

OWNER OF RECORD IDA P. & EDWARD FOOTE, JR. 123 CENTRAL AVENUE SALISBURY, MA BOOK 10016 PAGE 248 TOTAL AREA 53,071 S.F. 1.22 ACRES UPLAND AREA 46,920 S.F.± 1.08 ACRES±

(88.4% OF LOT)

PLAN INDEX

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C-2	EXISTING CONDITIONS PLA
C-3	LEGEND/NOTES
C-4	GRADING PLANS
C-5	UTILITY PLAN & PROFILE
C-6	UTILITY DETAILS
C-7	DRAINAGE DETAILS
C-8	EROSION CONTROL DETAIL
E-1	LIGHTING PLAN
F-1	FIRE TRUCK TEMPLATE
L-1	LANDSCAPE PLAN

14-UNIT RESIDENTIAL DEVELOPMENT (LOTS 249-258) AND 2 DUPLEX LOTS (LOTS 259 & 260)

207 BEACH ROAD SALISBURY, MA

JANUARY 2022

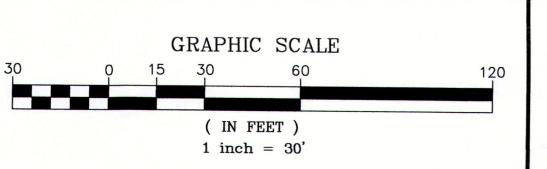
TONITALO TABLE

	ZONING	TABLE				
207 BEACH ROAD — ASSESSORS MAP 28 LOT 10 ZONING DISTRICT BC—RES						
	REQUIRED	EXISTING	PROPOSED			
LOT AREA:	_	1.22 ACRES	1.22 ACRES			
LOT FRONTAGE:	_	327.96 FEET	327.96 FEET			
FRONT SETBACK:	5 FEET	_	14.3 FT			
SIDE SETBACK:	**	_	7.6 FT			
REAR SETBACK:	**	_	20.9 FT			
LOT COVERAGE:	90% MAX	0%	20.7%			
BLDG HEIGHT:	35 FEET	_	< 35 FEET			
PARKING SPACES:	2 PER UNIT	-	3 PER UNIT			

** THE SETBACK REQUIREMENTS SHALL BE BASED ON 10'-0" FOR

NOTES

- 1. THE PROPERTY IS LOCATED WITHIN THE TOWN OF SALISBURY FLOOD PLAIN DISTRICT.
- 2. THE PROPERTY LIES WITHIN THE 100-YEAR FLOOD PLAIN (ZONE AE, ELEV. 9) ACCORDING TO F.I.R.M. COMMUNITY PANEL NUMBER 25009C 0129F.





TOM PATENAUDE P.O. BOX 5 NORTH ANDOVER, MA 01845

PREPARED FOR

4 1/3/22 ADDRESS REVIEWER'S COMMENTS C.M.Y. ADDRESS REVIEWER'S COMMENTS | C.M.Y. ADDRESS REVIEWER'S COMMENTS | C.M.Y 1 6/23/21 ADDRESS PLANNING COMMENTS | C.M.Y. NO. DATE

DATE: JUN. 3, 2021

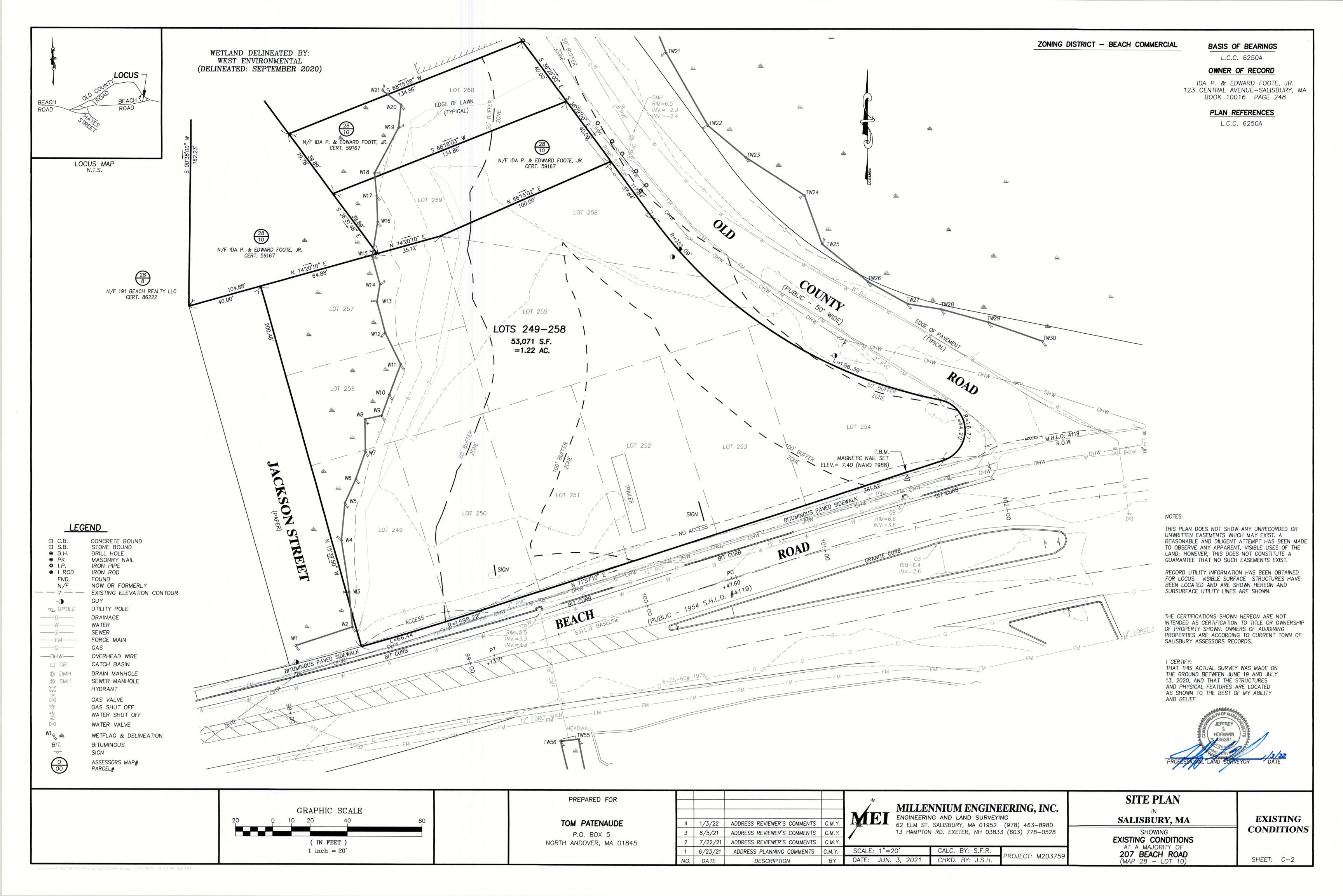
MILLENNIUM ENGINEERING, INC. ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980

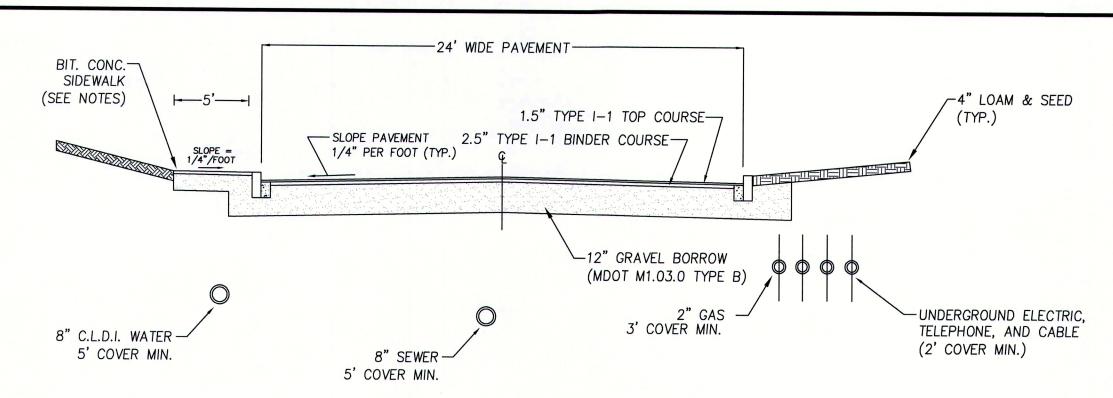
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SITE PLAN SALISBURY, MA **COVER SHEET** SHOWING PROPOSED SITE DEVELOPMENT

207 BEACH ROAD

SHEET: C-1





ROADWAY CROSS—SECTION

STA. 0+00 TO STA. 3+19±

POST MOUNTED PEDESTRIAN LIGHT

UTILITY POLE

SEWER MAIN

WATER MAIN

EASEMENT LINE PROPERTY LINE

BASE OR SURVEY LINE

CONSTRUCTION BASELINE

WHEELCHAIR RAMP (WCR)

CONCRETE SIDEWALK

HAND CORE

SILT SOCK

WETLAND

MAIL BOX

- · - · - · - · 100 FT BUFFER ZONE

8 NOC.00,00 E

WETLAND DELINEATION FLAG

ASSESSORS MAP AND PARCEL

CONCRETE BOUND

STONE BOUND

MASONRY NAIL

DRILL HOLE

IRON PIPE

IRON ROD

NOT FOUND

FOUND

.4

SEWER FORCE MAIN

UNDERGROUND ELECTRIC

HIGHWAY GUARD (TYPE NOTED)

FENCE (SIZE AND TYPE NOTED)

DRAIN PIPE

— D —

---- S ----

---- S ----

—— UE ——

 $\square MB$

8 N0000'00"E

SURVEY

120 8

D.H.

I.P.

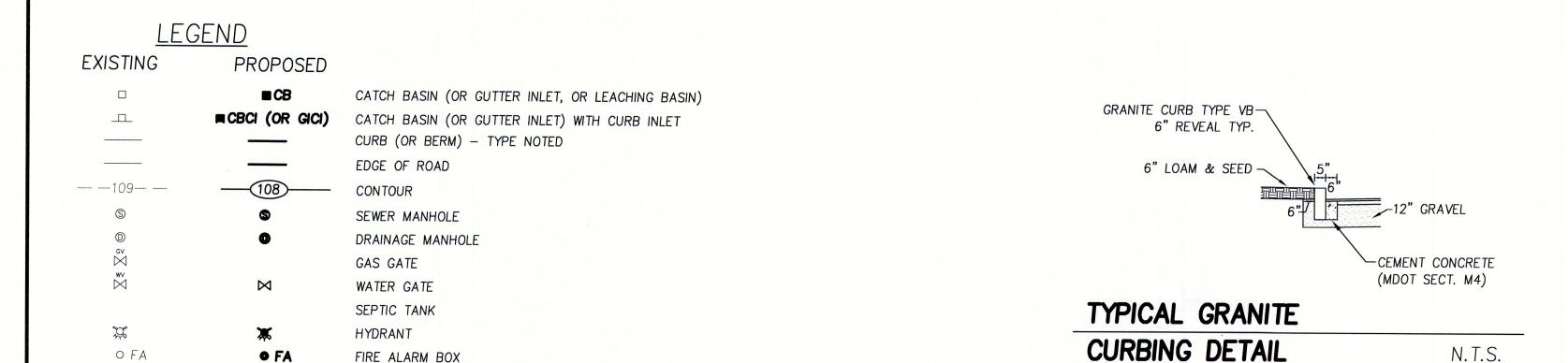
● I ROD

FND.

N/FND.

• • •

N.T.S.



BOARD RULES AND REGULATIONS, III. SITE PLAN REVIEW.

"LEVEL LANDING"-7.5% 2 FT WIDE DETECTABLE WARNING PANEL (SEE E.107.6.5R) GRANITE CURB-←GRANITE CURB **VARIES** 5.0 ft 6.5 ft MIN. HIGH SIDE LOW SIDE TRANSITION **TRANSITION**

NOTES:

- 1. RAMP CROSS SECTION TO BE SAME AS SIDEWALK; I.E. DEPTH OF SURFACE AND FOUNDATION.
- 2. PORTLAND CEMENT CONCRETE RAMPS ARE TO BE TEXTURED BY BROOMING IN A DIRECTION PARALLEL TO THE LENGTH OF THE RAMP.
- 3. BASE OF RAMP SHALL MEET PAVEMENT GUTTER SUCH THAT THERE IS NO DIFFERENCE IN ELEVATION. RAMP SHALL BE CONSTRUCTED SUCH THAT WATER DOES NOT "PUDDLE" AT THE BASE OF THE RAMP.
- 4. THE PAVEMENT AT THE BASE OF THE RAMP SHALL BE PART OF THE CONTINUOUS TOP COURSE. THE USE OF A "PAVEMENT PATCH" TO COMPLY WITH THE CONDITIONS IN NOTE 3, ABOVE IS PROHIBITED
- 5. RAMPS SHALL CONFORM TO MASS DOT WHEELCHAIR RAMP STANDARDS LATEST REVISION.

	-	6.5 ft LOW SIDE TRANSITION	-	"LEVEL ENTRANCE" 1.5% SLOPE FOR DR
				-DETECTABLE WARNING PANEL
	DECREASIN	G GRADE		
	NDWAY E GRADE	HIGH S TRANSITION		
%	G	ENGLISH	UNITS	
0	0.00	6'-6 7'-8		

0.02 0.03

0.04

>0.04

9'-0" 11'-0"

14'-0"

15'-0" MAX

7.5%

- PROPOSED GRANITE

1.5% SLOPE FOR DRAINAGE

TRANSITION EDGING (TYP.)

EXIST. BIT.

CONC. SIDEWALK

A.D.A. ACCESS RAMP DETAIL

N.T.S.

>4

SIDEWALK NOTES

SIDEWALKS SHALL BE FIVE FEET IN WIDTH FOR THEIR ENTIRE LENGTH, WITH A 1% CROSS SLOPE (1.5% MAX).

SIDEWALKS SHALL BE CONSTRUCTED WITH A 1.5" TYPE I-1 BITUMINOUS CONCRETE FINISH COURSE, A 1.5" TYPE I-1 BITUMINOUS CONCRETE BINDER COURSE OVER AN 8" GRAVEL BASE (MDOT M1.03.0 TYPE B).

WHERE SIDEWALKS TRAVERSE A DRIVEWAY. THE GRAVEL BASE SHALL BE 12" THICK.

MATERIAL NOTES

ALL MATERIALS OF THE ELEMENTS IN THE SITE PLAN MUST CONFORM TO THE FOLLOWING STANDARDS:

- 1. COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES (LATEST EDITION)
- 2. 521 CMR RULES AND REGULATIONS OF THE ARCHITECTURAL ACCESS BOARD
- (AAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA) 3. SPECIFICATIONS BY THE TOWN OF SALISBURY AS SET FORTH BY SECTION 7
- DESIGN STANDARDS IN THE PLANNING BOARD RULES AND REGULATIONS
- GOVERNING THE SUBDIVISION OF LAND, DATED NOVEMBER 1, 2013 4. UTILITIES INSTALLED PER PENNICHUCK WATER SERVICE CORPORATION

ROADWAY NOTES

- 1.) ALL STUMPS, ROCKS AND LEDGE WITHIN THE LIMITS OF THE PROPOSED PAVED WAY SHALL BE REMOVED. ALL LEDGE SHALL BE REMOVED TO A MINIMUM DEPTH OF 2' BELOW FINISHED PAVEMENT GRADE.
- 2.) ROADWAY SHALL NOT BE CONSTRUCTED DURING FREEZING WEATHER OR ON WET OR FROZEN SUBGRADE.
- 3.) GRADING AND ROLLING SHALL BE REQUIRED TO PROVIDE A SMOOTH, EVEN, AND
- UNIFORM COMPACTED BASE WHICH IS COMPACTED TO A MINIMUM DRY DENSITY OF 95 PERCENT.
- 4.) THE MINIMUM SLOPE FROM THE CROWN OF FINISHED BASE COURSE SHALL BE 1/4"PER FOOT UNLESS OTHERWISE SHOWN.
- 5.) ALL UNSUITABLE MATERIAL SHALL BE EXCAVATED AND REPLACED WITH SATISFACTORY MATERIAL AND BROUGHT UP TO GRADE WITH GRAVEL BORROW CONTAINING NO
- STONES GREATER THAN 6" DIAMETER. 6.) AT ALL TIMES DURING CONSTRUCTION, THE SUB-GRADE AND ALL DITCHES SHALL BE
- CONSTRUCTED AND MAINTAINED SO THAT THE ROADWAY WILL EFFECTIVELY BE DRAINED.
- 7.) THE CONTRACTOR SHALL REFER TO THE SALISBURY PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, SECTIONS I - VII.

GENERAL NOTES

- THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS. ANY PROPOSED REVISIONS TO THE WORK SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND REGULATING CITY AND/OR STATE AGENCIES.
- 2. THE CONTRACTOR SHALL INSTALL ALL SYSTEM COMPONENTS IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND ALL APPLICABLE ELECTRICAL, PLUMBING, AND SANITARY CODES.
- 3. ALL WORK SHALL CONFORM TO; THE SALISBURY PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, THE WETLANDS PROTECTION ACT (310 CMR 10.00), THE ORDER OF CONDITIONS ISSUED BY THE SALISBURY CONSERVATION COMMISSION, TOWN OF SALISBURY ZONING CODE, CHAPTER 300. ZONING; ARTICLE III. USE REGULATIONS; ARTICLE IV. DIMENSIONAL REGULATIONS; TABLE C-4. OFF STREET PARKING STANDARDS; ARTICLE XVIII. SITE PLAN REVIEW; CHAPTER 465. PLANNING BOARD, §465 10-13; AND PLANNING
- 4. THE LOCATION OF ALL UTILITIES, AS SHOWN ON THESE PLANS, ARE BASED UPON PLANS AND RECORD INFORMATION PROVIDED BY MUNICIPAL AND PRIVATE UTILITY COMPANIES AND ARE CONSIDERED APPROXIMATE BOTH AS TO SIZE AND LOCATION. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UTILITIES ARE SHOWN. THE CONTRACTOR SHALL NOT RELY ON THESE PLANS FOR SUCH INFORMATION AND WILL MAKE EXAMINATIONS IN THE FIELD BY VARIOUS AVAILABLE RECORDS, UTILITY COMPANIES AND INDIVIDUALS, AS TO THE LOCATION OF ALL SUBSURFACE STRUCTURES.
- 5. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES BY CONTACTING "DIG-SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION. DIG-SAFE TELEPHONE NUMBER: 1-888-344-7233.
- 6. THE CONTRACTOR SHALL FIELD CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE NEW WORK. HE/SHE SHALL EXCAVATE TO VERIFY PERTINENT DRAINAGE INVERTS AND POTENTIAL UTILITY CONFLICTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
- 7. ALL EXISTING STRUCTURES AND SURFACES, UNLESS OTHERWISE SHOWN, SHALL BE COMPLETELY REMOVED FROM THE AREAS OF WORK. ALL TREES SCHEDULED FOR REMOVAL SHALL BE FIELD MARKED AND APPROVED FOR REMOVAL BY THE OWNER PRIOR TO CUTTING OPERATIONS.
- 8. THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF THE PUBLIC, EMPLOYEES, AND ALL OTHER PERSONS ASSOCIATED WITH THE PROJECT. HE/SHE SHALL COORDINATE AND BE RESPONSIBLE FOR ALL SAFETY SIGNING, BARRIERS AND TEMPORARY PAVEMENT MARKINGS NECESSARY TO PROVIDE A SMOOTH AND PROPER TRANSITION FOR TRAFFIC FLOW.

- 9. IF REQUIRED BY THE CONTRACTOR, OVERHEAD LINES SHALL BE RELOCATED BY THE UTILITY COMPANY AT THE CONTRACTORS EXPENSE.
- 10. ALL SEWER MAINS AND SERVICES SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY OR 18 INCHES VERTICALLY FROM PROPOSED WATER MAINS AND SERVICES AND SHALL MAINTAIN 5 FEET OF COVER OVER THE TOP OF THE PIPING, UNLESS OTHERWISE SHOWN OR APPROVED. PIPES SHALL BE ENCASED IN CONCRETE WHERE THIS SEPARATION CANNOT BE OBTAINED.
- 11. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 5 FEET OF COVER OVER THE TOP OF THE PIPE, UNLESS OTHERWISE SHOWN
- 12. WHENEVER SEWER MAINS MUST CROSS WATER MAINS, THE SEWER SHALL BE CONSTRUCTED AS FOLLOWS; A) JOINTS SHALL BE MECHANICAL TYPE WATER PRESSURE RATED WITH ZERO LEAKAGE WHEN TESTED AT 25 PSI FOR GRAVITY SEWERS AND 1.5 TIMES WORKING PRESSURE FOR FORCE MAINS AND JOINTS NOT TO BE LOCATED WITHIN 9 FEET OF THE CROSSING; B) SEWER SERVICES SHOULD BE INSTALLED A MINIMUM OF 18 INCHES BELOW WATER MAINS. IF SEPARATION IS LESS THAN 18 INCHES, SEWER SERVICE SHALL BE CONCRETE ENCASED OR CONSTRUCTED WITH PRESSURE CLASS PVC FOR A DISTANCE OF 10 FEET EACH SIDE OF THE WATER MAIN. 10-FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE SHALL BE MAINTAINED.

SCALE: 1"=20'

DATE: JUN. 3, 2021

- 13. INDIVIDUAL BUILDING OWNERS ARE RESPONSIBLE FOR MAINTENANCE OF THEIR SEWER SERVICE FROM THE BUILDING TO THE CONNECTION TO THE SEWER MAIN.
- 14. ALL SIGNS AND PAVEMENT MARKINGS TO BE INSTALLED WITHIN THE PROJECT SITE SHALL CONFORM TO THE APPLICABLE SPECIFICATIONS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- 15. 14 DAYS PRIOR TO COMMENCING CONSTRUCTION, THE OWNER/DEVELOPER SHALL PRESENT A CONSTRUCTION SCHEDULE TO THE PLANNING DEPARTMENT.
- 16. THE OWNER/DEVELOPER SHALL SUBMIT TWO HARD COPIES OF AS-BUILT DRAWINGS TO THE PLANNING BOARD PRIOR TO FINAL OCCUPANCY. AS BUILTS SHALL INCLUDE ALL LANDBASE AND UTILITIES INFORMATION.
- 17. ONSITE BURIAL OF STUMPS OR ANY OTHER DEBRIS IS PROHIBITED.
- 18. THE PROPERTY LIES WITHIN THE 100-YEAR FLOOD PLAIN (ZONE AE, ELEV. 9) ACCORDING TO F.I.R.M. COMMUNITY PANEL NUMBER 25009C 0129F.
- 19. ALL ELEVATIONS ARE BASED ON N.A.V.D. 1988.

CHRISTOPHER M CIVIL No. 49181

TOM PATENAUDE

PREPARED FOR

P.O. BOX 5 NORTH ANDOVER, MA 01845

	201		
4	1/3/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
3	8/5/21	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
2	7/22/21	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
1	6/23/21	ADDRESS PLANNING COMMENTS	C.M.Y.
NO.	DATE	DESCRIPTION	BY

MILLENNIUM ENGINEERING, INC. ENGINEERING AND LAND SURVEYING 62 ELM ST. SALISBURY, MA 01952 (978) 463-8980 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

DESG. BY: C.M.Y.

CHKD. BY: F.W.B.

ROJECT: M203759

SALISBURY, MA SHOWING

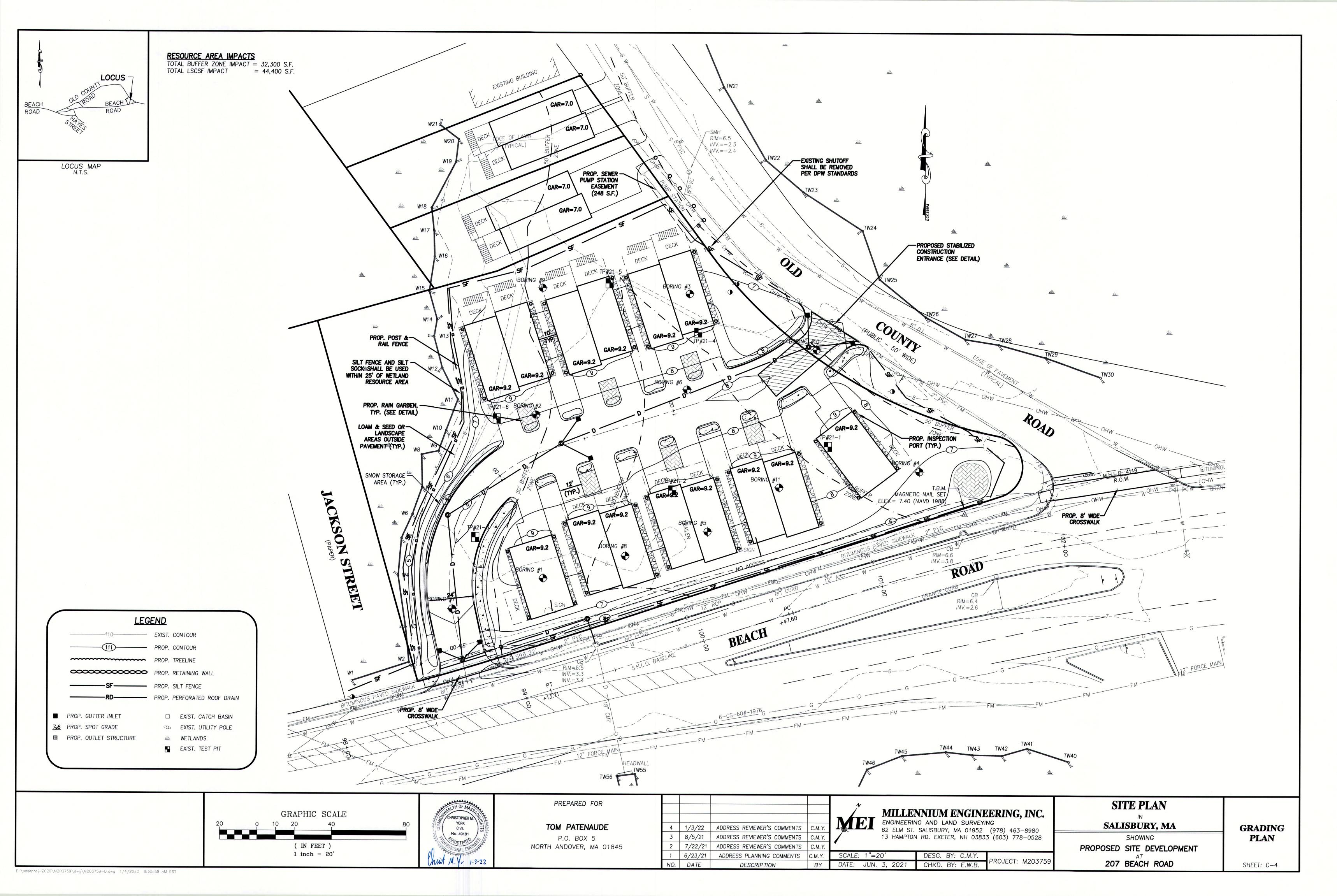
SPECIFICATIONS

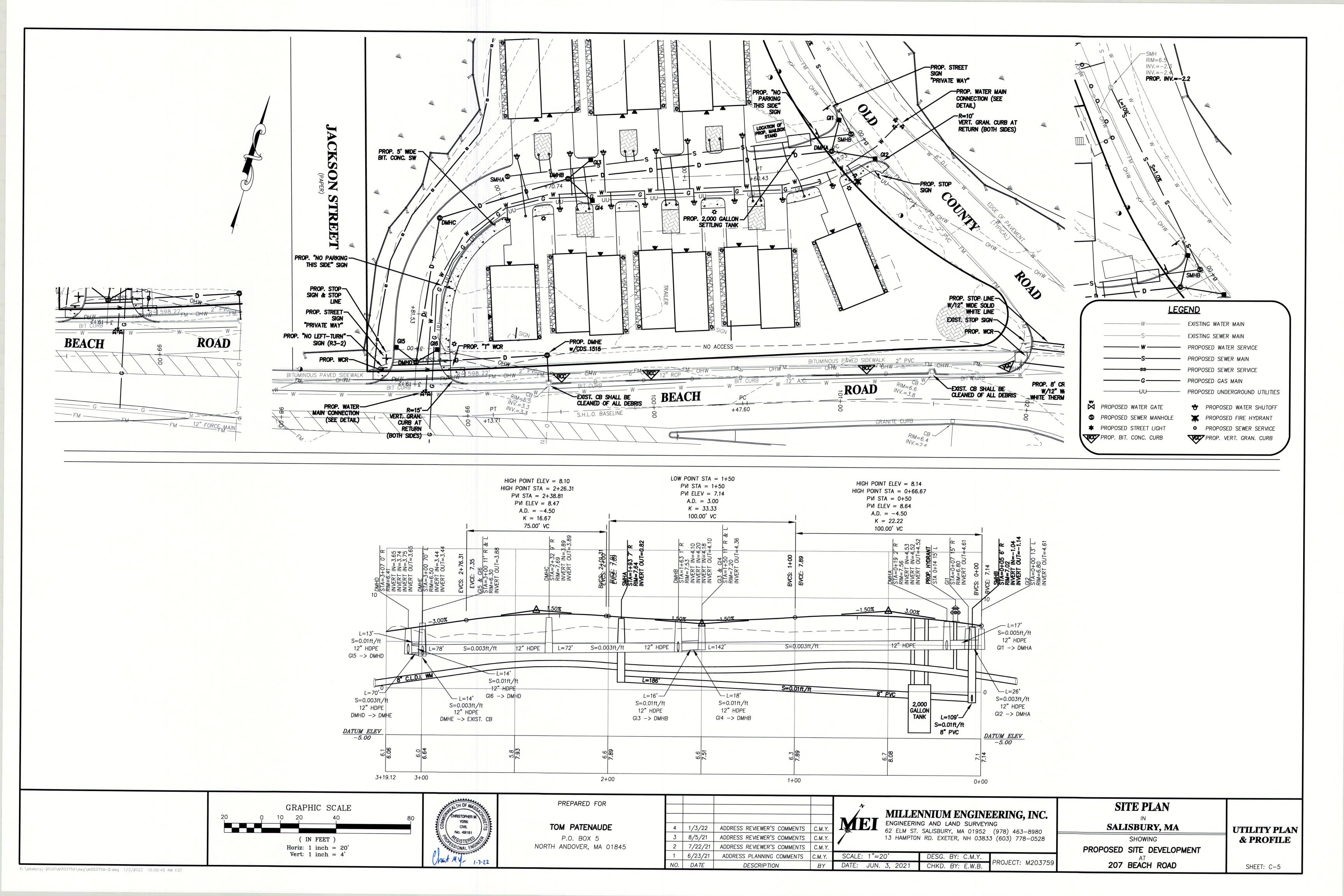
PROPOSED SITE DEVELOPMENT 207 BEACH ROAD

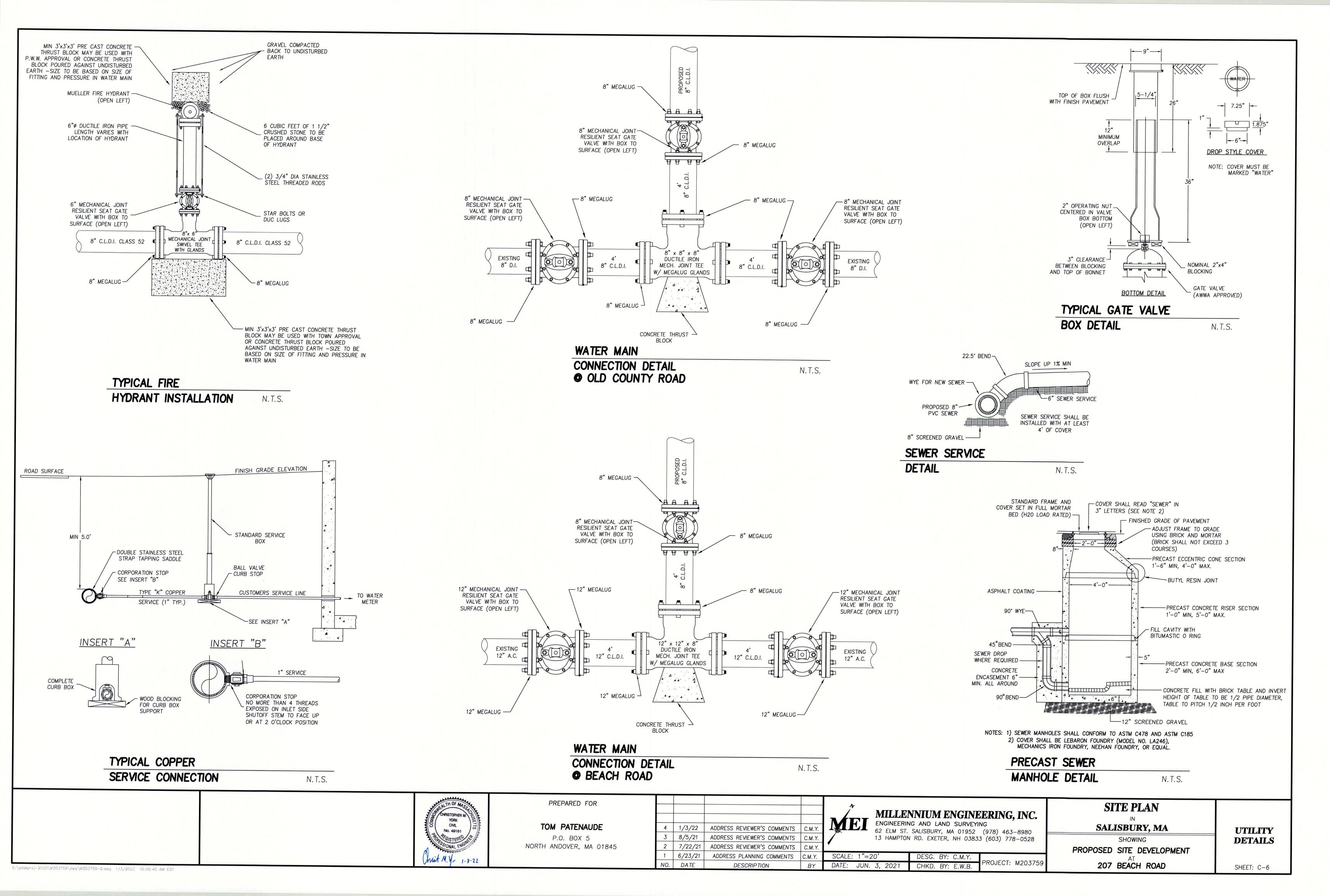
SITE PLAN

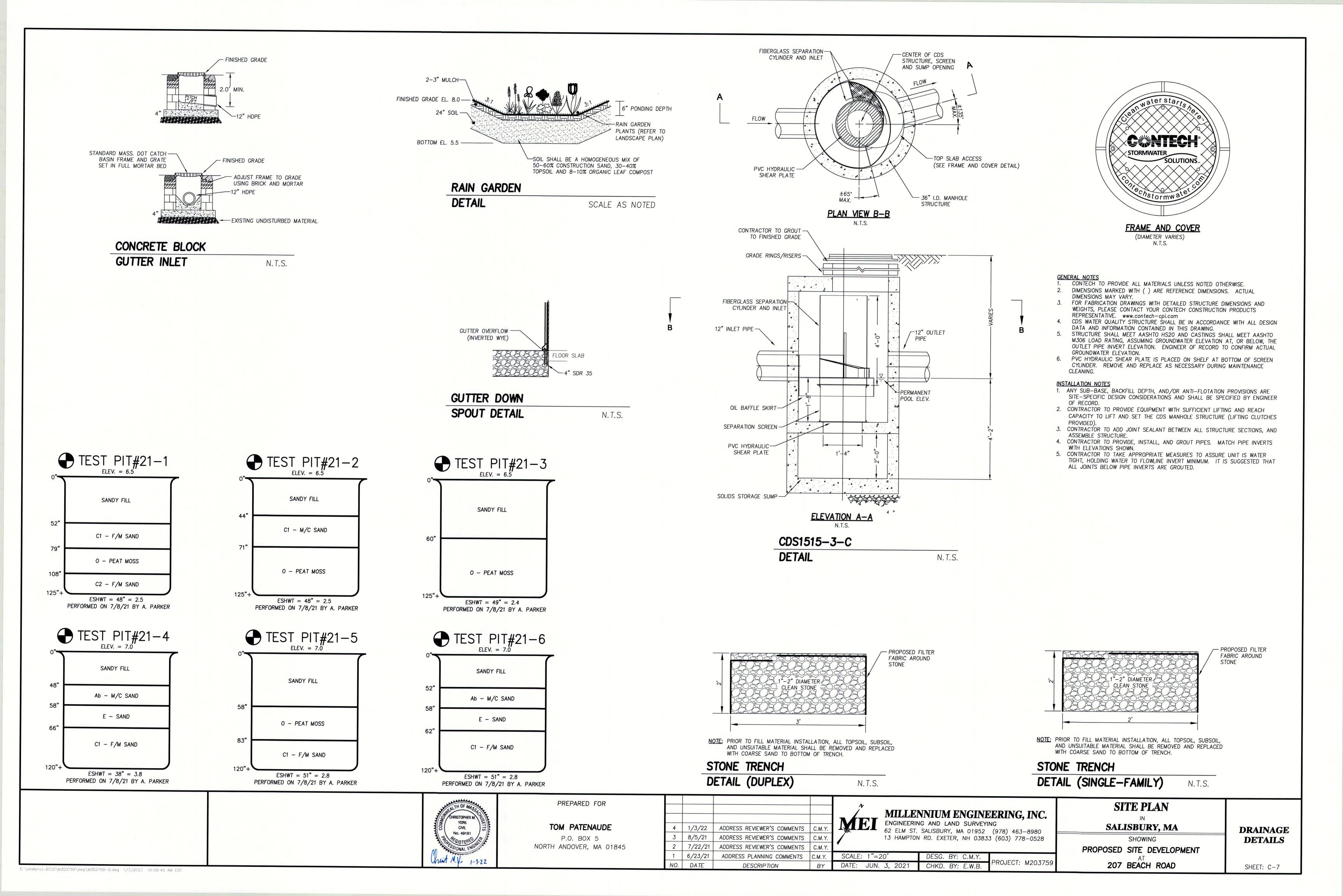
TYPICAL SECTIONS/ LEGEND/ **GENERAL NOTES** SHEET: C-3

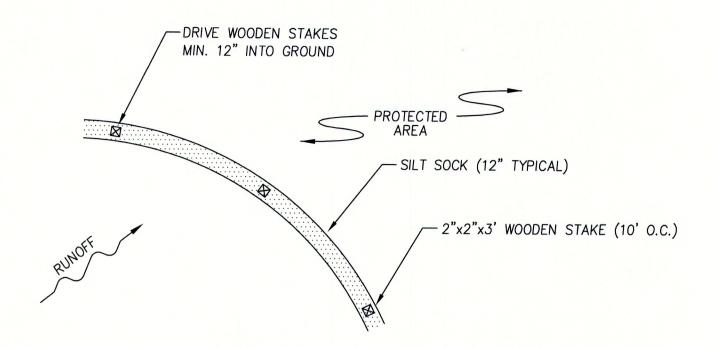
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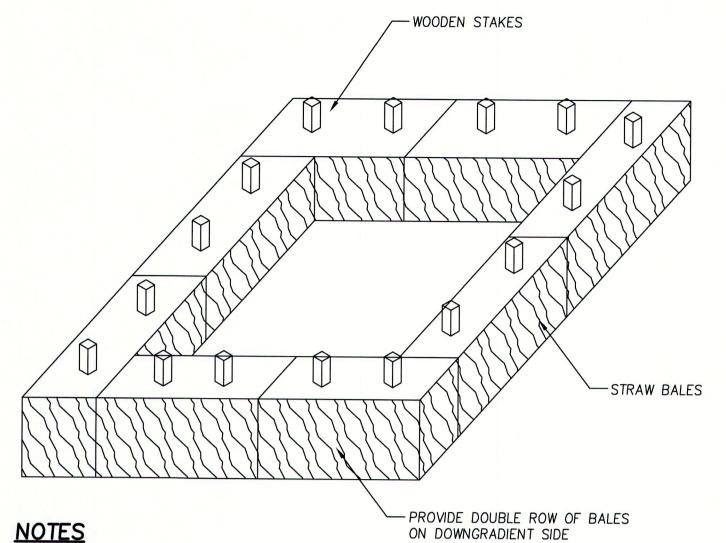


<u>NOTES</u>

- 1. ALL MATERIAL SHALL MEET SPECIFICATIONS BY FILTREXX OR APPROVED EQUAL.
- 2. SILT SOCK SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- 3. THE CONTRACTOR SHALL REMOVE SEDIMENT AT THE BASE OF THE UPSLOPE SIDE OF THE SILT SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE SILT SOCK.
- SILT SOCK SHALL BE MAINTAINED UNTIL DISTURBED AREA ABOVE THE DEVICE HAS BEEN PERMANENTLY STABILIZED AND CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
- SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE SOCK HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

SILT SOCK INSTALLATION

N.T.S.

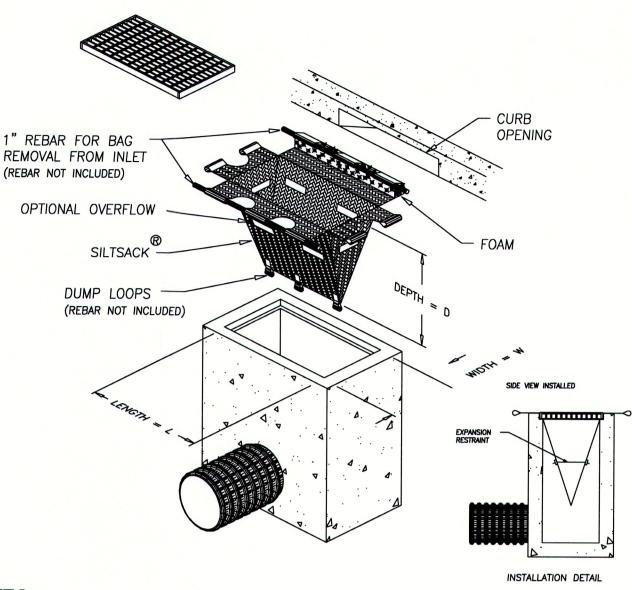


1. DURING THE ACTIVE DEWATERING PROCESS, THE STRUCTURE SHALL BE INSPECTED FREQUENTLY (E.G. ONCE PER HOUR).

2. SEDIMENT BUILDUP SHOULD BE REMOVED PERIODICALLY TO ENSURE THAT THE STRUCTURE'S ABILITY TO EFFECTIVELY FILTER SEDIMENT IS MAINTAINED.

TYPICAL DEWATERING DETAIL

N.T.S.



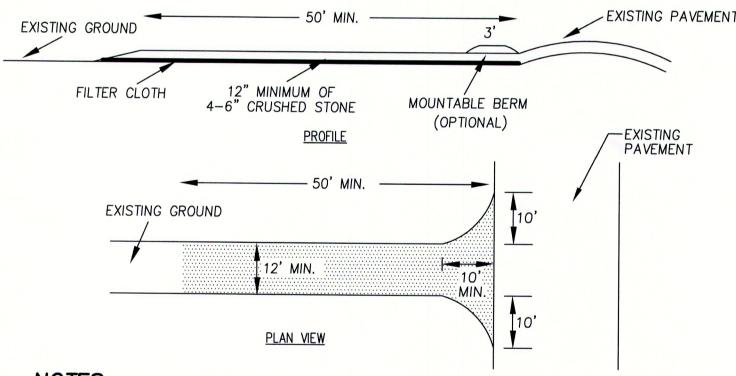
NOTES

- 1. TO INSTALL SILTSACK IN THE CATCH BASIN, REMOVE THE GRATE AND PLACE THE SACK IN THE OPENING. HOLD APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME. THIS IS THE AREA OF THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
- 2. WHEN THE RESTRAINT CORD IS NO LONGER VISIBLE, SILTSACK IS FULL AND SHOULD BE EMPTIED. 3. TO REMOVE SILTSACK, TAKE TWO PIECES OF 1" DIAMETER REBAR AND PLACE THROUGH THE LIFTING LOOPS
- ON EACH SIDE OF THE SACK TO FACILITATE THE LIFTING OF SILTSACK. 4. TO EMPTY SILTSACK, PLACE UNIT WHERE THE CONTENTS WILL BE COLLECTED. PLACE THE REBAR THROUGH THE LIFT STRAPS (CONNECTED TO THE BOTTOM OF THE SACK) AND LIFT. THIS WILL LIFT SILTSACK FROM THE BOTTOM AND EMPTY THE CONTENTS. CLEAN OUT AND RINSE. RETURN SILTSACK TO ITS ORIGINAL
- SHAPE AND PLACE BACK IN THE BASIN 5. SILTSACK IS REUSABLE. ONCE THE CONSTRUCTION CYCLE IS COMPLETE, REMOVE SILTSACK FROM THE BASIN AND CLEAN. SILTSACK SHOULD BE STORED OUT OF SUNLIGHT UNTIL NEXT USE.

SILT SACK

DETAIL

N.T.S.



NOTES

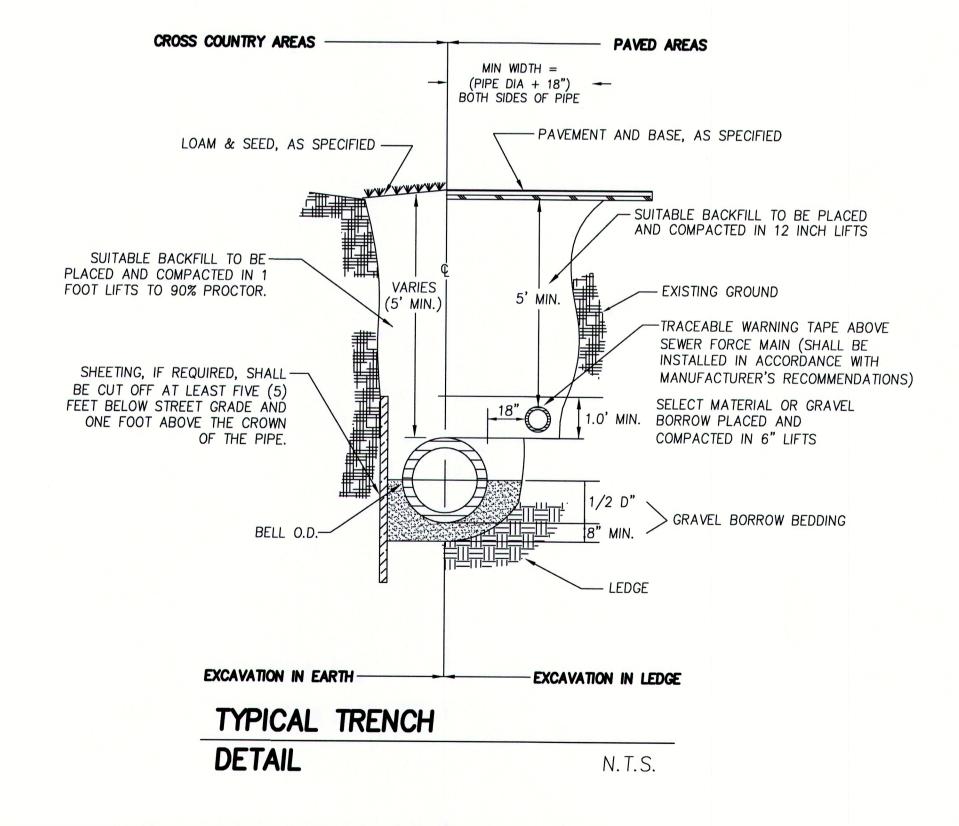
LESS THAN 12"

- STONE SHALL BE 4-6" CRUSHED STONE OR RECLAIMED STONE.
- 2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50'. 3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE
- 4. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
- 5. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- 6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP-DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR
- TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED PROMPTLY. WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

STABILIZED CONSTRUCTION

ENTRANCE

N.T.S.



GENERAL EROSION CONTROL NOTES

- 1. ALL EROSION CONTROL SHALL BE INSTALLED BEFORE THE START OF CONSTRUCTION. EROSION CONTROL SHALL BE REMOVED UPON COMPLETION OF THE PROJECT AND STABILIZATION OF ALL SOIL.
- 2. ALL FILL SHALL BE FREE OF STUMPS AND LARGE STONES.
- 3. ANY STANDING BODIES OF WATER CREATED DURING EXCAVATION SHALL BE ELIMINATED. 4. EROSION CONTROL BARRIERS SHALL BE INSPECTED WEEKLY AND AFTER EVERY 0.5" OF
- RAINFALL AND PROMPTLY REPAIRED OR REPLACED AS NECESSARY.
- 5. ACCUMULATED SEDIMENT DEPOSITS UPSTREAM OF BARRIERS SHALL BE PROPERLY DISPOSED OF ON A REGULAR BASIS. 6. AREAS OUTSIDE THE LIMITS OF WORK (EROSION CONTROL/SILT FENCE LOCATIONS) DISTURBED BY THE
- CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE EXPENSE OF THE CONTRACTOR. 7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EROSION AND/OR SEDIMENT CONTROLS
- DURING CONSTRUCTION. HE/SHE SHALL INSPECT CONTROLS WEEKLY AND AFTER ALL STORM EVENTS. REPAIRS, IF REQUIRED, SHALL BE MADE IMMEDIATELY.
- 8. TEMPORARY GROUND COVER SHALL BE ESTABLISHED IN AREAS OF CONSTRUCTION WHERE REQUIRED BY THE SALISBURY CONSERVATION COMMISSION.
- 9. ANY DISTURBED AREAS OF THE SITE NOT USED FOR ROADWAY OR UTILITY CONSTRUCTION SHALL BE STABILIZED WITH LOAM AND SEED UNTIL FURTHER DISTURBANCE IS REQUIRED FOR BUILDING CONSTRUCTION.
- 10. PROVIDE GRAVEL AND WIRE MESH SEDIMENT FILTER AT ALL CATCH BASINS.
- 11. A MINIMUM OF 6" OF LOAM SHALL BE INSTALLED ON ALL DISTURBED UNPAVED SURFACES. 12. PERMANENT SEED MIX SHALL BE MA STATE SLOPE MIXTURE (50% CREEPING RED FESCUE, 30% KENTUCKY 31 TALL FESCUE, 10% ANNUAL RYEGRASS, 5% RED TOP, 5% LADINO CLOVER) AND MA STATE PLOT MIXTURE (50% CREEPING RED FESCUE, 25% 85/80 KENTUCKY BLUEGRASS, 10% ANNUAL RYEGRASS, 10% RED TOP, 5% LADINO CLOVER)
- 13. NO MORE THAN 3 ACRES SHALL BE DISTURBED AT ONE TIME. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- 14. WHERE PLACEMENT OF FILL IS REQUIRED FOR STORM WATER CONTROL, FILL SHALL BE PLACED IN AN UNFROZEN STATE UPON UNFROZEN GROUND. UNDER NO CIRCUMSTANCES SHALL FILL BE PLACED FROM NOVEMBER THROUGH JANUARY.
- 15. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED: BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED; A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED; A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR EROSION CONTROL
- BLANKETS HAVE BEEN PROPERLY INSTALLED. 16. ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCT. 15TH, OR WHICH ARE DISTURBED AFTER OCT. 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- 17. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCT. 15TH, OR WHICH ARE DISTURBED AFTER OCT. 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

SCALE: 1"=20'

DATE: JUN. 3, 2021

CONSTRUCTION **SEQUENCE**

- INSTALL EROSION CONTROL AT LIMIT OF WORK. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AS DEPICTED.
- CLEAR AND GRUB DEBRIS TO PHASE LINE AND DISPOSE OF PROPERLY. 4. STRIP, SCREEN AND STOCKPILE TOPSOIL. TOPSOIL CAN BE TEMPORARILY STOCKPILED ON SITE PROVIDING THAT THE PERIMETER OF THE STOCKPILES ARE PROPERLY STAKED
- WITH SILT FENCE AT THE TOE OF SLOPE. 5. GRADE PAVEMENT TO TOP OF SUBGRADE ELEVATIONS. ALL ROADWAYS MUST BE
- STABILIZED IMMEDIATELY AFTER GRADING.
- BEGIN BUILDING CONSTRUCTION.
- INSTALL UTILITIES/DRAINAGE STRUCTURES.
- 8. LOAM AND HYDROSEED SIDESLOPES AND ALL DISTURBED AREAS WITHIN 72 HOURS. 9. SPREAD, SHAPE, AND COMPACT PAVEMENT SUBBASE AS PER TYPICAL PAVEMENT SECTION TO ATTAIN FINAL DESIGN ELEVATIONS.
- 10. PERFORM BINDER COURSE PAVING. 11. LOAM AND HYDROSEED ANY DISTURBED SURFACES ALONG EDGES OF PAVEMENT AS
- REQUIRED.
- 12. PERFORM FINAL PAVING (TOP COURSE).
- 13. REMOVE EROSION CONTROL.

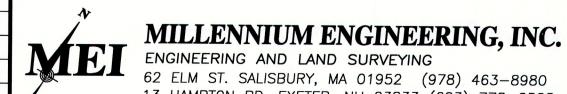
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Christ	HM.Y.	1-3-

TOM PATENAUDE P.O. BOX 5

NORTH ANDOVER, MA 01845

PREPARED FOR

4	1/3/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
3	8/5/21	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
2	7/22/21	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
1	6/23/21	ADDRESS PLANNING COMMENTS	C.M.Y.
NO.	DATE	DESCRIPTION	BY



DESG. BY: C.M.Y.

CHKD. BY: E.W.B.

13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

ROJECT: M203759

SALISBURY, MA SHOWING PROPOSED SITE DEVELOPMENT 207 BEACH ROAD

SITE PLAN

EROSION CONTROL **DETAILS**

SHEET: C-8

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6548

2156

2156

1970LED-

4ARC45T3-

MDL03-FG.IES

S540-XRLED-

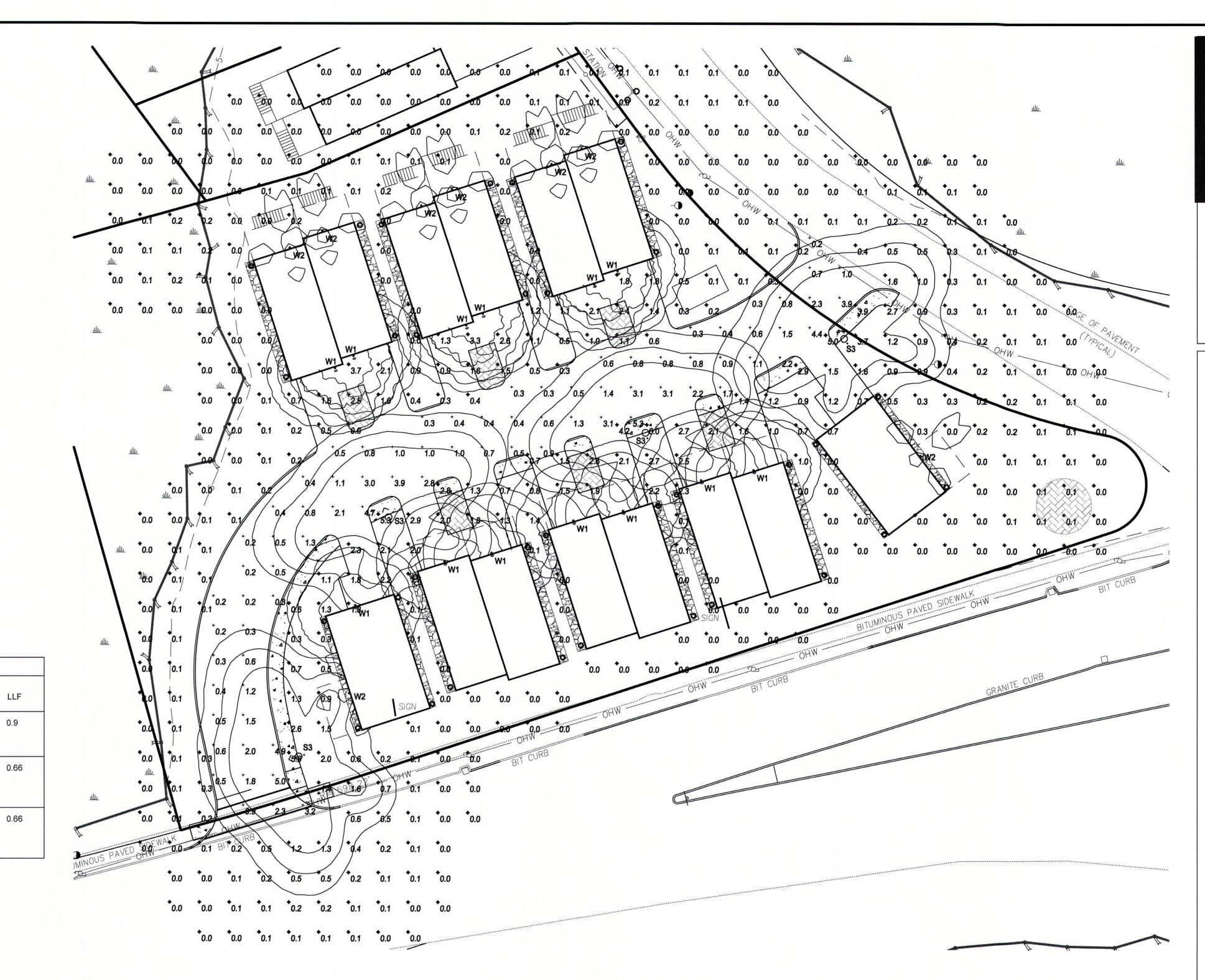
S540-XRLED-

9L45T5-MDL07-

-CSA.IES

-CSA.IES

9L45T5-MDL07-



$\mathbf{\Omega}$ Site 20

mounted at 16ft **Statistics** Symbol Avg Max Min Max/Min Avg/Min Description Outside of Roadway 0.2 fc 3.7 fc 0.0 fc N/A N/A 1.3 fc Roadway 3.0 fc 0.3 fc 10.0:1

1A 1970LED S

MDL07-CSA

MDL07-CSA

4ARC45T3 MDL03 FG

S540-XRLED-9L45T5-

S540-XRLED-9L45T5-





S540-XRLED SEVILLE SERIES

LED

See Pole

Spec Sheets

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QTY Manufacturer

4 Sternberg

14 Sternberg

8 Sternberg

Ò

S3

Lighting

WARRANTY

LUMEN LIFE SPAN UL CLICK
RANGE L70 LISTED FOR FAQ'S
5,075 to MINIMUM
16,420 100,000 (UL) FAQ HOURS

BUILD A PART NUMBER

1970 Gallery fixture, Flat

Glass (AR), Type 3;

Seville Series 4 sided

decorative lantern, Clear

Seeded Acrylic, Type 5;

Seville Series 4 sided

decorative lantern, Clear

Seeded Acrylic, Type 5;

mounted at 14ft

mounted at 6ft

JOB NAME

20.000								D A PAR	TNUM	IBER						
ORDE	RING	EXAM	PLE:	2/4-1	9701	ED-5	-GR-4	4ARC45T	5-MDL	03 -5V	1-R7-PE	-HSHN/C	A6/5218	P5/UBK		
Fixture	Shade Edge	Top Feature	LED	сст	Туре	Driver	Lens	Optional Control Receptacle	Optional Control	Option Fuse	Option Hang- straight	Option House Side Shiield	Arm See Arm Speci Sheets	Pole See Fole Speci Sheets	Finish	Mc C
	2.▼.	*	Ŧ	*	Ŧ	÷	Ŧ	•	Ŧ	<u>></u> ▼.	7	XX				

FAQ

FIXTURE TYPE

MEMO

JOB NAME

BUILD A PART NUMBER ORDERING EXAMPLE: 2A-S540-XRLED-9L45T5-MDL07-CSA-FHD/491PM/1610TFP5/BKT Option House Side Option Fuse LED Fixture CCT Lens See Arm Spec Sheets

LUMEN LIFE SPAN UL RANGE L70 LISTED

WARRANTY RANGE

1,345 to

1.05 (ft²)

WEIGHT 24 LBS

Drawing No. Summary

Designer

Date

Scale

1"=20'

1/3/2022

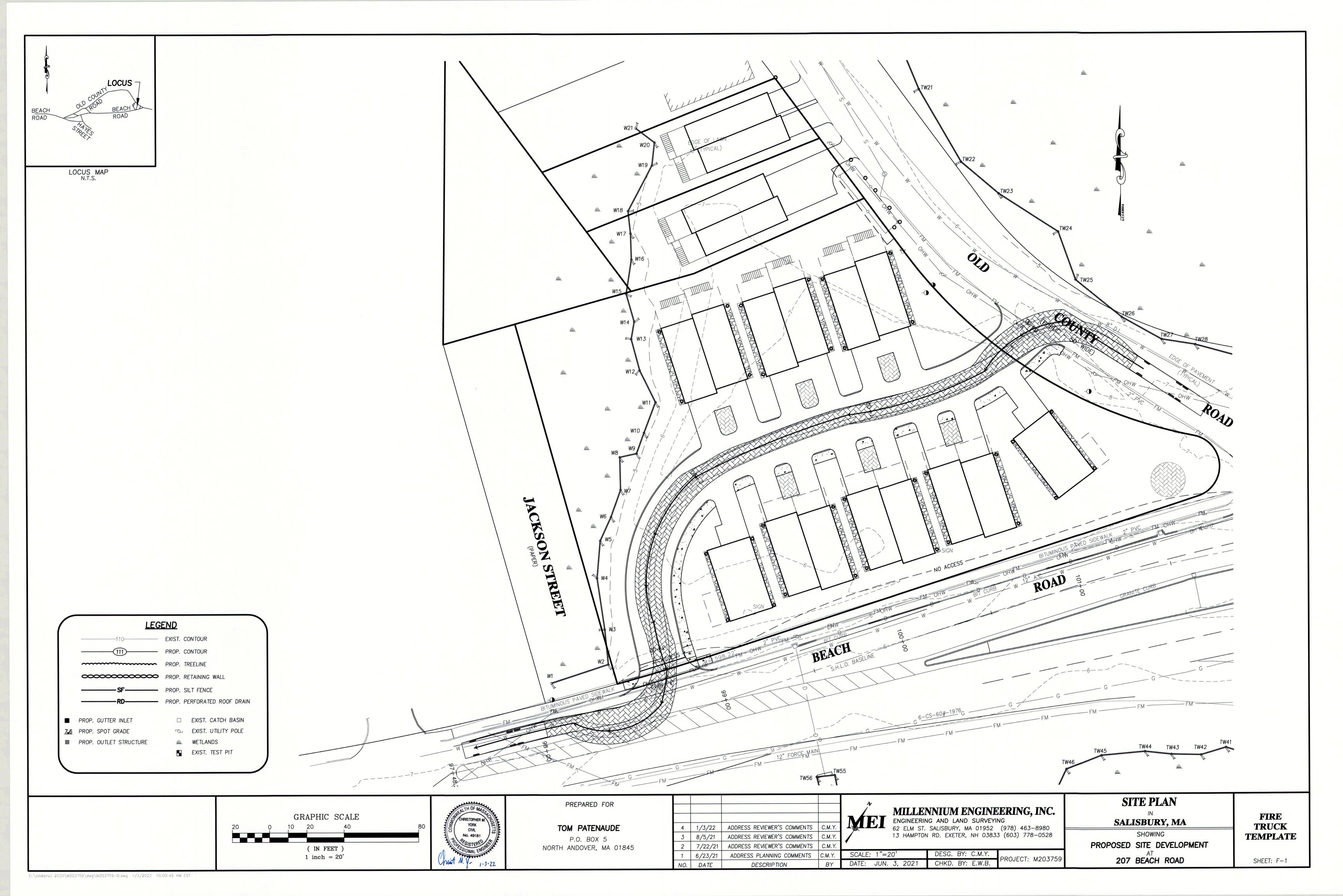
Heidi G. Connors

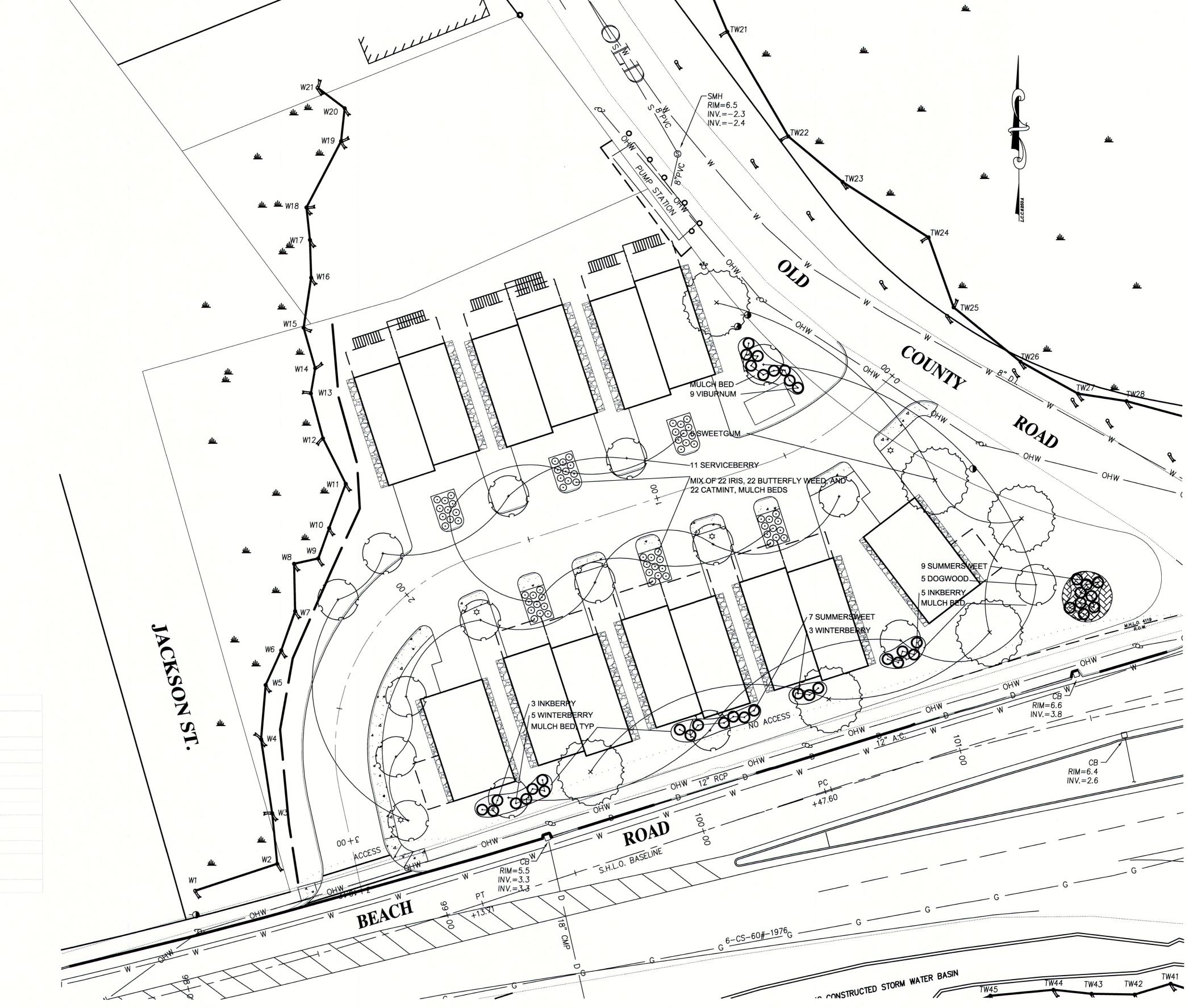
Visible Light, Inc.

24 Stickney Terrace

Hampton, NH 03842

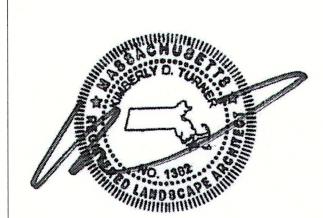
E-1

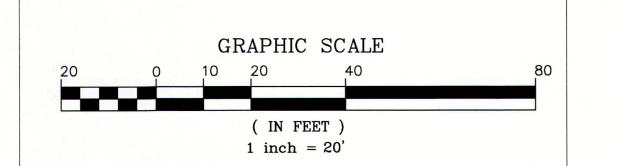




Notes:
1. Planting period shall be noted as March15-May 15 and Sept 15-Nov 15, weather permitting.
2. Owner is responsible for maintaining live vegetation and the maintenance, removal, and replacement of all dead trees, shrubs, groundcover, and perennials.

Plant	List			
Qty.	Scientific Name	Common Name	Size	Notes
Trees				
	11 Amelanchier canadensis	Serviceberry	2-2.5" cal.	
	5 Cornus x 'Rutban'	Dogwood	2-2.5" cal.	
	6 Liquidambar styraciflua	Sweetgum	2.5-3" cal.	
Shrubs				
	16 Clethra alnifolia	Summersweet	5 gal.	
	8 llex glabra	Inkberry	5 gal.	
	8 Ilex verticillata	Winterberry	5 gal.	
	9 Viburnum opulus	Cranberrybush Viburnum	5 gal.	
Perenn	ials			
	22 Asclepias tuberosa	Butterfly Weed	1 gal.	
	22 Iris versicolor	Flag Iris	1 gal.	
	22 Nepeta 'Walker's Low'	Catmint	1 gal.	





TOM PATENAUDE
P.O. BOX 5
NORTH ANDOVER, MA 01845

5	8/20/21	FOR REVIEW	KT
4	8/3/21	FOR REVIEW	KT
3	7/17/21	FOR REVIEW	KT
2	6/22/21	FOR REVIEW	KT
1	5/25/21	FOR REVIEW	KT
NO.	DATE	DESCRIPTION	BY

KDTurner Design landscape architecture	
27 High St. Newburyport, MA 01950 ph) 781.632.6004	
SCALE: 1"=20'	
DATE: MAY 20, 2021	

LANDSCAPE PLAN
IN
SALISBURY, MA
SHOWING
PROPOSED SITE DEVELOPMENT
AT
OLD COUNTY ROAD AND BEACH ROAD

L-1