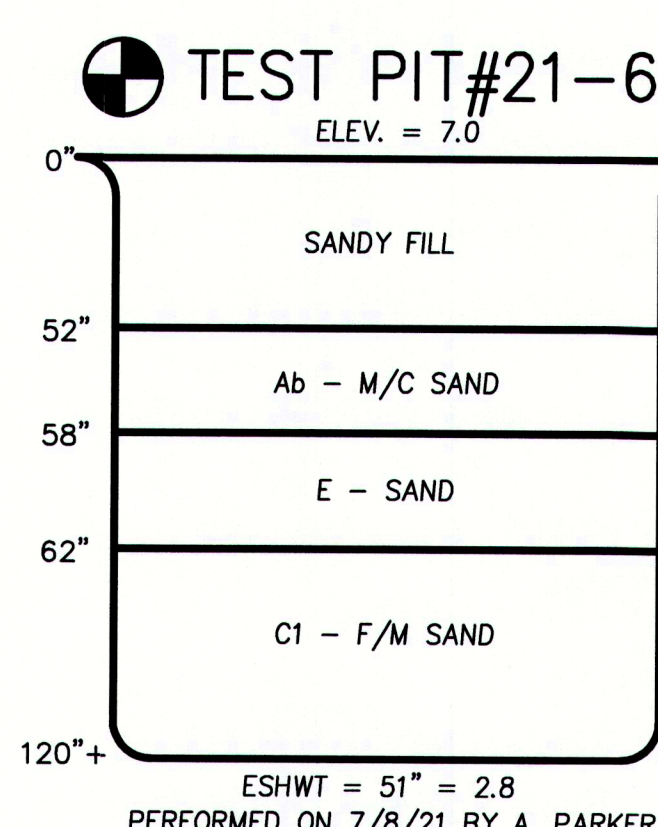
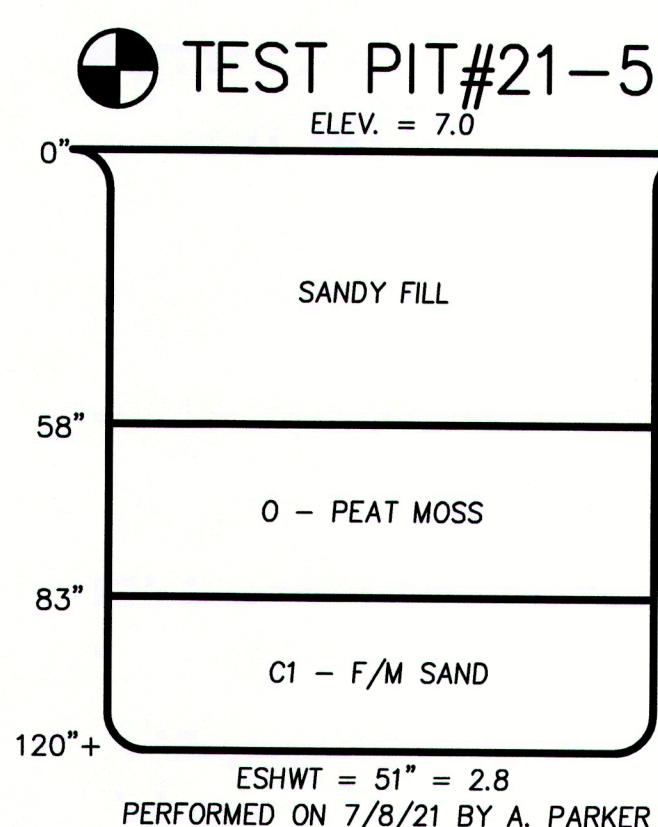
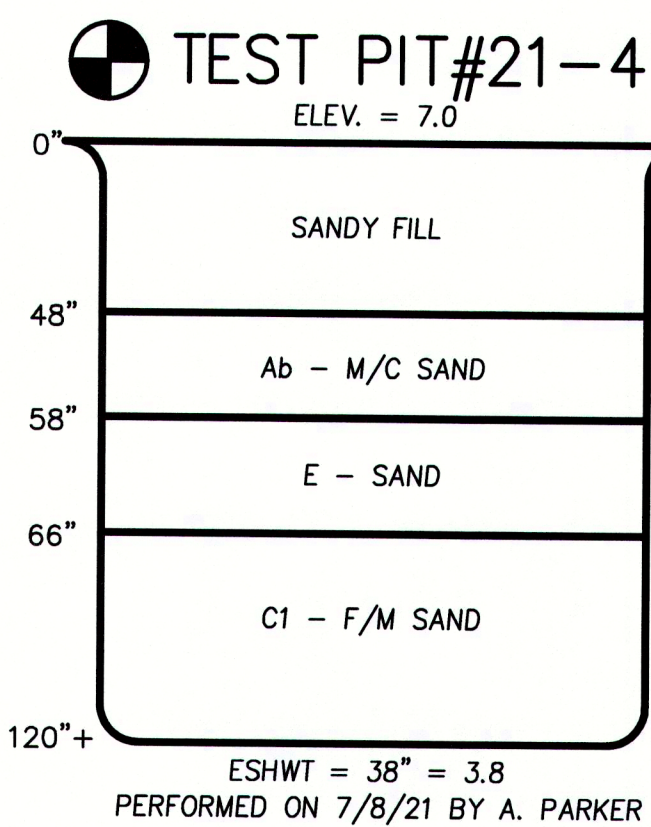
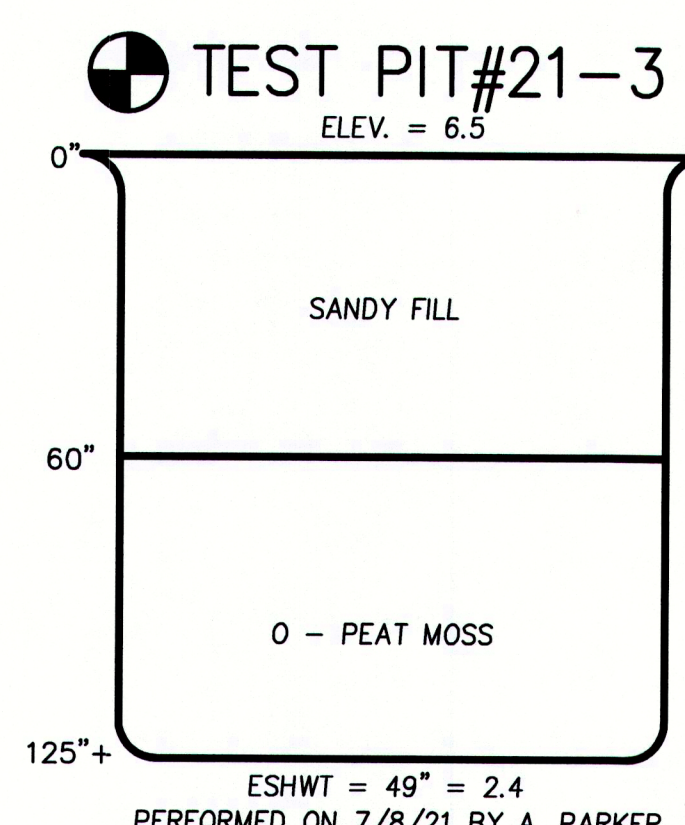
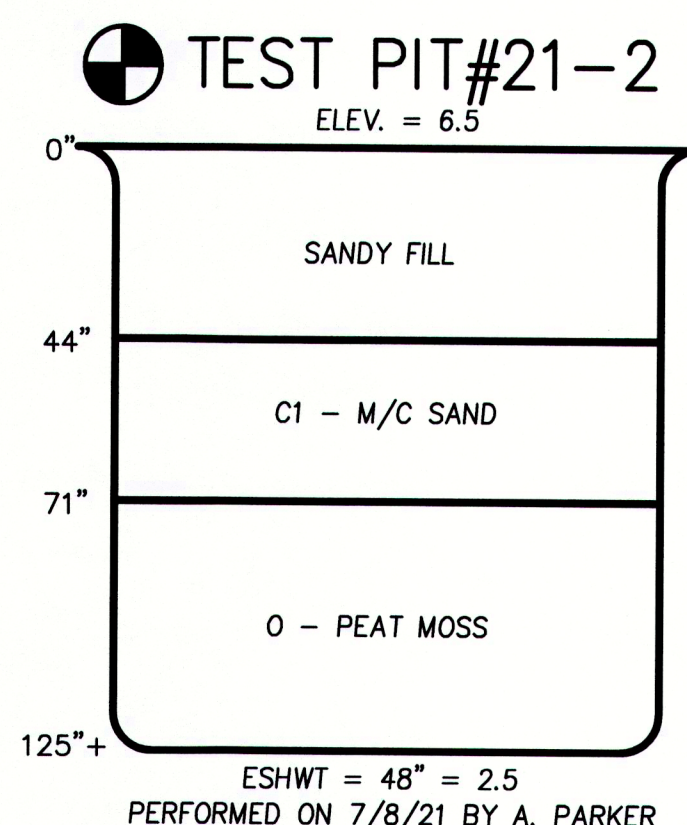
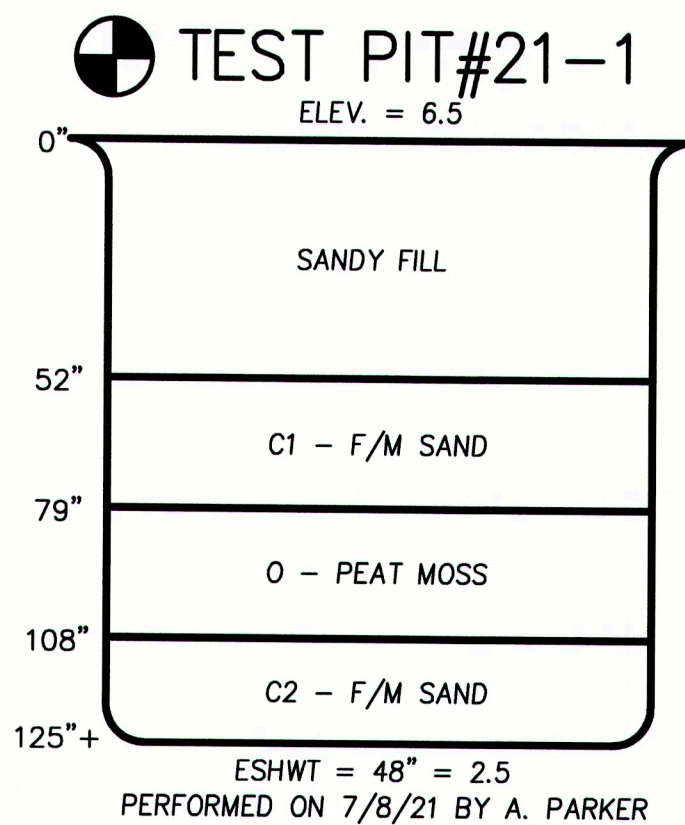
RAIN GARDEN
DETAIL

SCALE AS NOTED



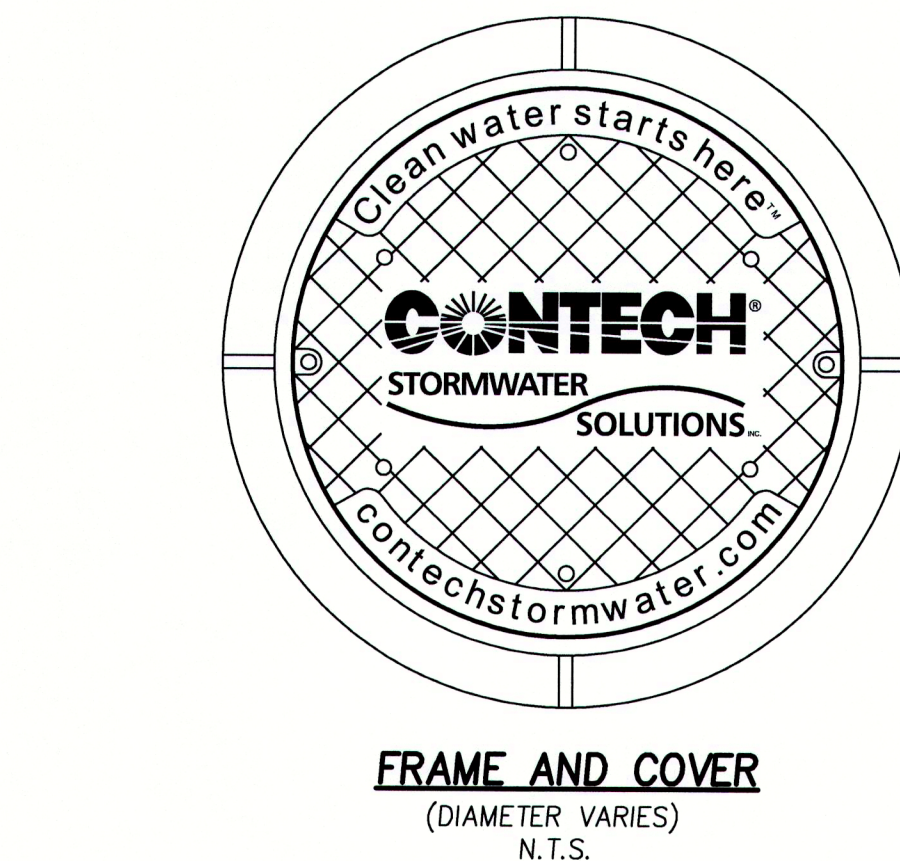
GUTTER DOWN
SPOUT DETAIL

N.T.S.



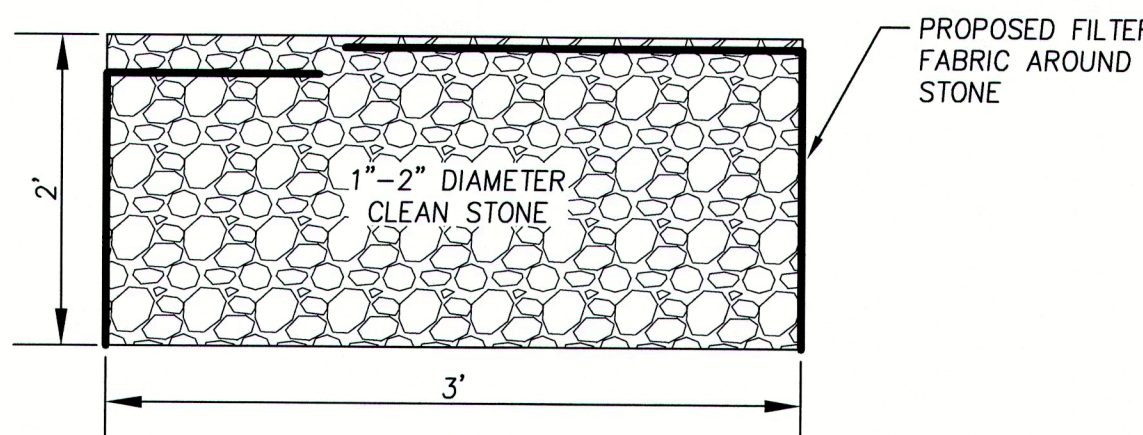
CDS1515-3-C
DETAIL

N.T.S.



- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 - DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
 - FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH CONSTRUCTION PRODUCTS REPRESENTATIVE: www.contech-cpi.com
 - CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
 - STRUCTURE SHALL MEET AASHTO HS20 AND CASTINGS SHALL MEET AASHTO M306 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
 - PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

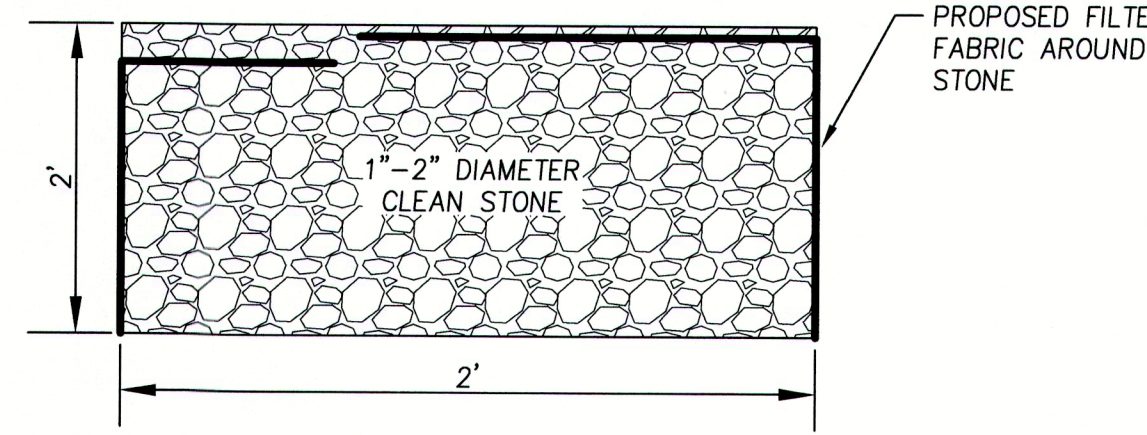
- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
 - CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
 - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
 - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



NOTE: PRIOR TO FILL MATERIAL INSTALLATION, ALL TOPSOIL, SUBSOIL, AND UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH COARSE SAND TO BOTTOM OF TRENCH.

STONE TRENCH
DETAIL (DUPLEX)

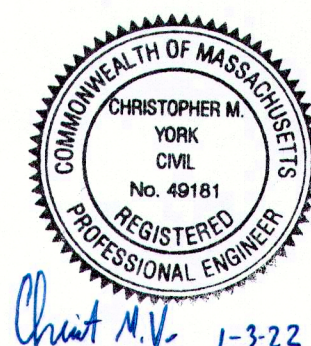
N.T.S.



NOTE: PRIOR TO FILL MATERIAL INSTALLATION, ALL TOPSOIL, SUBSOIL, AND UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH COARSE SAND TO BOTTOM OF TRENCH.

STONE TRENCH
DETAIL (SINGLE-FAMILY)

N.T.S.



PREPARED FOR
TOM PATENAUE
P.O. BOX 5
NORTH ANDOVER, MA 01845

NO.	DATE	DESCRIPTION	BY
4	1/3/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
3	8/5/21	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
2	7/22/21	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
1	6/23/21	ADDRESS PLANNING COMMENTS	C.M.Y.




MILLENNIUM ENGINEERING, INC. ENGINEERING AND LAND SURVEYING 62 ELM ST. SALISBURY, MA 01952 (978) 463-8980 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528	
SCALE: 1"=20'	DESIGN BY: C.M.Y.
DATE: JUN. 3, 2021	CHECKED BY: E.W.B.
PROJECT: M203759	

SITE PLAN
IN
SALISBURY, MA
SHOWING
PROPOSED SITE DEVELOPMENT
AT
207 BEACH ROAD

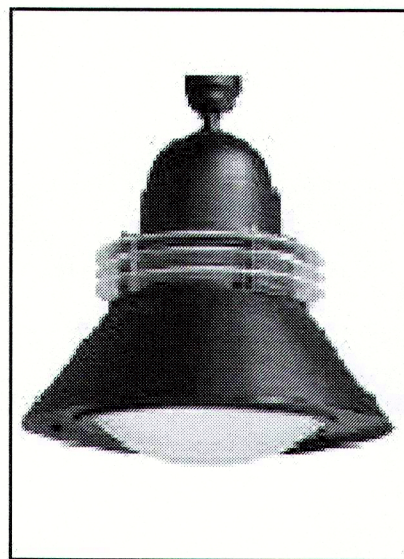
**DRAINAGE
DETAILS**

SHEET: C-7

PLAN BOOK 218 PLAN 91

Schedule									
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens per Lamp	LLF
	S3	4	Sternberg Lighting	1A 1970LED S 4ARC45T3 MDL03 FG	1970 Gallery fixture, Flat Glass (AR), Type 3, mounted at 14ft	LED	1970LED-4ARC45T3-MDL03-FG.IES	6548	0.9
	W1	14	Sternberg Lighting	S540-XRLED-9L45T5-MDL07-CSA	Seville Series 4 sided decorative lantern, Clear Seeded Acrylic, Type 5, mounted at 6ft	LED	S540-XRLED-9L45T5-MDL07-CSA.IES	2156	0.66
	W2	8	Sternberg Lighting	S540-XRLED-9L45T5-MDL07-CSA	Seville Series 4 sided decorative lantern, Clear Seeded Acrylic, Type 5, mounted at 16ft	LED	S540-XRLED-9L45T5-MDL07-CSA.IES	2156	0.66


Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Outside of Roadway	+	0.2 fc	3.7 fc	0.0 fc	N/A	N/A
Roadway	+	1.3 fc	3.0 fc	0.3 fc	10.0:1	4.3:1



1970LED GALLERY SERIES

LED

EPA
.93 (ft)
WEIGHT
3.6 LBS

7 YEAR
WARRANTY


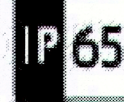
LUMEN
RANGE
5,075 to
16,420

LIFE SPAN
L70
MINIMUM
100,000
HOURS

UL
LISTED


CLICK
FOR FAQ's




RATED
IP65


JOB NAME

FIXTURE TYPE

MEMO



S540-XRLED SEVILLE SERIES

LED

EPA
1.05 (ft)
WEIGHT
24 LBS

5 YEAR
WARRANTY


LUMEN
RANGE
1,345 to
5,680

LIFE SPAN
L70
MINIMUM
50,000
HOURS

UL
LISTED


CLICK
FOR FAQ's



















JOB NAME

FIXTURE TYPE

MEMO














BUILD A PART NUMBER

ORDERING EXAMPLE: 2A-1970LED-S-GR-4ARC45T5-MDL03-SV1-R7-PE-HSHN/CA6/5218P5/UBKT

Mounting Config.	Fixture	Shade Edge	Top Feature	LED	CCT	Type	Driver	Lens	Optional Control Receptacle	Optional Control	Option Fuse	Option Hang-straight	Option House Side Shield	Arm See Arm Spec Sheets	Pole See Pole Spec Sheets	Finish
																

BUILD A PART NUMBER

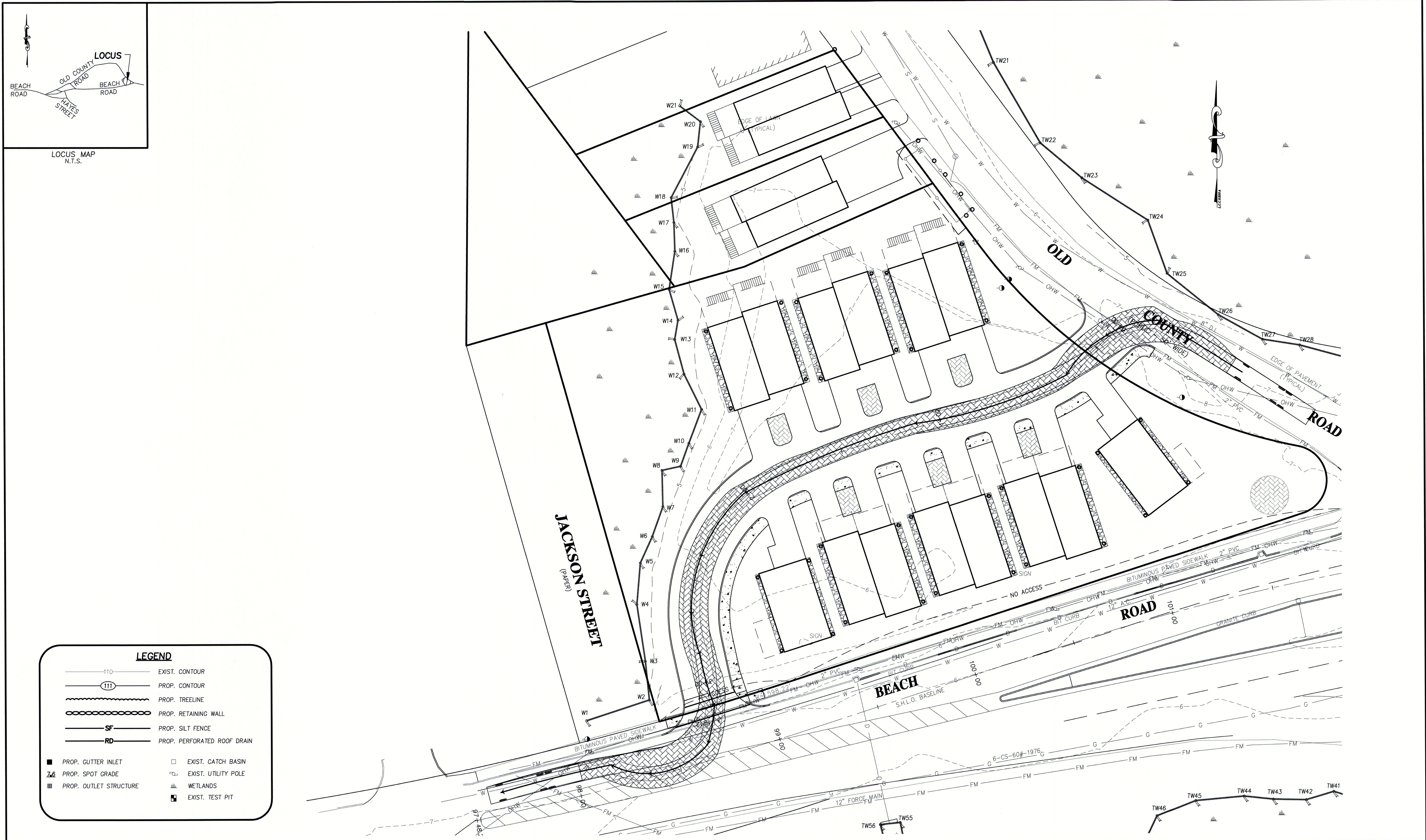
ORDERING EXAMPLE: 2A-S540-XRLED-9L45T5-MDL07-CSA-FHD/491PM/1610TFP5/BKT

Mounting Config.	Fixture	LED	CCT	Type	Driver	Lens	Option Fuse	Option Chimney	Option House Side Shield	Arm See Arm Spec Sheets	Pole See Pole Spec Sheets	Finish
												

Site Lighting Layout
At
207 BEACH ROAD

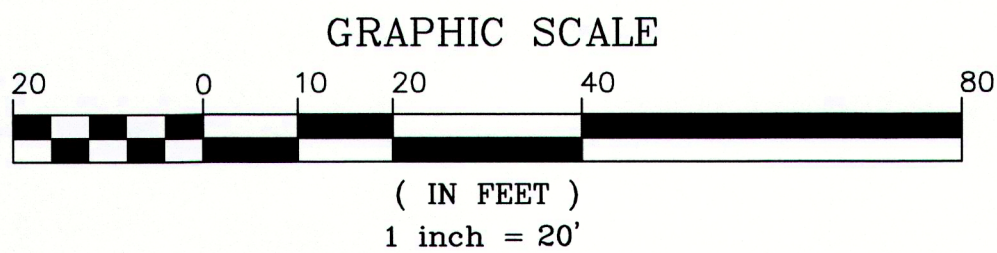
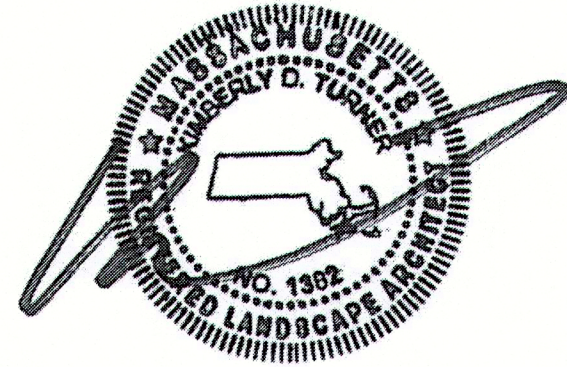
Designer
Heidi G. Connors
Visible Light, Inc.
24 Stickney Terrace
Suite 6
Hampton, NH 03842
Date
1/3/2022
Scale
1"=20'
Drawing No.

Summary



Notes:
1. Planting period shall be noted as March15-May 15 and Sept 15-Nov 15, weather permitting.
2. Owner is responsible for maintaining live vegetation and the maintenance, removal, and replacement of all dead trees, shrubs, groundcover, and perennials.

Plant List				
Qty.	Scientific Name	Common Name	Size	Notes
Trees				
11	Amelanchier canadensis	Serviceberry	2-2.5" cal.	
5	Cornus x 'Rutban'	Dogwood	2-2.5" cal.	
6	Liquidambar styraciflua	Sweetgum	2.5-3" cal.	
Shrubs				
16	Clethra alnifolia	Summersweet	5 gal.	
8	Ilex glabra	Inkberry	5 gal.	
8	Ilex verticillata	Winterberry	5 gal.	
9	Viburnum opulus	Cranberrybush Viburnum	5 gal.	
Perennials				
22	Asclepias tuberosa	Butterfly Weed	1 gal.	
22	Iris versicolor	Flag Iris	1 gal.	
22	Nepeta 'Walker's Low'	Catmint	1 gal.	



PREPARED FOR

TOM PATENAUE
P.O. BOX 5
NORTH ANDOVER, MA 01845

NO.	DATE	DESCRIPTION	BY
5	8/20/21	FOR REVIEW	KT
4	8/3/21	FOR REVIEW	KT
3	7/17/21	FOR REVIEW	KT
2	6/22/21	FOR REVIEW	KT
1	5/25/21	FOR REVIEW	KT
NO.	DATE	DESCRIPTION	BY

KDTurner Design
landscape architecture
27 High St.
Newburyport, MA 01950
ph) 781.632.6004

SCALE: 1"=20'
DATE: MAY 20, 2021

LANDSCAPE PLAN
IN
SALISBURY, MA
SHOWING
PROPOSED SITE DEVELOPMENT
AT
OLD COUNTY ROAD AND BEACH ROAD

L-1