

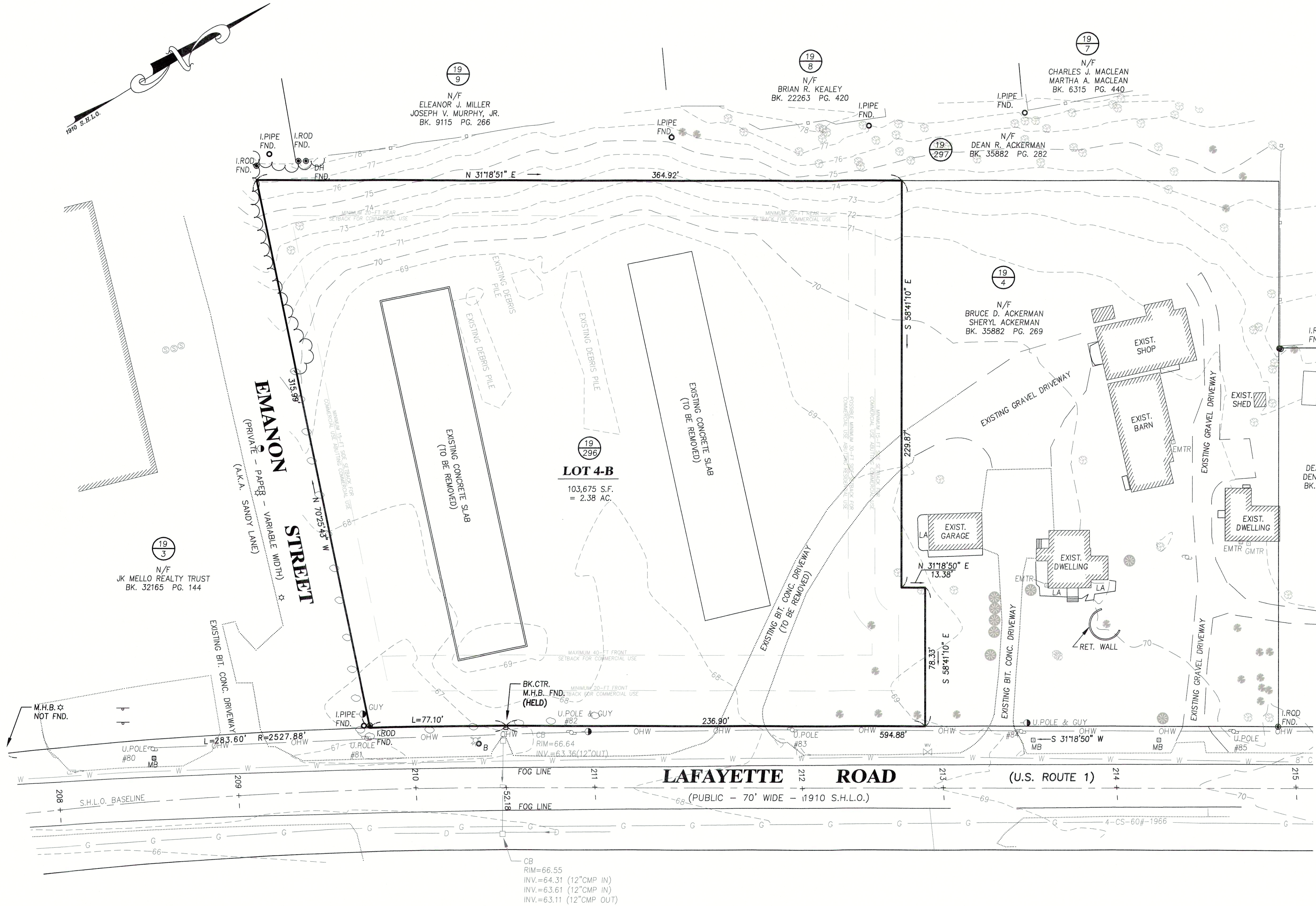
LOCUS MAP  
N.T.S.

**ZONING TABLE**

| 187 LAFAYETTE ROAD - ASSESSORS MAP 19 LOT 296<br>ZONING DISTRICT LAFAYETTE-MAIN COMMERCIAL-B |                |           |
|--|----------------|-----------|
|  | REQUIRED       | EXISTING  |
| LOT AREA:  | 1/2 AC.        | 2.38 AC.  |
| LOT FRONTAGE:  | 100 FT.        | 314.00 FT |
| FRONT SETBACK:   | 20 FT TO 40 FT | **        |
| SIDE SETBACK:  | 15 FT.         | **        |
| REAR SETBACK:  | 20 FT.         | **        |
| LOT COVERAGE:  | **             | **        |
| OPEN SPACE:  | 20%            | **        |
| BLDG HEIGHT:   | 45 FT.         | **        |

**LEGEND**

|          |                             |
|----------|-----------------------------|
| □ M.H.B. | MASSACHUSETTS HIGHWAY BOUND |
| ● D.H.   | DRILL HOLE                  |
| ● PK     | MASONRY NAIL                |
| ● I.P.   | IRON PIPE                   |
| ● I. ROD | IRON ROD                    |
| ● FND.   | FOUND                       |
| ● N/F    | NOW OR FORMERLY             |
| □ MB     | MAIL BOX                    |
| □ GMTR   | GAS METER                   |
| □ EMTR   | ELECTRIC METER              |
| □ U.POLE | UTILITY POLE                |
| ● GUY    | GUY                         |
| — D —    | DRAINAGE                    |
| — W —    | WATER                       |
| — G —    | GAS                         |
| — OHW —  | OVERHEAD WIRE               |
| — CMP —  | CORRUGATED METAL PIPE       |
| — CI —   | CAST IRON                   |
| — INV. — | INVERT                      |
| — OB —   | BOLLARD                     |
| — 70 —   | EXISTING CONTOUR ELEVATION  |
| ●        | CONIFEROUS TREE             |
| ●        | DECIDUOUS TREE              |
| □ CB     | CATCH BASIN                 |
| ⊙ DMH    | DRAIN MANHOLE               |
| ⊙        | HYDRANT                     |
| ⊙        | WATER VALVE                 |
| ⊙ LA     | LANDSCAPED AREA             |
| ⊙ 00     | ASSESSORS MAP#<br>PARCEL#   |



**BASIS OF BEARINGS**

1910 STATE HIGHWAY LAYOUT

**OWNER OF RECORD**

187 LAFAYETTE ROAD LLC  
BK. 37539 PG. 567

**PLAN REFERENCES**

1910 STATE HIGHWAY LAYOUT  
PLAN BK. 459 PLAN 78

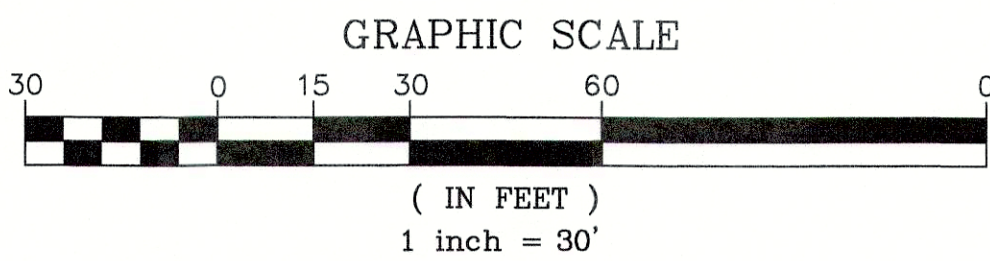
**NOTES:**

THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.

RECORD UTILITY INFORMATION HAS BEEN OBTAINED FOR LOCUS. VISIBLE SURFACE STRUCTURES HAVE BEEN LOCATED AND ARE SHOWN HEREON. SUBSURFACE UTILITY LINES ARE SHOWN FROM RECORD INFORMATION.

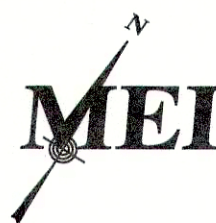
THE CERTIFICATIONS SHOWN HEREON ARE NOT INTENDED AS CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN OF SALISBURY ASSESSORS RECORDS.

I CERTIFY:  
THAT THIS ACTUAL SURVEY WAS MADE ON THE GROUND BETWEEN OCTOBER 21, 2019 AND JUNE 29, 2020, AND THAT THE STRUCTURES AND PHYSICAL FEATURES ARE LOCATED AS SHOWN TO THE BEST OF MY ABILITY AND BELIEF.



**PREPARED FOR**

ROOT & BLOOM, LLC  
P.O. BOX 1389  
NEWBURYPORT, MA 01950



**MILLENNIUM ENGINEERING, INC.**

ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

|                    |                  |                  |
|--------------------|------------------|------------------|
| SCALE: 1"=30'      | CALC. BY: S.F.R. | PROJECT: M193564 |
| DATE: MAY 19, 2020 | CHKD. BY: J.S.H. |                  |

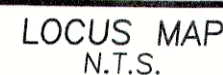
**PLAN OF LAND**  
IN  
**SALISBURY, MA**

SHOWING  
EXISTING CONDITIONS  
AT  
**187 LAFAYETTE ROAD**  
(MAP 19 - LOT 296)

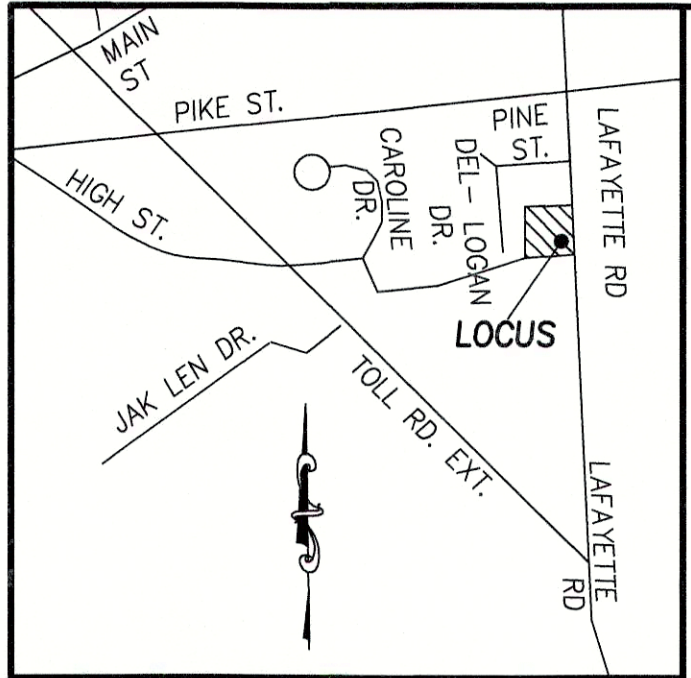
**EXISTING  
CONDITIONS**

SHEET: C-2

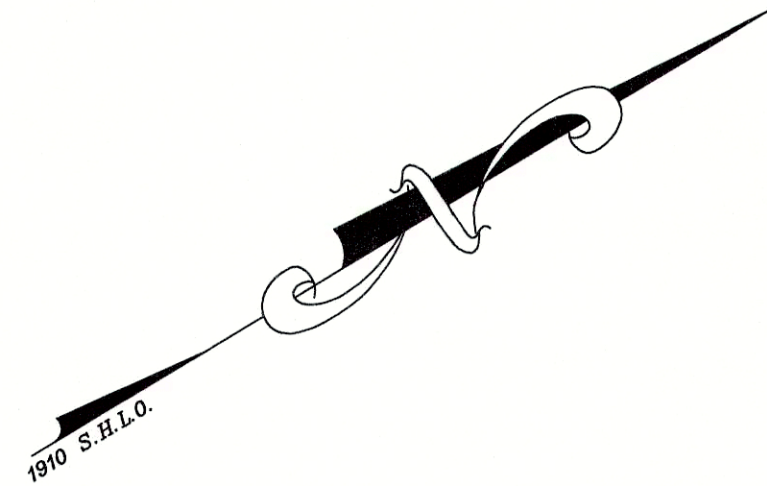








LOCUS MAP  
N.T.S.

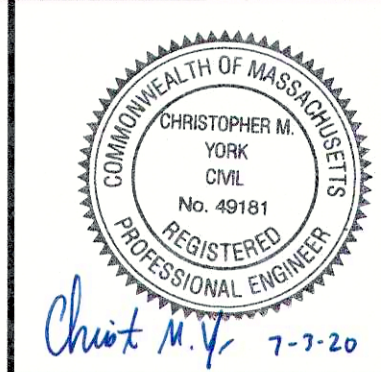
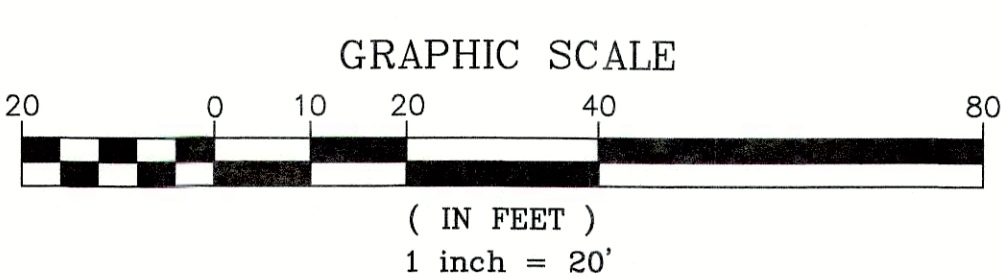
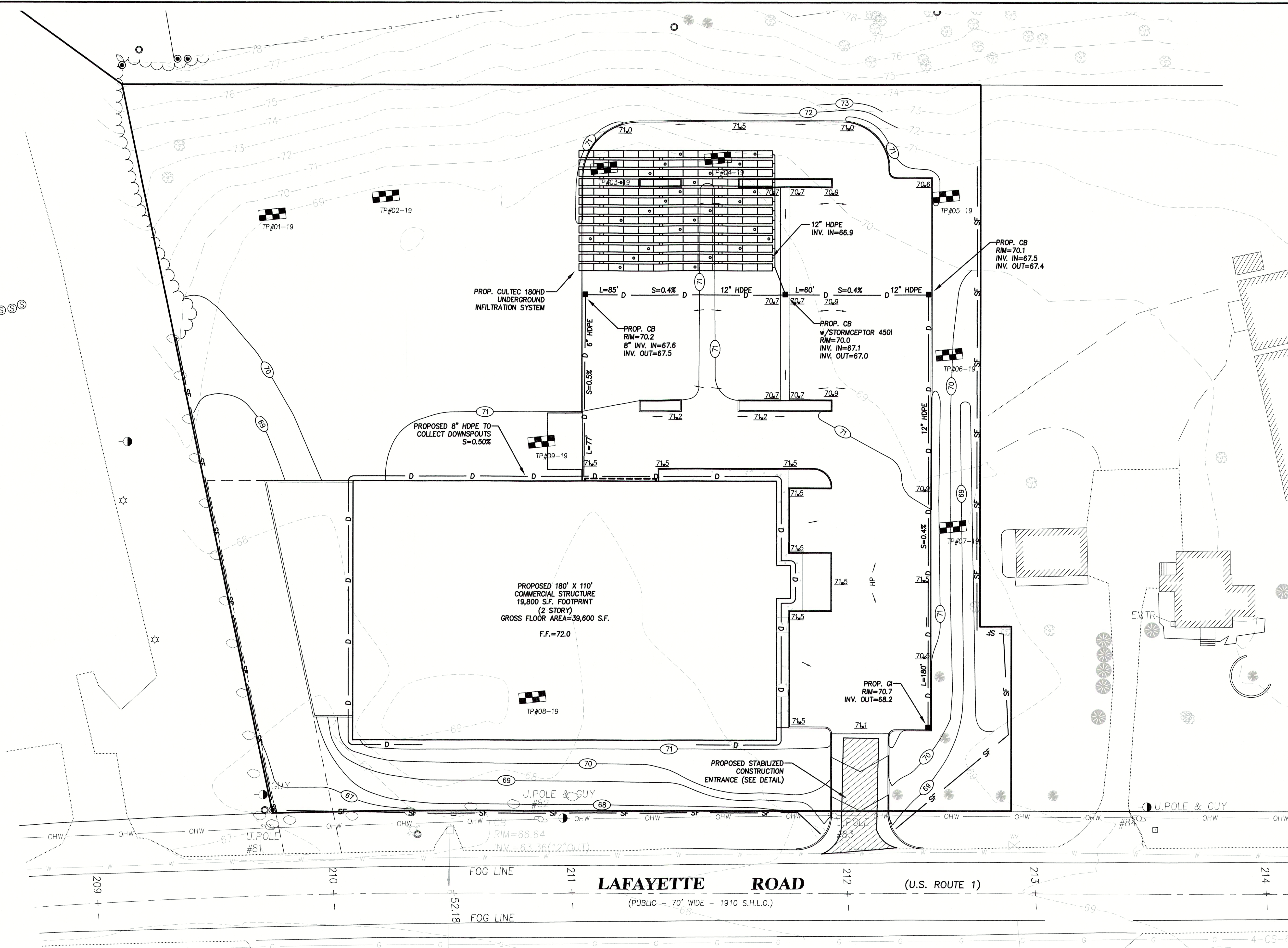


**LEGEND**

—28— EXIST. CONTOUR  
—27— PROP. CONTOUR  
—SF— PROP. SILTATION BARRIER  
— PROP. TREELINE/LIMIT OF WORK  
— PROP. CONC. SIDEWALK

■ PROP. CATCH BASIN  
28.3 PROP. SPOT GRADE  
■ PROP. OUTLET STRUCTURE

□ EXIST. CATCH BASIN  
○ EXIST. UTILITY POLE  
WETLANDS  
○ EXIST. TEST PIT



PREPARED FOR  
**ROOT & BLOOM, LLC**  
P.O. BOX 1389  
NEWBURYPORT, MA 01950

| NO. | DATE   | ADDRESS REVIEWER'S COMMENTS | C.M.Y. |
|-----|--------|-----------------------------|--------|
| 1   | 7/3/20 |                             |        |

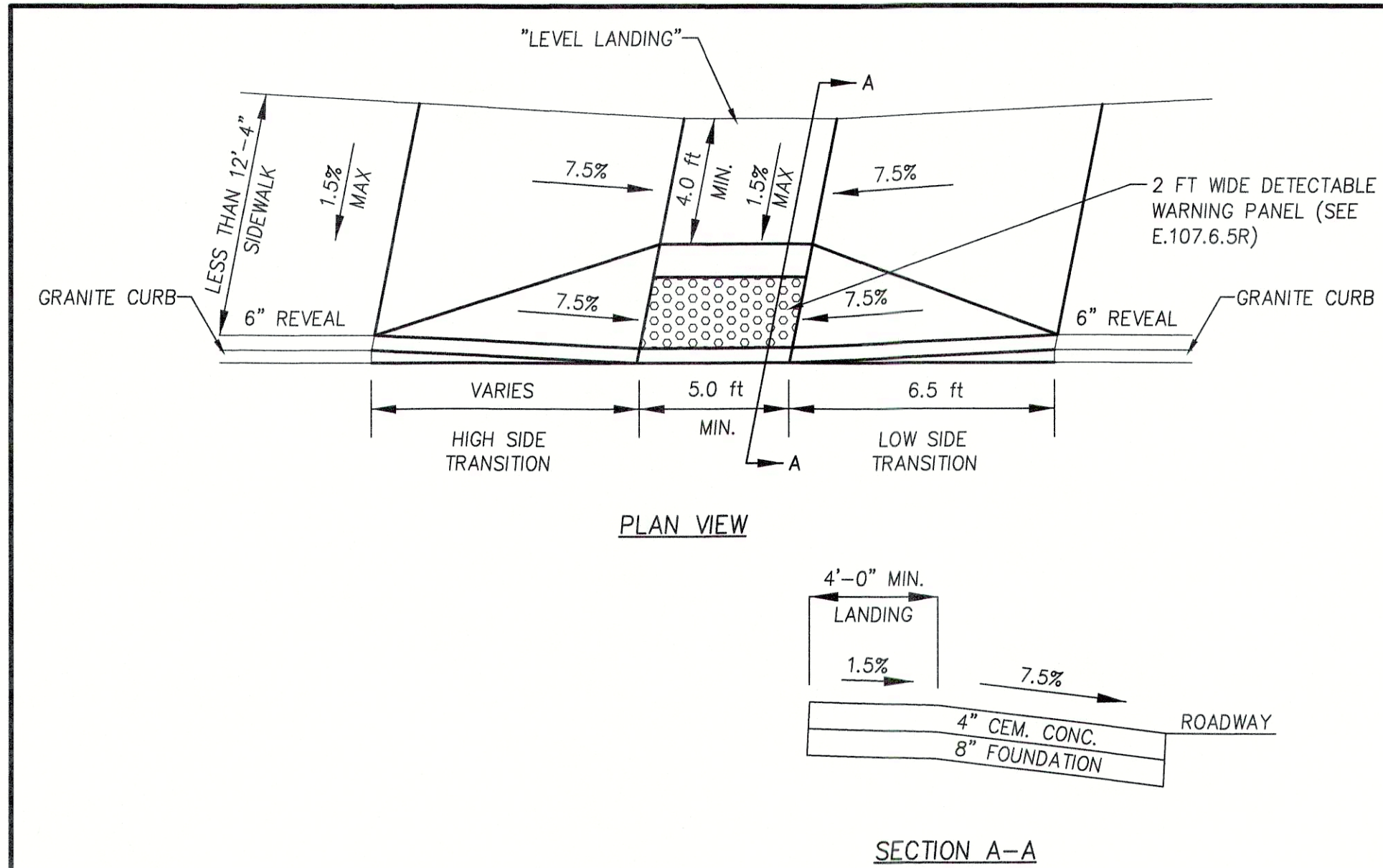
**MILLENNIUM ENGINEERING, INC.**  
ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

|                    |                  |                  |
|--------------------|------------------|------------------|
| SCALE: 1"=20'      | DESG. BY: C.M.Y. | PROJECT: M193564 |
| DATE: MAY 18, 2020 | CHKD. BY: E.W.B. |                  |

**PLAN OF LAND**  
IN  
**SALISBURY, MA**  
SHOWING  
**PROPOSED SITE IMPROVEMENTS**  
AT  
**187 LAFAYETTE ROAD**  
(MAP 19 - LOT 296)

**GRADING PLAN**  
SHEET: C-4

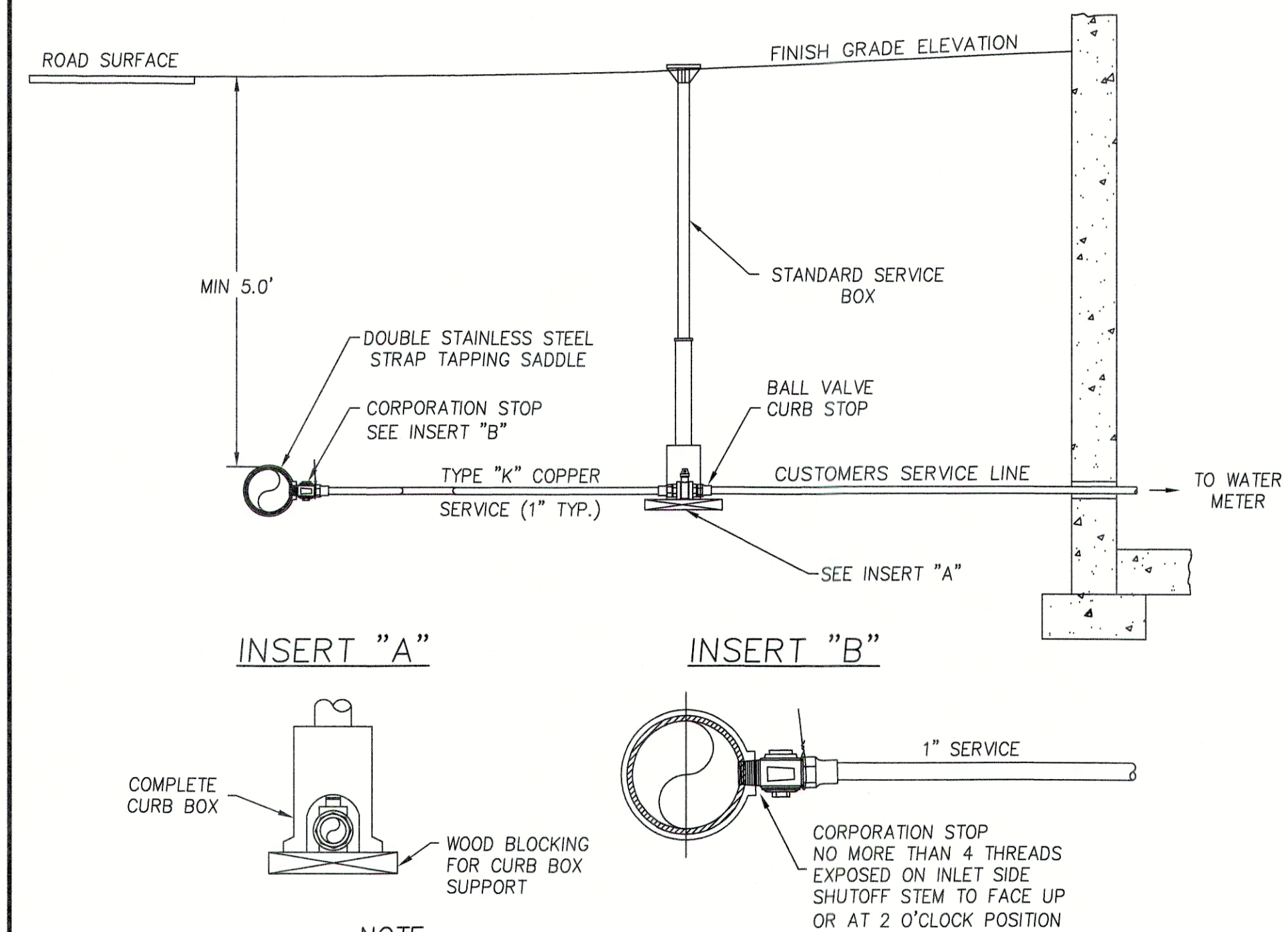




- NOTES:
- 1.) RAMP CROSS SECTION TO BE SAME AS SIDEWALK; I.E. DEPTH OF SURFACE AND FOUNDATION.
  - 2.) BASE OF RAMP SHALL MEET PAVEMENT GUTTER SUCH THAT THERE IS NO DIFFERENCE IN ELEVATION. RAMP SHALL BE CONSTRUCTED SUCH THAT WATER DOES NOT "PUDDLE" AT THE BASE OF THE RAMP.
  - 3.) THE PAVEMENT AT THE BASE OF THE RAMP SHALL BE PART OF THE CONTINUOUS TOP COURSE. THE USE OF A "PAVEMENT PATCH" TO COMPLY WITH THE CONDITIONS IN NOTE 2, ABOVE IS PROHIBITED.
  - 4.) RAMPS SHALL CONFORM TO MASS DOT WHEELCHAIR RAMP STANDARDS – LATEST REVISIONS.

### CEMENT CONCRETE WHEELCHAIR RAMP DETAIL

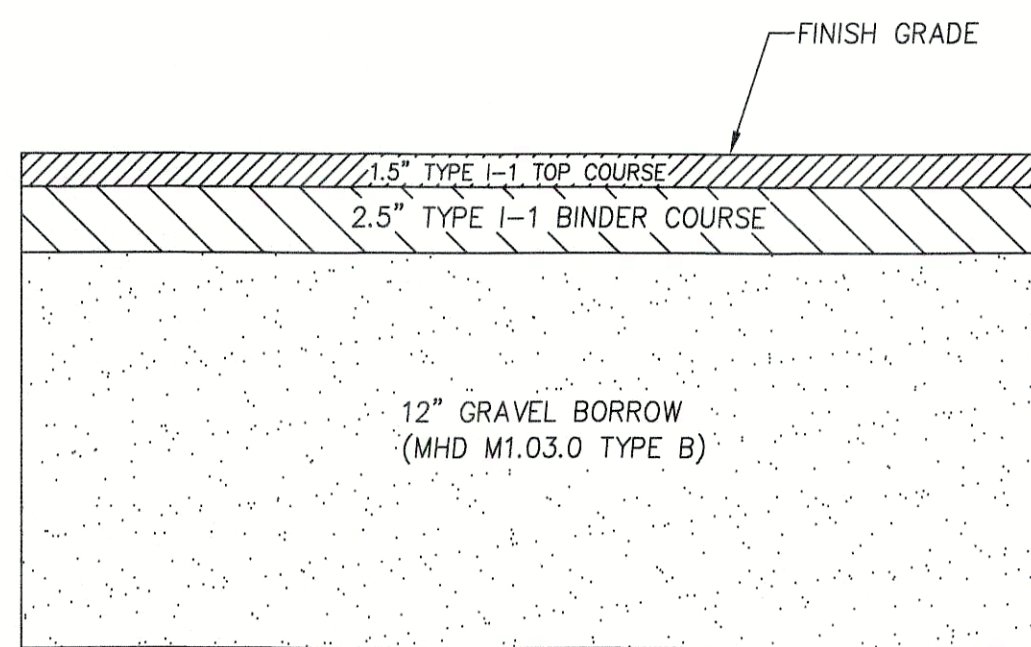
N.T.S.



- NOTE
1. SERVICE CONNECTIONS FOR THE VARIOUS LOTS SHALL BE SIZED TO MEET THE REQUIREMENTS OF THE SPECIFIED USE. CONNECTIONS TO THE PROJECT WATER MAIN SHALL BE MADE WITH TAPPING SLEEVES AND VALVES.

### TYPICAL COPPER SERVICE CONNECTION

N.T.S.

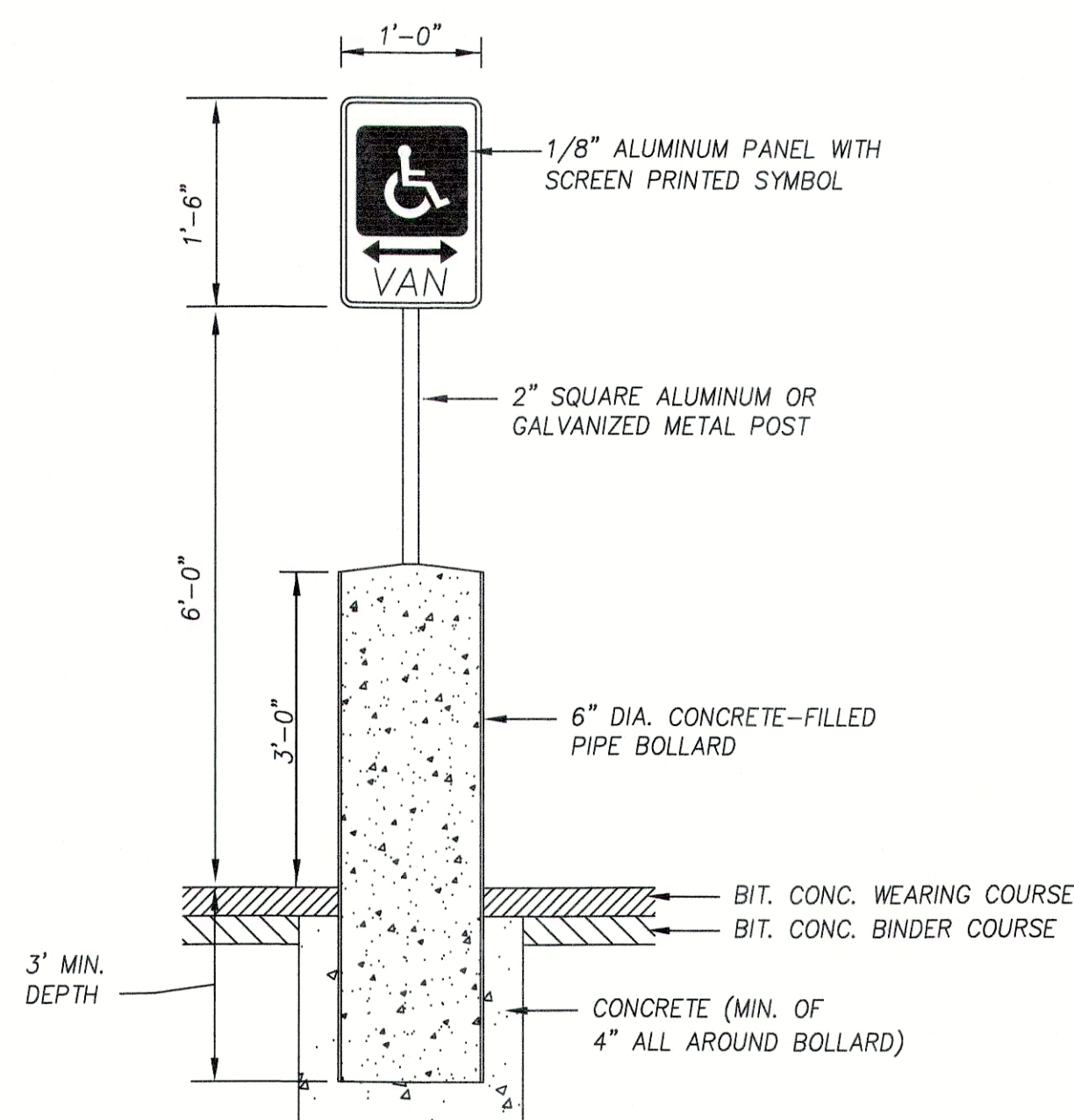


### PAVEMENT DETAIL

N.T.S.

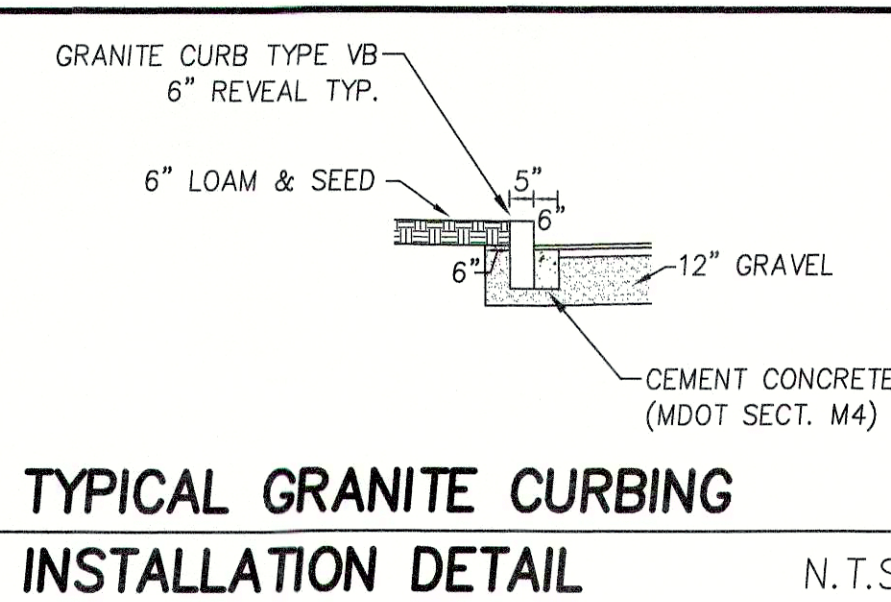
### PAVEMENT NOTES

- 1.) ALL STUMPS, ROCKS AND LEDGE WITHIN THE LIMITS OF THE PROPOSED PAVED WAY SHALL BE REMOVED. ALL LEDGE SHALL BE REMOVED TO A MINIMUM DEPTH OF 2' BELOW FINISHED PAVEMENT GRADE.
- 2.) PAVEMENT SHALL NOT BE CONSTRUCTED DURING FREEZING WEATHER OR ON WET OR FROZEN SUBGRADE.
- 3.) GRADING AND ROLLING SHALL BE REQUIRED TO PROVIDE A SMOOTH, EVEN, AND UNIFORM COMPACTED BASE WHICH IS COMPACTED TO A MINIMUM DRY DENSITY OF 95 PERCENT.
- 4.) ALL UNSUITABLE MATERIAL SHALL BE EXCAVATED AND REPLACED WITH SATISFACTORY MATERIAL AND BROUGHT UP TO GRADE WITH GRAVEL BORROW CONTAINING NO STONES GREATER THAN 6" DIAMETER.
- 5.) AT ALL TIMES DURING CONSTRUCTION, THE SUB-GRADE AND ALL DITCHES SHALL BE CONSTRUCTED AND MAINTAINED SO THAT THE TRACK WILL EFFECTIVELY BE DRAINED.
- 6.) THE CONTRACTOR SHALL REFER TO THE SALISBURY PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, SECTIONS I – VII.



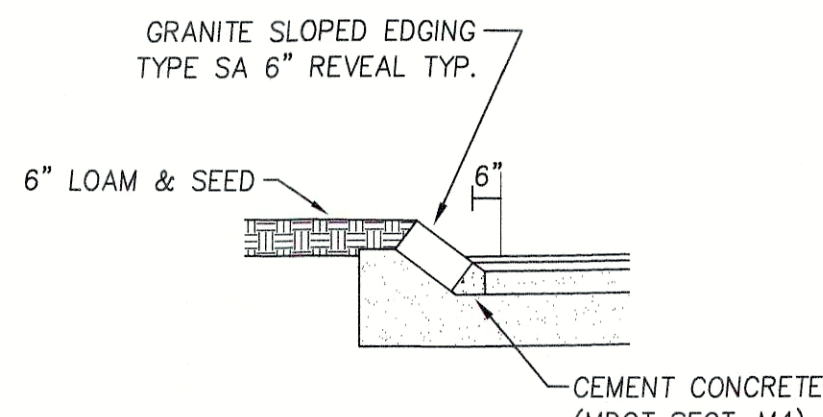
### HANDICAP PARKING VAN-ACCESSIBLE SIGN DETAIL

N.T.S.



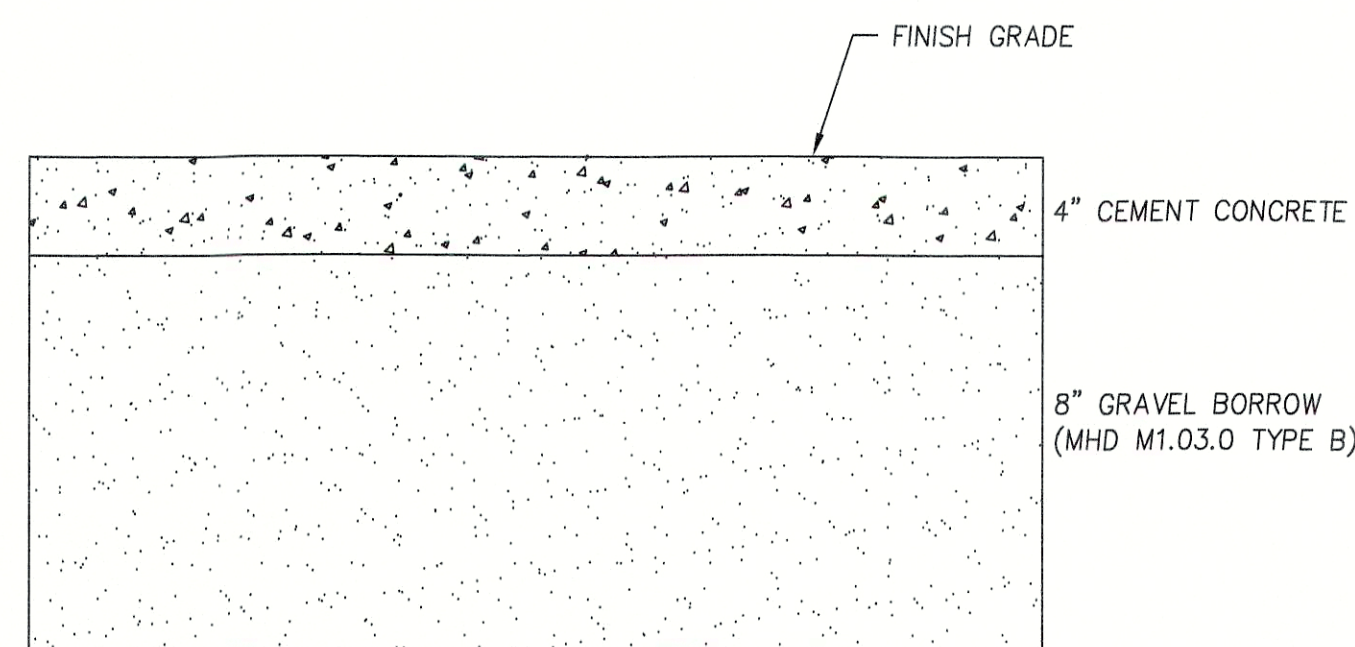
### TYPICAL GRANITE CURBING INSTALLATION DETAIL

N.T.S.



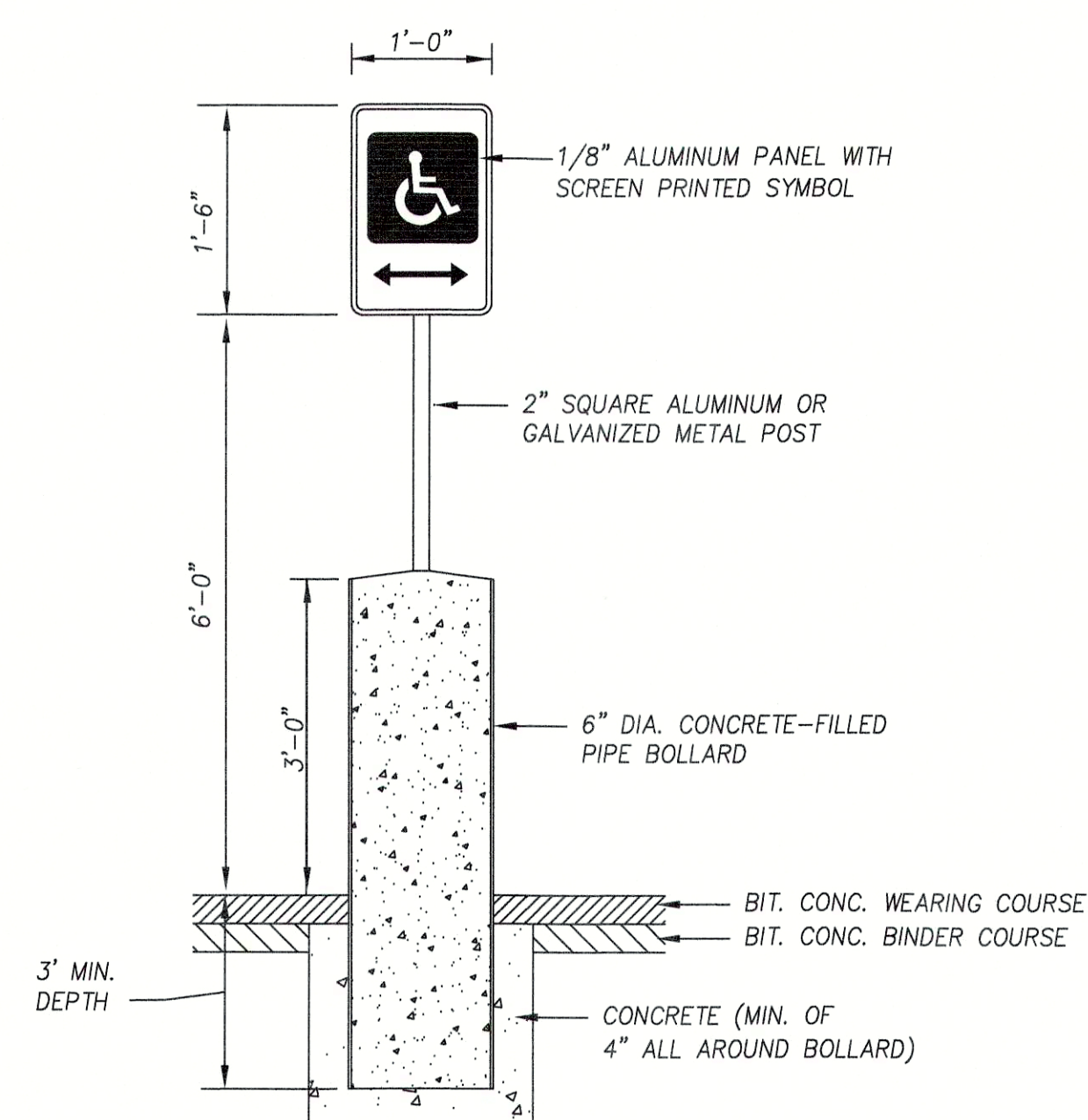
### TYPICAL SLOPED EDGING DETAIL

N.T.S.



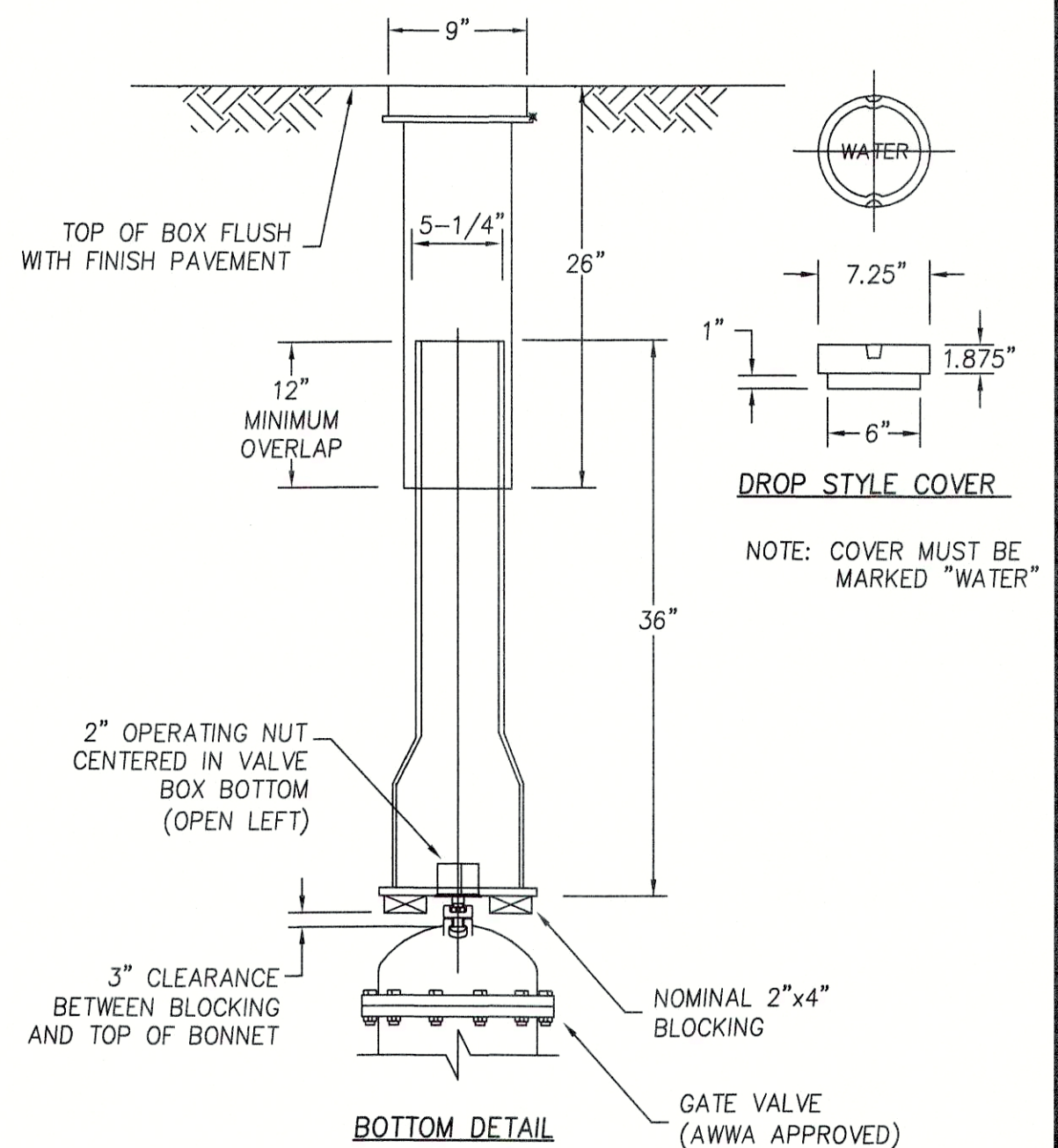
### CONCRETE SIDEWALK DETAIL

N.T.S.



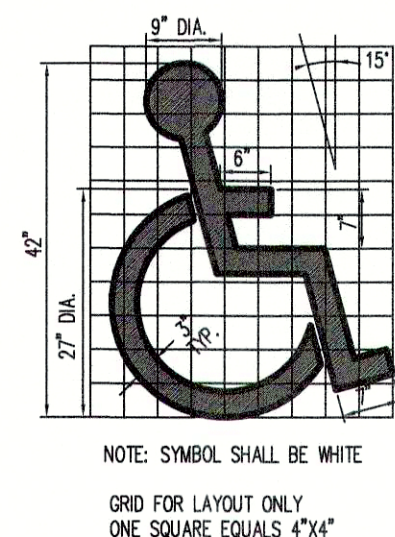
### HANDICAP PARKING SIGN DETAIL

N.T.S.



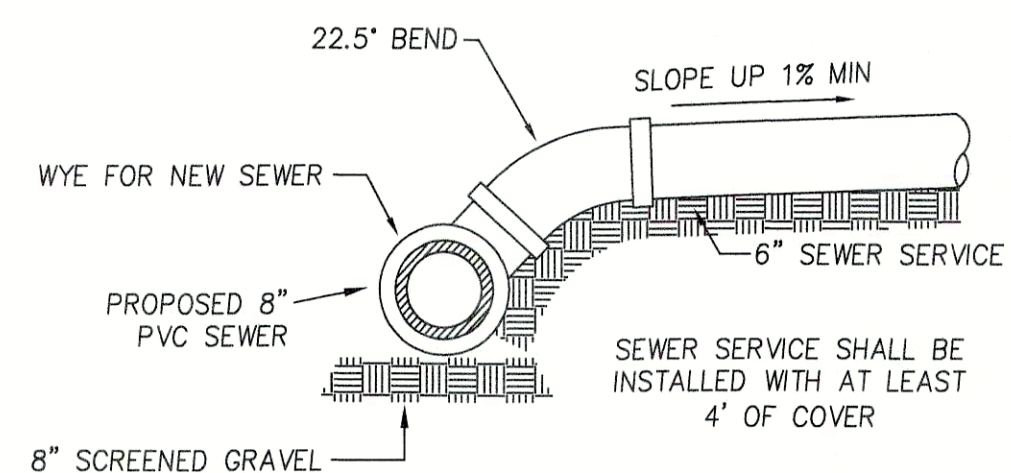
### TYPICAL GATE VALVE BOX DETAIL

N.T.S.



### PAINTED HANDICAP PARKING SYMBOL

N.T.S.



### SEWER SERVICE DETAIL

N.T.S.



PREPARED FOR  
**ROOT & BLOOM, LLC**  
P.O. BOX 1389  
NEWBURYPORT, MA 01950

| NO. | DATE   | ADDRESS REVIEWER'S COMMENTS | C.M.Y. |
|-----|--------|-----------------------------|--------|
| 1   | 7/3/20 |                             |        |
| NO. | DATE   | DESCRIPTION                 | BY     |

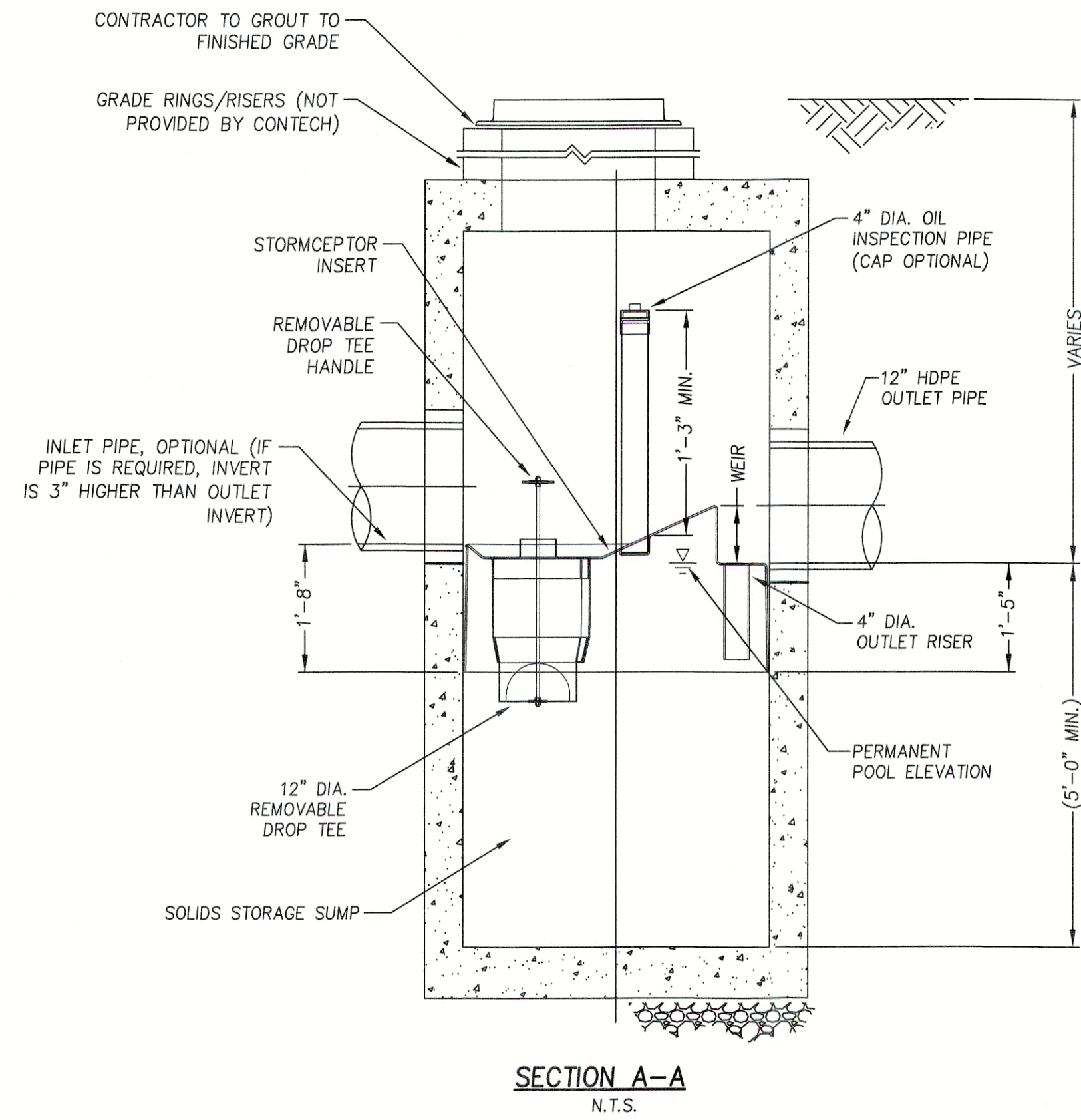
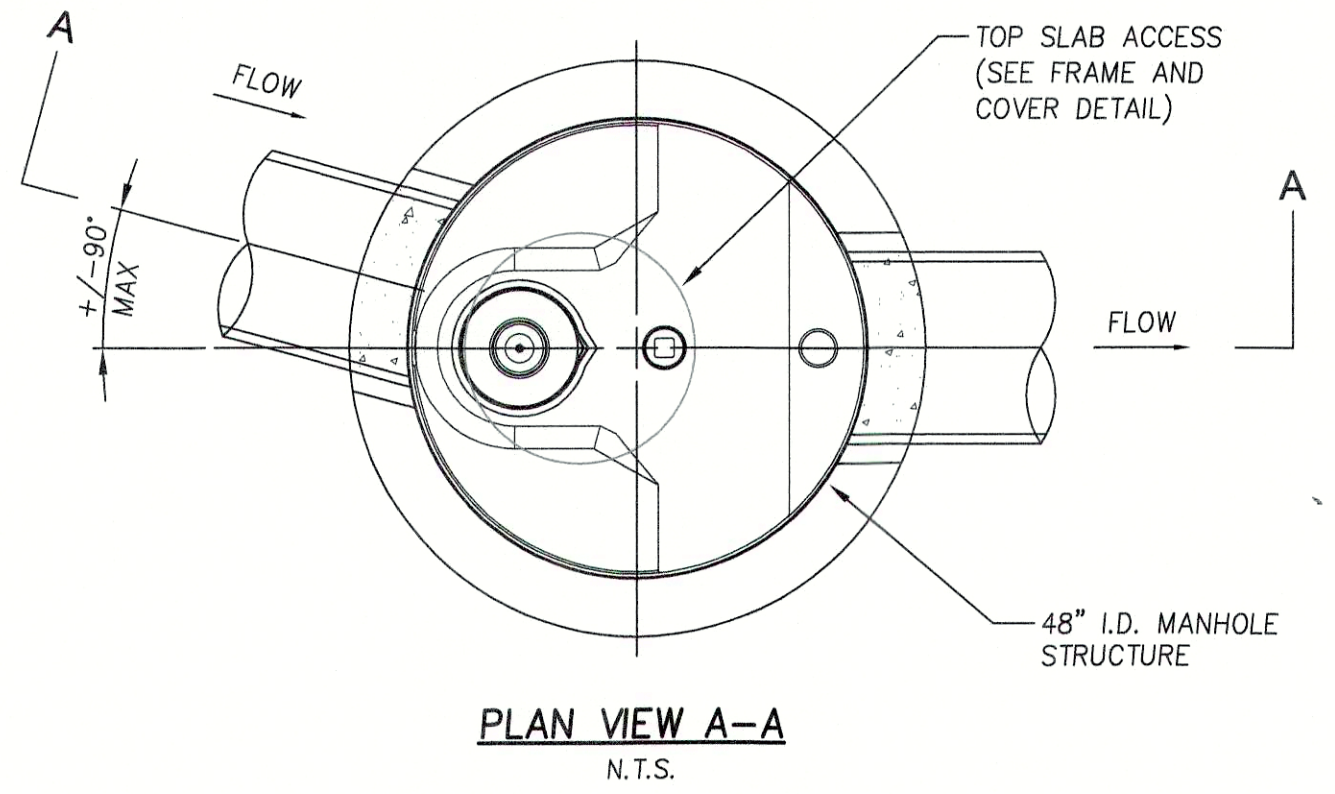
|   |                   |                  |
|---|-------------------|------------------|
| <b>MILLENNIUM ENGINEERING, INC.</b><br>ENGINEERING AND LAND SURVEYING<br>62 ELM. ST. SALISBURY, MA 01952 (978) 463-8980<br>13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528 |                   |                  |
| SCALE: AS NOTED   | DESIGN BY: C.M.Y. | PROJECT: M193564 |
| DATE: MAY 18, 2020  | CHKD. BY: E.W.B.  |                  |

**PLAN OF LAND**  
IN  
**SALISBURY, MA**  
SHOWING  
**PROPOSED SITE IMPROVEMENTS**  
AT  
**187 LAFAYETTE ROAD**  
(MAP 19 – LOT 296)

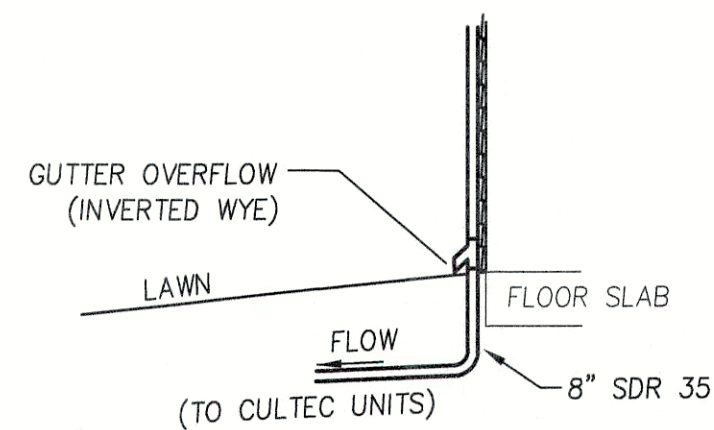
**SITE DETAILS**

SHEET: C-5

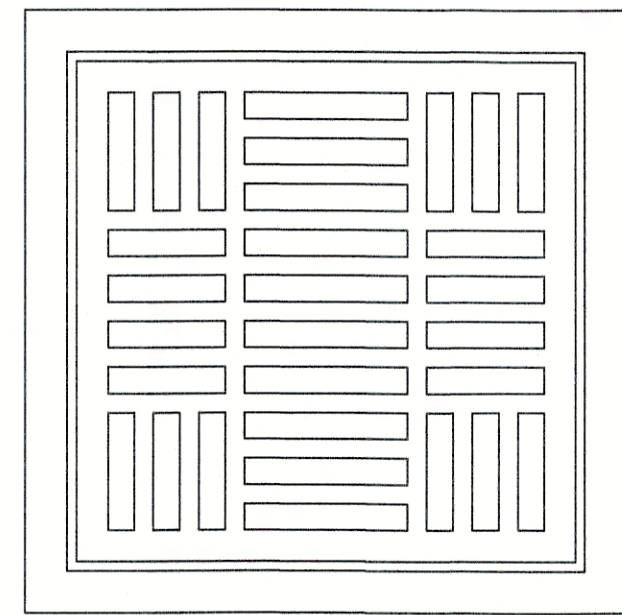




STC450i STORMCEPTOR  
DETAIL N.T.S.



GUTTER DOWN  
SPOUT DETAIL N.T.S.



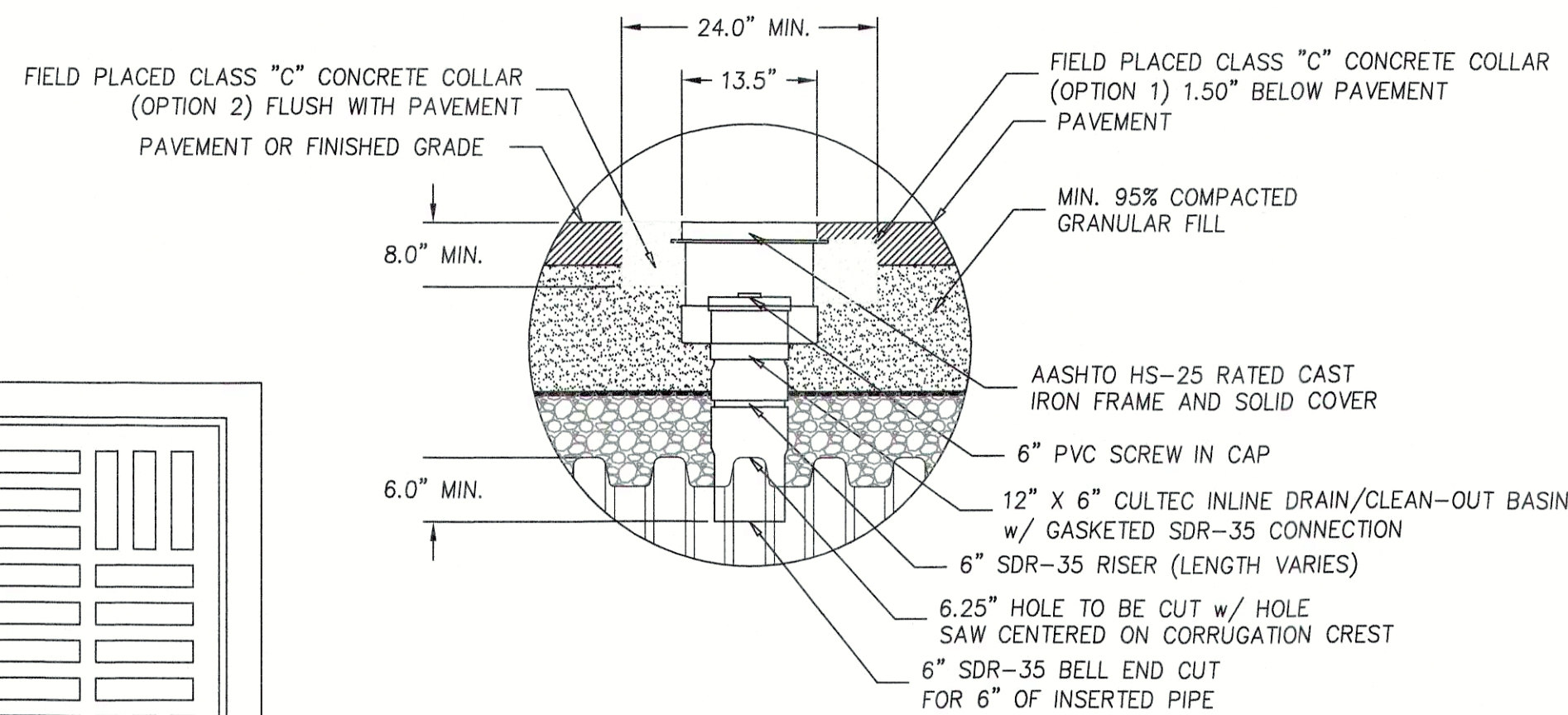
FRAME AND GRATE  
(24" SQUARE)  
N.T.S.

GENERAL NOTES

1. CONTECH SHALL PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
3. STORMCEPTOR STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 2' [610], AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
4. STORMCEPTOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND AASHTO LOAD FACTOR DESIGN METHOD.

INSTALLATION NOTES

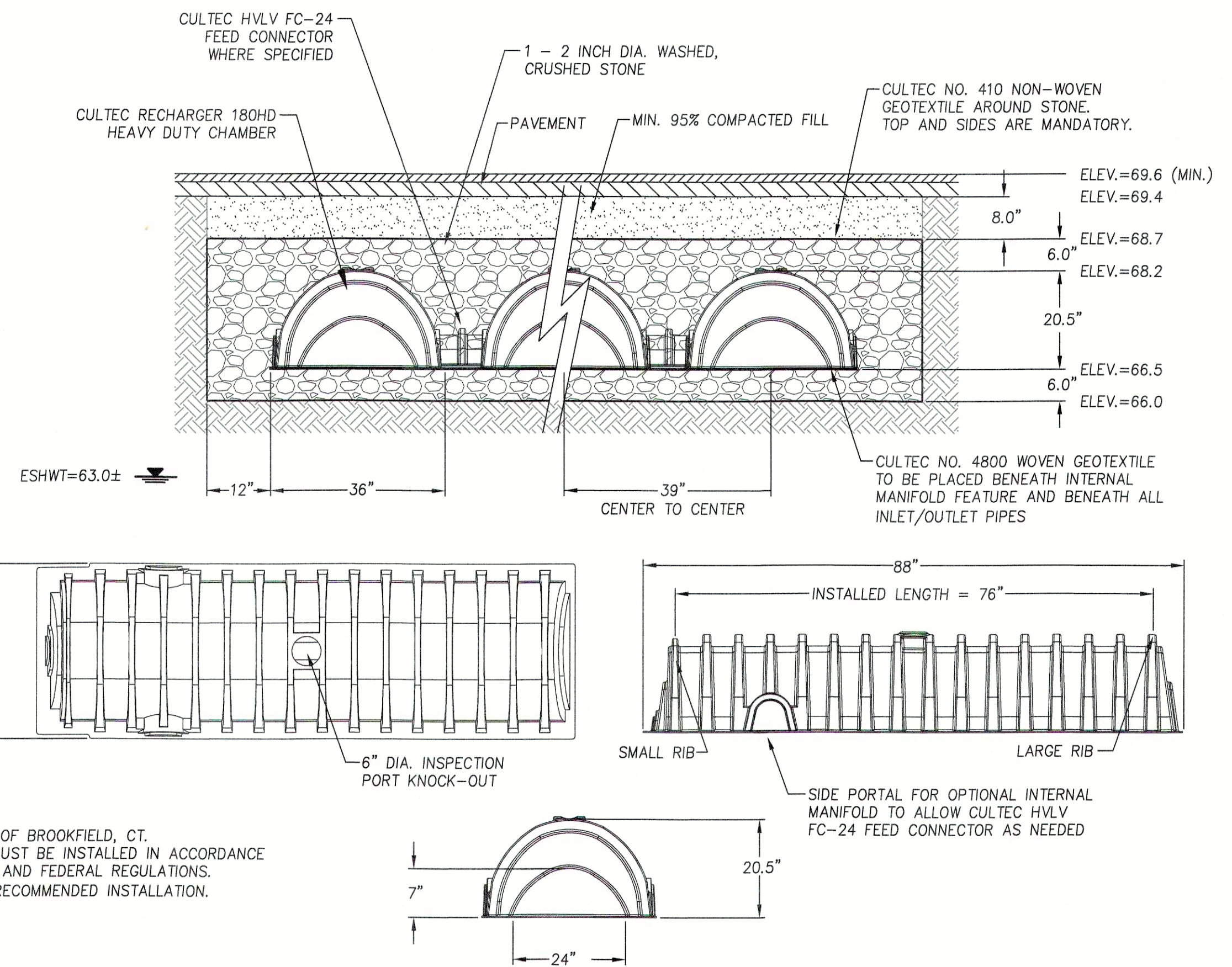
1. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
2. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMCEPTOR MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
3. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
4. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
5. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



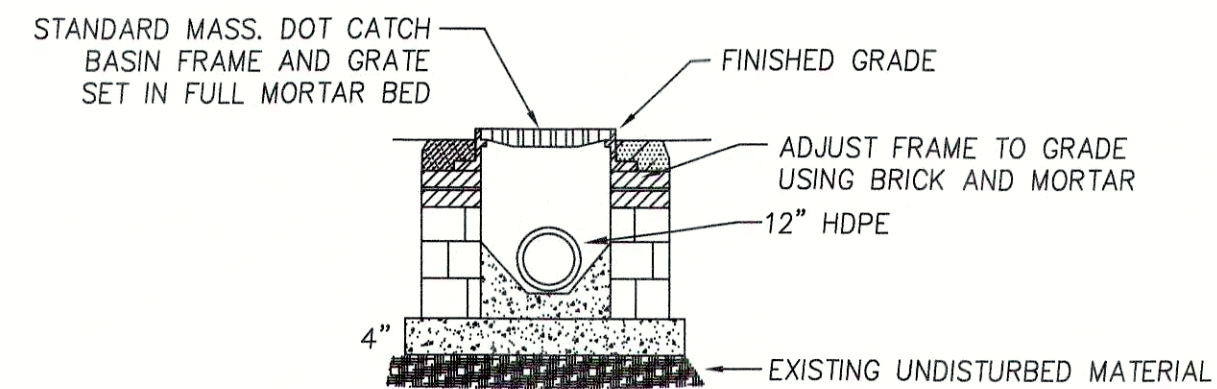
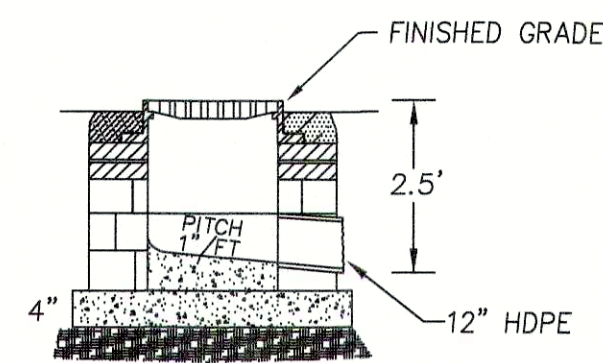
INSPECTION PORT

GENERAL NOTES:

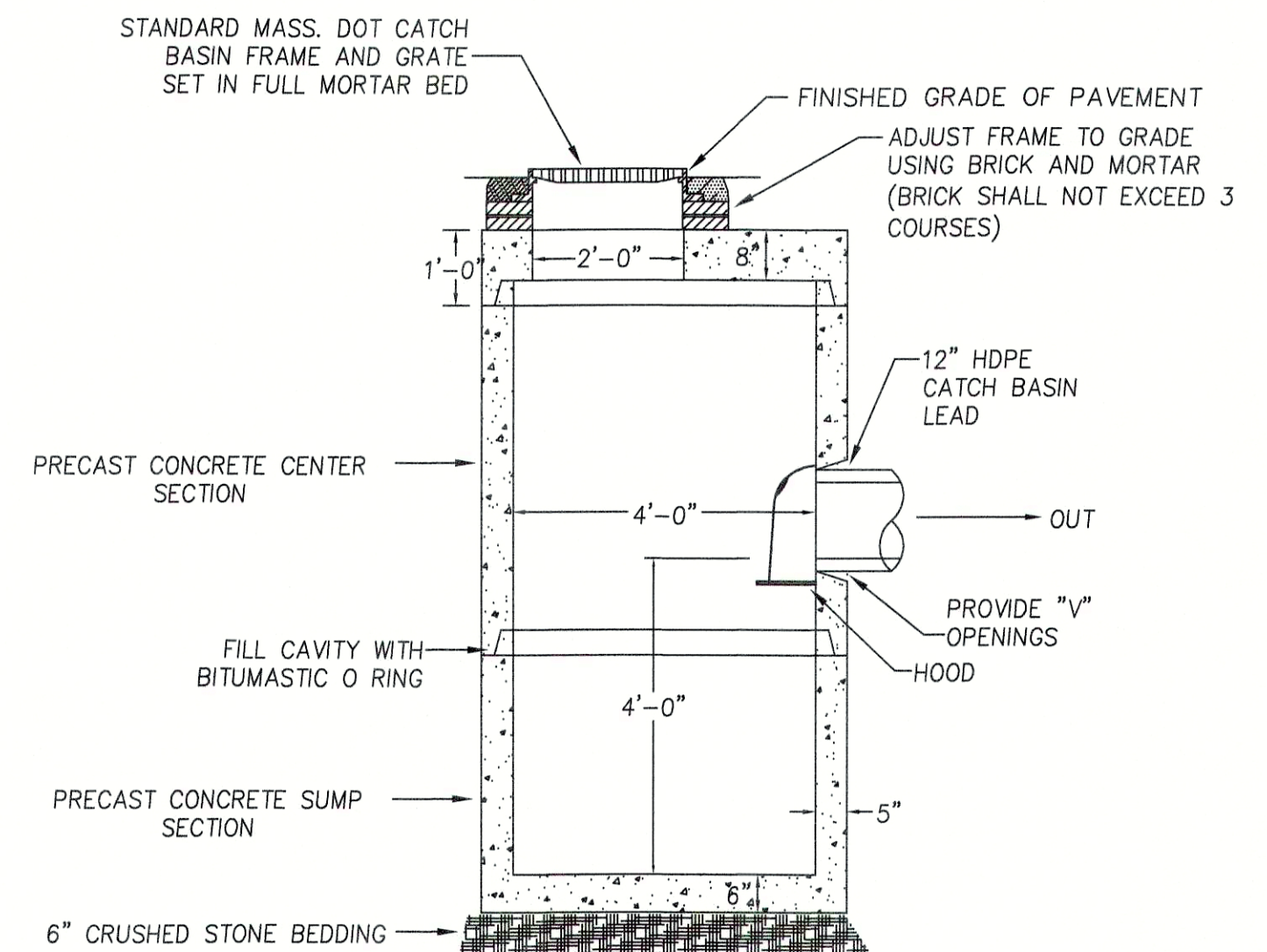
- 1) RECHARGER 180HD BY CULTEC, INC. OF BROOKFIELD, CT. ALL RECHARGER 180HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION.



CULTEC RECHARGER  
180HD DETAILS N.T.S.

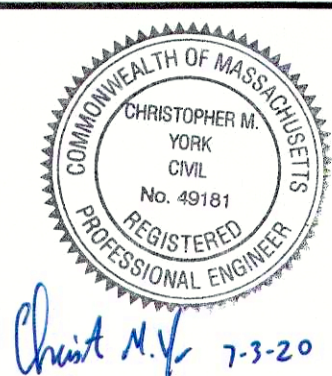


CONCRETE BLOCK  
GUTTER INLET N.T.S.

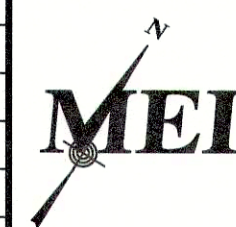


- NOTES:
- 1) CATCH BASINS SHALL CONFORM TO ASTM C478 AND ASTM C185
  - 2) FLAT TOP STRUCTURES SHALL BE PRECAST SECTIONS AND HAVE A 28 DAY COMPRESSIVE STRENGTH OF 5000 PSI REINFORCED FOR AASHTO H-20 LOADING.
  - 3) CONICAL SECTIONS MAY BE SUBSTITUTED FOR FLAT-TOP STRUCTURES IN AREAS WHERE MORE THAN 4 FEET OF COVER IS PROVIDED FOR DRAIN PIPE.

PRECAST DEEP SUMP  
CATCH BASIN DETAIL N.T.S.



PREPARED FOR  
**ROOT & BLOOM, LLC**  
P.O. BOX 1389  
NEWBURYPORT, MA 01950



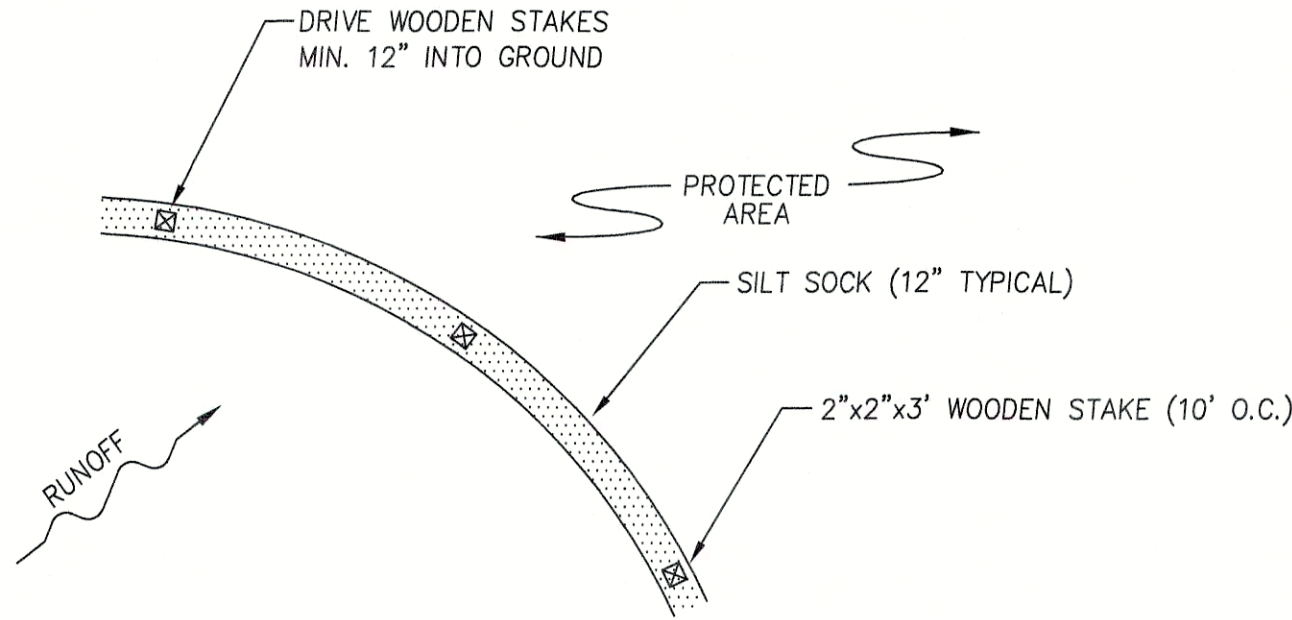
**MILLENNIUM ENGINEERING, INC.**  
ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

**PLAN OF LAND**  
IN  
**SALISBURY, MA**  
SHOWING  
**PROPOSED SITE IMPROVEMENTS**  
AT  
**187 LAFAYETTE ROAD**  
(MAP 19 - LOT 296)

**DRAINAGE  
DETAILS**

SHEET: C-6



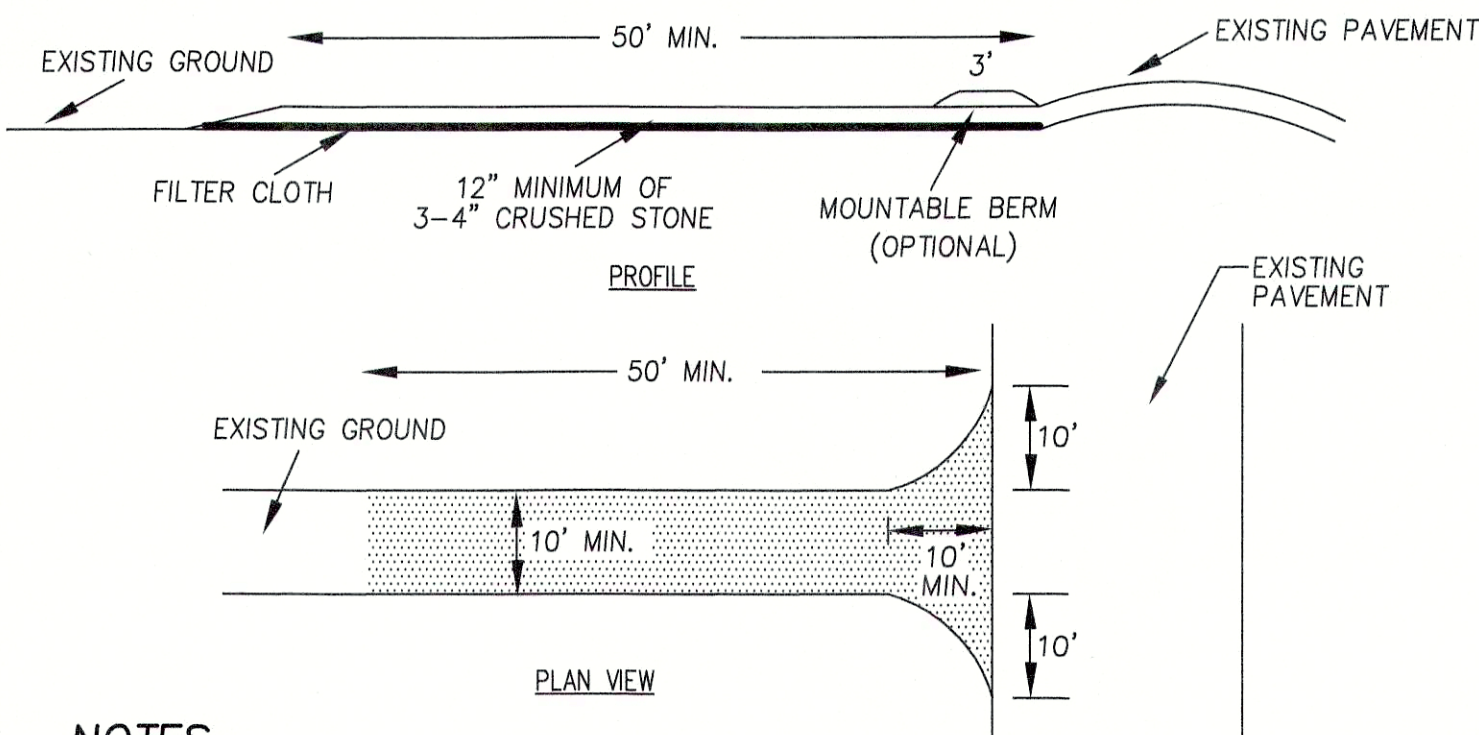


NOTES

1. ALL MATERIAL SHALL MEET SPECIFICATIONS BY FILTREXX OR APPROVED EQUAL.
2. SILT SOCK SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
3. THE CONTRACTOR SHALL REMOVE SEDIMENT AT THE BASE OF THE UPSLOPE SIDE OF THE SILT SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE SILT SOCK.
4. SILT SOCK SHALL BE MAINTAINED UNTIL DISTURBED AREA ABOVE THE DEVICE HAS BEEN PERMANENTLY STABILIZED AND CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
5. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE SOCK HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

SILT SOCK  
INSTALLATION

N.T.S.

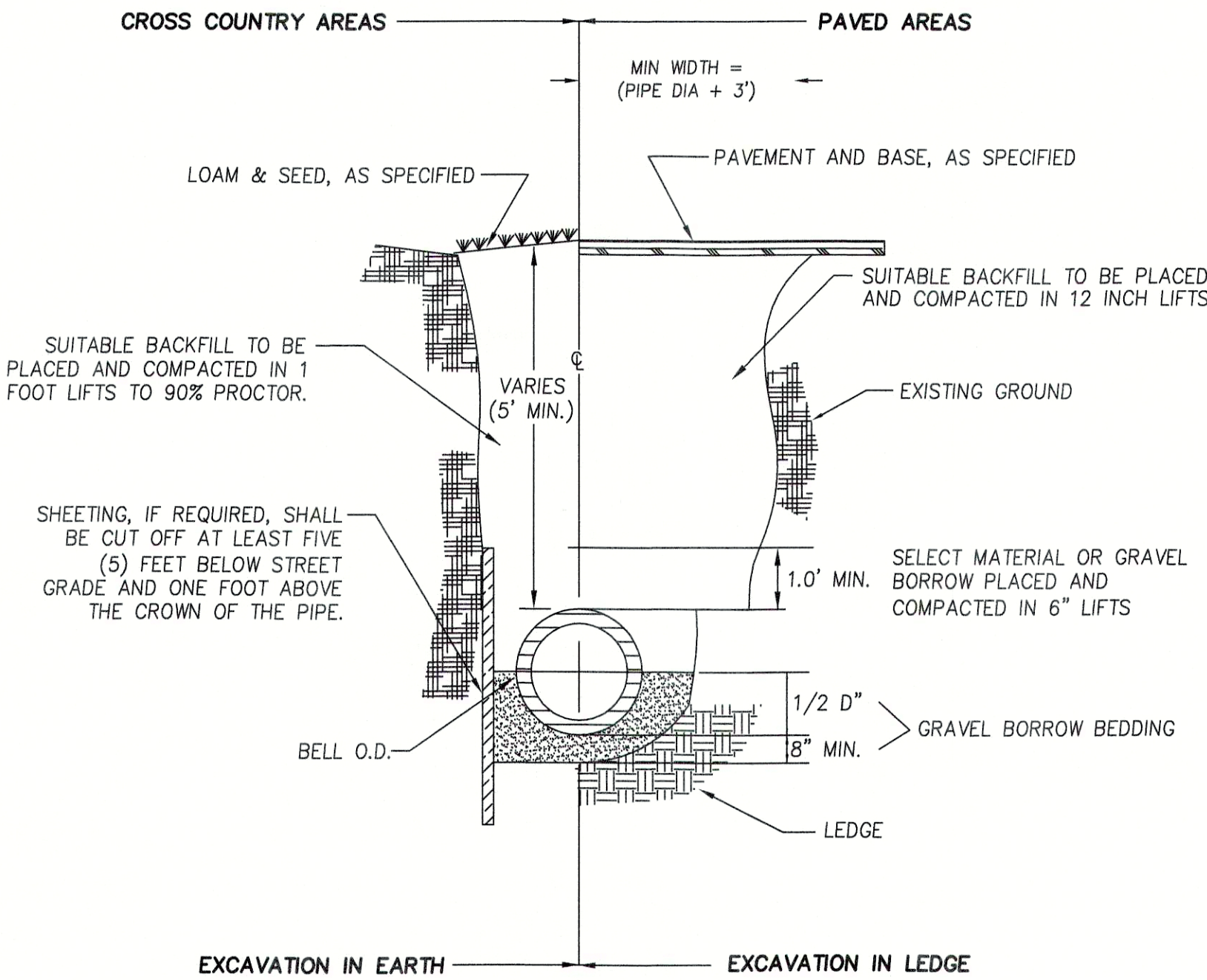


NOTES

1. STONE SHALL BE 3-4" STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50'.
3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 12".
4. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
5. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP-DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED PROMPTLY.
7. WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

STABILIZED CONSTRUCTION  
ENTRANCE

N.T.S.



TYPICAL TRENCH  
DETAIL

N.T.S.

GENERAL EROSION  
CONTROL NOTES

1. ALL EROSION CONTROL SHALL BE INSTALLED BEFORE THE START OF CONSTRUCTION. EROSION CONTROL SHALL BE REMOVED UPON COMPLETION OF THE PROJECT AND STABILIZATION OF ALL SOIL.
2. ALL FILL SHALL BE FREE OF STUMPS AND LARGE STONES.
3. ANY STANDING BODIES OF WATER CREATED DURING EXCAVATION SHALL BE ELIMINATED.
4. EROSION CONTROL BARRIERS SHALL BE INSPECTED WEEKLY AND AFTER EVERY 0.5" OF RAINFALL AND PROMPTLY REPAIRED OR REPLACED AS NECESSARY.
5. ACCUMULATED SEDIMENT DEPOSITS UPSTREAM OF BARRIERS SHALL BE PROPERLY DISPOSED OF ON A REGULAR BASIS.
6. AREAS OUTSIDE THE LIMITS OF WORK (EROSION CONTROL/SILT FENCE LOCATIONS) DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE EXPENSE OF THE CONTRACTOR.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EROSION AND/OR SEDIMENT CONTROLS DURING CONSTRUCTION. HE/SHE SHALL INSPECT CONTROLS WEEKLY AND AFTER ALL STORM EVENTS. REPAIRS, IF REQUIRED, SHALL BE MADE IMMEDIATELY.
8. ANY DISTURBED AREAS OF THE SITE NOT USED FOR ROADWAY OR UTILITY CONSTRUCTION SHALL BE STABILIZED WITH LOAM AND SEED UNTIL FURTHER DISTURBANCE IS REQUIRED FOR BUILDING CONSTRUCTION.
9. PROVIDE GRAVEL AND WIRE MESH SEDIMENT FILTER AT ALL CATCH BASINS.
10. A MINIMUM OF 6" OF LOAM SHALL BE INSTALLED ON ALL DISTURBED UNPAVED SURFACES.
11. PERMANENT SEED MIX SHALL BE MA STATE SLOPE MIXTURE (50% CREEPING RED FESCUE, 30% KENTUCKY 31 TALL FESCUE, 10% ANNUAL RYEGRASS, 5% RED TOP, 5% LADINO CLOVER) AND MA STATE PLOT MIXTURE (50% CREEPING RED FESCUE, 25% 85/80 KENTUCKY BLUEGRASS, 10% ANNUAL RYEGRASS, 10% RED TOP, 5% LADINO CLOVER).
12. NO MORE THAN 3 ACRES SHALL BE DISTURBED AT ONE TIME. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
13. WHERE PLACEMENT OF FILL IS REQUIRED FOR STORM WATER CONTROL, FILL SHALL BE PLACED IN AN UNFROZEN STATE UPON UNFROZEN GROUND. UNDER NO CIRCUMSTANCES SHALL FILL BE PLACED FROM NOVEMBER THROUGH JANUARY.
14. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED: BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED; A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED; A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
15. ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCT. 15TH, OR WHICH ARE DISTURBED AFTER OCT. 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
16. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCT. 15TH, OR WHICH ARE DISTURBED AFTER OCT. 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

CONSTRUCTION  
SEQUENCE

1. INSTALL EROSION CONTROL AT LIMIT OF WORK & STAKE OUT STORMWATER AREA.
2. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AS DEPICTED.
3. CLEAR AND GRUB DEBRIS AND DISPOSE OF PROPERLY.
4. STRIP, SCREEN AND STOCKPILE TOPSOIL. TOPSOIL CAN BE TEMPORARILY STOCKPILED ON SITE PROVIDING THAT THE PERIMETER OF THE STOCKPILES ARE PROPERLY STAKED WITH EROSION CONTROL AT THE TOE OF SLOPE.
5. CLEAR AND EXCAVATE FOR BUILDING FOUNDATION.
6. BEGIN BUILDING CONSTRUCTION.
7. INSTALL PROPOSED UTILITIES TO BUILDING FOOTPRINT INCLUDING DRAINAGE SYSTEM, WATER/SEWER SERVICES AND PRIVATE UTILITIES.
8. GRADE PAVEMENT TO TOP OF SUBGRADE ELEVATIONS. ALL ROADWAYS MUST BE STABILIZED IMMEDIATELY AFTER GRADING.
9. SPREAD, SHAPE, AND COMPACT PAVEMENT SUBBASE AS PER TYPICAL ROADWAY SECTION TO ATTAIN FINAL DESIGN ELEVATIONS.
10. INSTALL CURBING, SIDEWALKS AND PROPOSED PAVEMENT TO BINDER GRADE.
11. INSTALL TOP COURSE PAVEMENT AND PAVEMENT MARKINGS.
12. INSTALL LANDSCAPING AND LOAM AND HYDROSEED ANY DISTURBED SURFACES ALONG EDGES OF PAVEMENT AS REQUIRED.
13. REMOVE EROSION CONTROL.

PLAN OF LAND  
IN  
SALISBURY, MA

SHOWING  
PROPOSED SITE IMPROVEMENTS  
AT  
187 LAFAYETTE ROAD  
(MAP 19 - LOT 296)

EROSION  
CONTROL  
DETAILS






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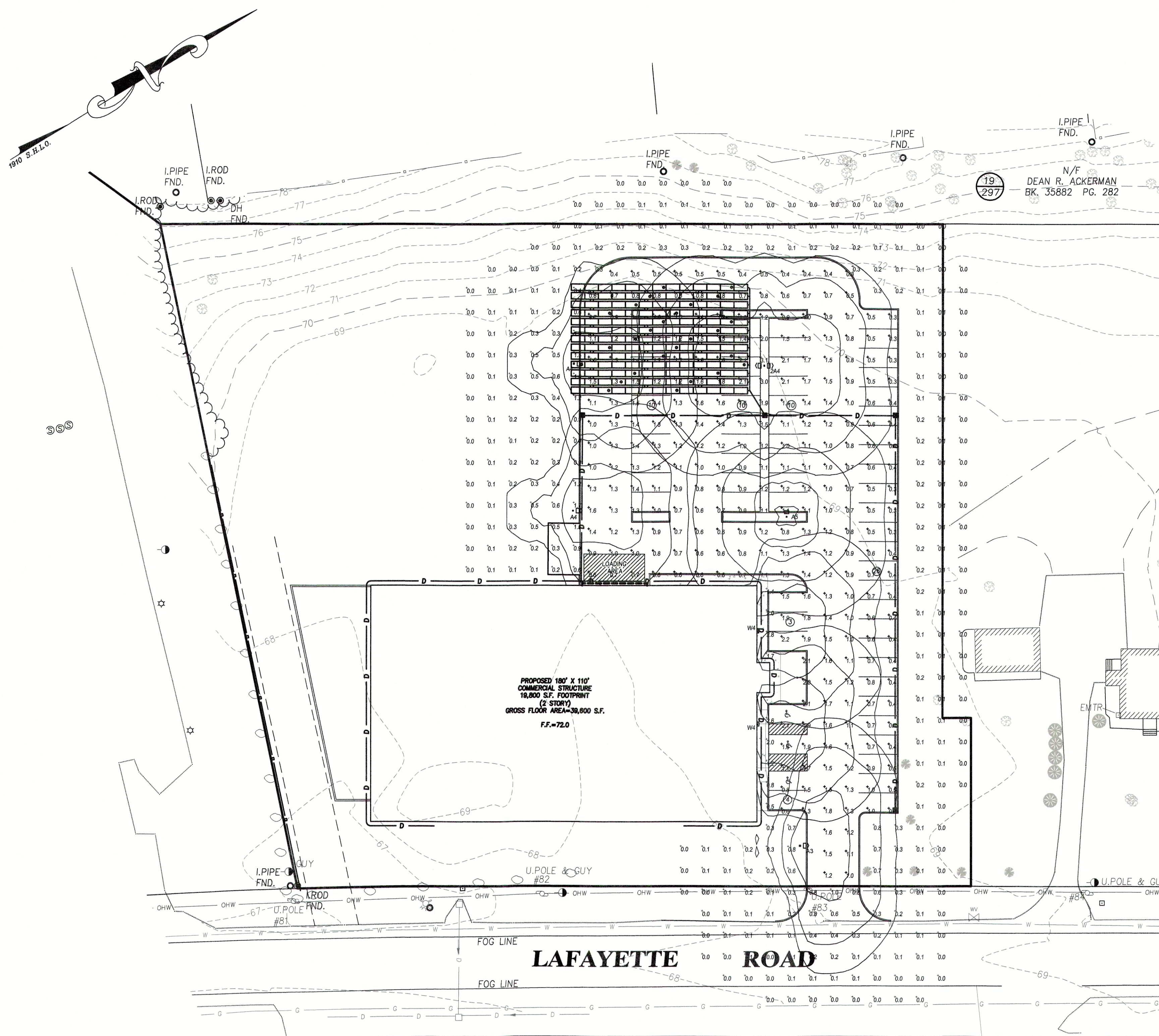
The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

For 3/4" NPT side-entry conduit (BBW only)

| Schedule  |       |          |                   |  |  |      |              |                                       |                 |                   |         |
|---|-------|----------|-------------------|--|--|------|--------------|---------------------------------------|-----------------|-------------------|---------|
| Symbol  | Label | Quantity | Manufacturer      | Catalog Number   | Description  | Lamp | Number Lamps | Filename                              | Lumens Per Lamp | Light Loss Factor | Wattage |
|  | 2A4   | 1        | Lithonia Lighting | DSX0 LED P2 40K TFTM MVOLT SPA DBXAD with SSS 18 4C DM19AS DBDXD | DSX0 LED Area Fixture; mounted at 20ft (18ft pole on 2ft base) | LED  | 1            | DSX0_LED_P2_40K_TFTM_MVO LT.ies       | 6007            | 0.9               | 98      |
|  | A3    | 1        | Lithonia Lighting | DSX0 LED P2 40K T3M MVOLT SPA DBBXD with SSS 18 4C DM19AS DBBXD  | DSX0 LED Area Fixture; mounted at 20ft (18ft pole on 2ft base) | LED  | 1            | DSX0_LED_P2_40K_T3M_MVOL T.ies        | 5835            | 0.9               | 49      |
|  | A4    | 2        | Lithonia Lighting | DSX0 LED P2 40K TFTM MVOLT SPA DBBXD with SSS 18 4C DM19AS DBBXD | DSX0 LED Area Fixture; mounted at 20ft (18ft pole on 2ft base) | LED  | 1            | DSX0_LED_P2_40K_TFTM_MVO LT.ies       | 6007            | 0.9               | 49      |
|  | A5    | 1        | Lithonia Lighting | DSX0 LED P2 40K T5M MVOLT SPA DBBXD with SSS 18 4C DM28AS DBBXD  | DSX0 LED Area Fixture; mounted at 20ft (18ft pole on 2ft base) | LED  | 1            | DSX0_LED_P2_40K_T5M_MVOL T.ies        | 6236            | 0.9               | 49      |
|  | W4    | 2        | Lithonia Lighting | DSXW1 LED 20C 700 40K TFTM MVOLT DBBXD                           | DSXW1 LED Area Fixture; mounted at 16ft                        | LED  | 1            | DSXW1_LED_20 C_700_40K_TFT M_MVOL.ies | 5554            | 0.9               | 45.7    |

| Statistics             |        |        |        |        |         |         |
|------------------------|--------|--------|--------|--------|---------|---------|
| Description            | Symbol | Avg    | Max    | Min    | Max/Min | Avg/Min |
| Outside of Parking Lot | ⊥      | 0.1 fc | 2.8 fc | 0.0 fc | N/A     | N/A     |
| Parking Lot            | ⊥      | 1.1 fc | 3.1 fc | 0.3 fc | 10.3:1  | 3.7:1   |



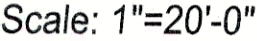
**SALISBURY SQUARE CONDOS**  
**Site Lighting Layout**  
**At**  
**187 LAFAYETTE ROAD**

Designer  
Heidi G. Connors  
Visible Light, Inc.  
24 Stickney Terrace  
Suite 6  
Hampton, NH 03842  
Date  
5/18/2020  
Scale  
1"=20'  
Drawing No.

## Summary

E-1





## GENERAL NOTES

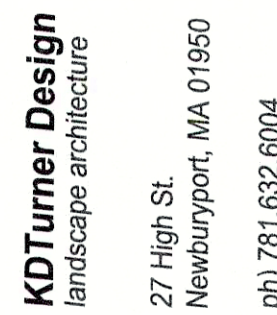
1. All work shall be in conformance with local and state standards.
2. Contractor shall verify locations of existing utilities with appropriate utility companies prior to start of construction.
3. Contractor shall secure all necessary permits for work shown on these plans.
4. All work shall comply with all local, State, and Federal safety regulations.
5. Contractor shall coordinate work with respective utility companies in a timely fashion.
6. The Contractor shall be solely responsible for all means, methods and techniques employed to perform the work shown on these plans.

## EROSION CONTROL NOTES

1. All work within areas of disturbance to be stabilized, loamed, seeded and/or planted as shown. Erosion controls to remain in place until sufficient stabilization by seed and/or planting/mulching.
2. Disturbed areas shall be limited to only those areas under active construction. Permanent seeding or stabilization shall be carried out immediately after final grading is completed or temporary measures shall be applied such as mulching or seeding until permanent measures are in place.
3. Topsoil shall be stockpiled in areas which have a minimal potential for erosion. The contractor shall stabilize any stockpiles which will remain unused for over 15 days.
4. All erosion control measures shall be maintained by the contractor for the life of the project until all areas are stabilized with final surface finishes.
5. An erosion control fence shall be installed along the Limit of Work line and maintained throughout the life of the project.

## LAYOUT NOTES

- Existing conditions information is taken from a plan titled "Proposed Site Improvements Plan" dated April 2, 2020 by Millennium Engineering.
- 1. All dimensions shall be verified in the field by the contractor. Any discrepancies shall be reported immediately to the Landscape Architect.
  - 2. Do not scale the drawings. Any omissions in dimensioning shall be reported immediately to the Landscape Architect.
  - 3. All angles are 90 degrees unless otherwise shown.
  - 4. All edges of paving shall be staked out by the contractor and reviewed by the Landscape Architect prior to construction.
  - 5. Provide a smooth transition where new work meets existing.
  - 6. All areas not otherwise treated shall be loamed and seeded.



**ROOT & BLOOM**  
187 Lafayette St.  
Salisbury, MA

## LAYOUT & MATERIALS PLAN

Scale: 1"=20'-0"

|   |         |            |
|---|---------|------------|
| 1 | Issued: |            |
| 2 | 7-6-20  | For review |
| 3 |         |            |
| 4 |         |            |
|   |         |            |
|   |         |            |
|   |         |            |
|   |         |            |



| Qty.                    | Scientific Name                            | Common Name             | Size        | Notes          |
|-------------------------|--|-------------------------|-------------|----------------|
| <b>Evergreen Trees</b>  |  |                         |             |                |
| 3                       | Picea abies                                | Norway Spruce           | 10-12' ht.  |                |
| 7                       | Pinus flexilis                             | Limber Pine             | 8-10' ht.   |                |
| 15                      | Thuja 'Green Giant'                        | Green Giant Arborvitae  | 6-8' ht.    |                |
| <b>Shade Trees</b>      |  |                         |             |                |
| 4                       | Acer rubrum 'October Glory'                | October Glory Red Maple | 2.5-3" cal. |                |
| 2                       | Liriodendron tulipifera 'Fastigiata'       | Fastigate Tuliptree     | 3-3.5" cal. |                |
| <b>Ornamental Trees</b> |  |                         |             |                |
| 4                       | Betula nigra                               | River Birch             | 2-2.5" cal. | single stem    |
| 4                       | Cornus x 'Rutban'                          | Dogwood                 | 2-2.5" cal. | Rutgers hybrid |
| <b>Shrubs</b>           |  |                         |             |                |
| 11                      | Caryopteris x clandonensis                 | Blue Mist Spirea        | 3 gal.      | blue flower    |
| 13                      | Fothergilla gardenii 'Mt Airy'             | Dwarf Fothergilla       | 5 gal.      |                |
| 15                      | Hydrangea paniculata 'Quickfire'           | Panicle Hydrangea       | 7 gal.      |                |
| 63                      | Ilex glabra 'Shamrock'                     | Inkberry                | 7 gal.      |                |
| 20                      | Rhus aromatica 'Gro-Low'                   | Gro-Low Sumac           | 3 gal.      |                |
| 11                      | Taxus x media 'Densiformis'                | Spreading Yew           | 7 gal.      |                |
| 20                      | Weigela florida 'Minuet'                   | Minuet Weigela          | 5 gal.      | dwarf          |
| <b>Perennials</b>       |  |                         |             |                |
| 21                      | Allium 'Summer Beauty'                     | Flowering Onion         | 1 gal       |                |
| 18                      | Calamagrostis x acutiflora 'Karl Foerster' | Karl Foerster Grass     | 3 gal.      |                |
| 21                      | Sedum 'Autumn Joy'                         | Sedum                   | 1 gal       |                |

1. The landscape contractor shall supply all plants in quantities sufficient to complete the work shown on the plan.
2. Any plant substitutions must be approved by the Landscape Architect.
3. The landscape contractor is advised of the existence of underground utilities, the location of which shall be verified by the contractor prior to any operations. Should the location of proposed plantings conflict with any of said utilities, the Landscape Architect shall be notified immediately for decision.
4. The landscape contractor shall replace or repair to original condition any and all utilities, paving, etc. damaged as a result of their operations at no additional cost to the Owner.
5. Mulch planting and tree pits with 3" shredded pine bark mulch.
6. Lawn areas shall have a 4" min. of topsoil.
7. All plant material installed shall meet the specifications of the American Standard for Nursery Stock (latest edition) as set forth by the American Association of Nurserymen.
8. All areas not otherwise treated shall be loamed and seeded.
9. Landscape Contractor to provide irrigation to all new plantings, containers and lawn areas.

