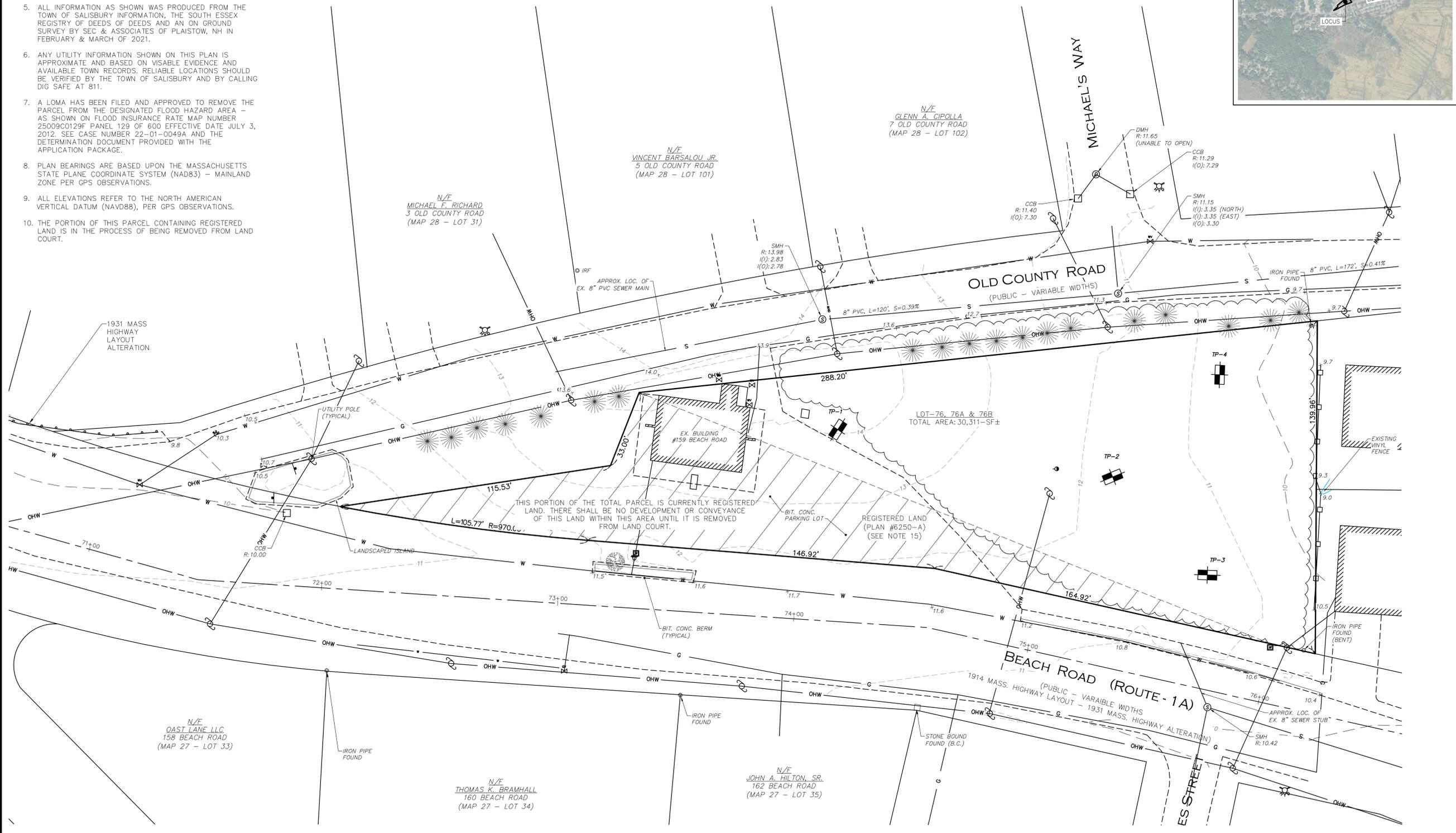
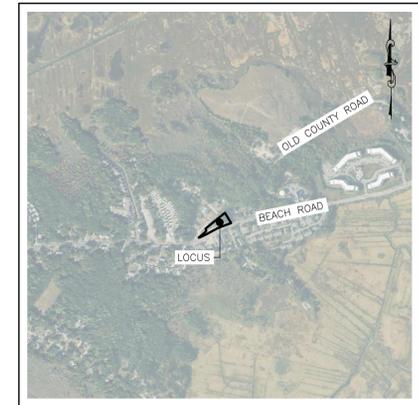




**PROJECT NOTES:**

1. LOCATION: 159 BEACH ROAD - ROUTE 1A SALISBURY MA.
2. PROPERTY REFERENCES: SOUTH ESSEX REGISTRY OF DEEDS BOOK 8710 PAGE 72 (1986)
3. OWNER: EDWARD FOOTE, JR. & JOANNE F. BLAIS 159 BEACH ROAD SALISBURY, MA. 01952
4. LAND SURVEYOR: SEC & ASSOCIATES PLAISTOW, NH 03865 TEL: (603) 382-5065
5. ALL INFORMATION AS SHOWN WAS PRODUCED FROM THE TOWN OF SALISBURY INFORMATION, THE SOUTH ESSEX REGISTRY OF DEEDS OF DEEDS AND AN ON GROUND SURVEY BY SEC & ASSOCIATES OF PLAISTOW, NH IN FEBRUARY & MARCH OF 2021.
6. ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE AND BASED ON VISABLE EVIDENCE AND AVAILABLE TOWN RECORDS. RELIABLE LOCATIONS SHOULD BE VERIFIED BY THE TOWN OF SALISBURY AND BY CALLING DIG SAFE AT 811.
7. A LOMA HAS BEEN FILED AND APPROVED TO REMOVE THE PARCEL FROM THE DESIGNATED FLOOD HAZARD AREA - AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 25009C0129F PANEL 129 OF 600 EFFECTIVE DATE JULY 3, 2012. SEE CASE NUMBER 22-01-0049A AND THE DETERMINATION DOCUMENT PROVIDED WITH THE APPLICATION PACKAGE.
8. PLAN BEARINGS ARE BASED UPON THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM (NAD83) - MAINLAND ZONE PER GPS OBSERVATIONS.
9. ALL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM (NAVD88), PER GPS OBSERVATIONS.
10. THE PORTION OF THIS PARCEL CONTAINING REGISTERED LAND IS IN THE PROCESS OF BEING REMOVED FROM LAND COURT.

**LOCUS MAP**  
(SCALE: 1:1,000)



DATE	DESCRIPTION
1/3/23	REDESIGNED PER TOWN REVIEW
8/30/22	REV. PER TOWN REVIEW
8/2/22	REV. PER TOWN REVIEW

APPLICANT:  
**LARKIN REAL ESTATE GROUP, INC.**  
383 MAIN STREET  
MEDFIELD, MA. 02052

PROJECT:  
**159 BEACH ROAD**  
TAX MAP 28 - LOT 1  
SALISBURY, MA. 01952

DATE ISSUED: JUNE 14, 2022  
PROJECT #: 21-10254  
PREPARED BY: WILLIAM HALL, P.E.

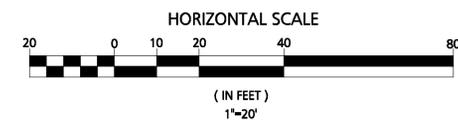
PROFESSIONAL LAND SURVEYOR FOR CIVIL DESIGN CONSULTANTS, INC.

**CIVIL DESIGN Consultants, Inc.**  
SURVEY • DESIGN • PERMITTING • CONSTRUCTION ADMINISTRATION

344 North Main Street Andover, MA 01810 Tel: (978) 416-0920 Fax: (978) 416-7865

DRAWING TITLE:  
**EXISTING CONDITIONS PLAN**

DRAWING #:



**C-2**

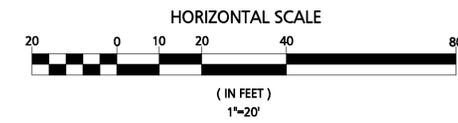
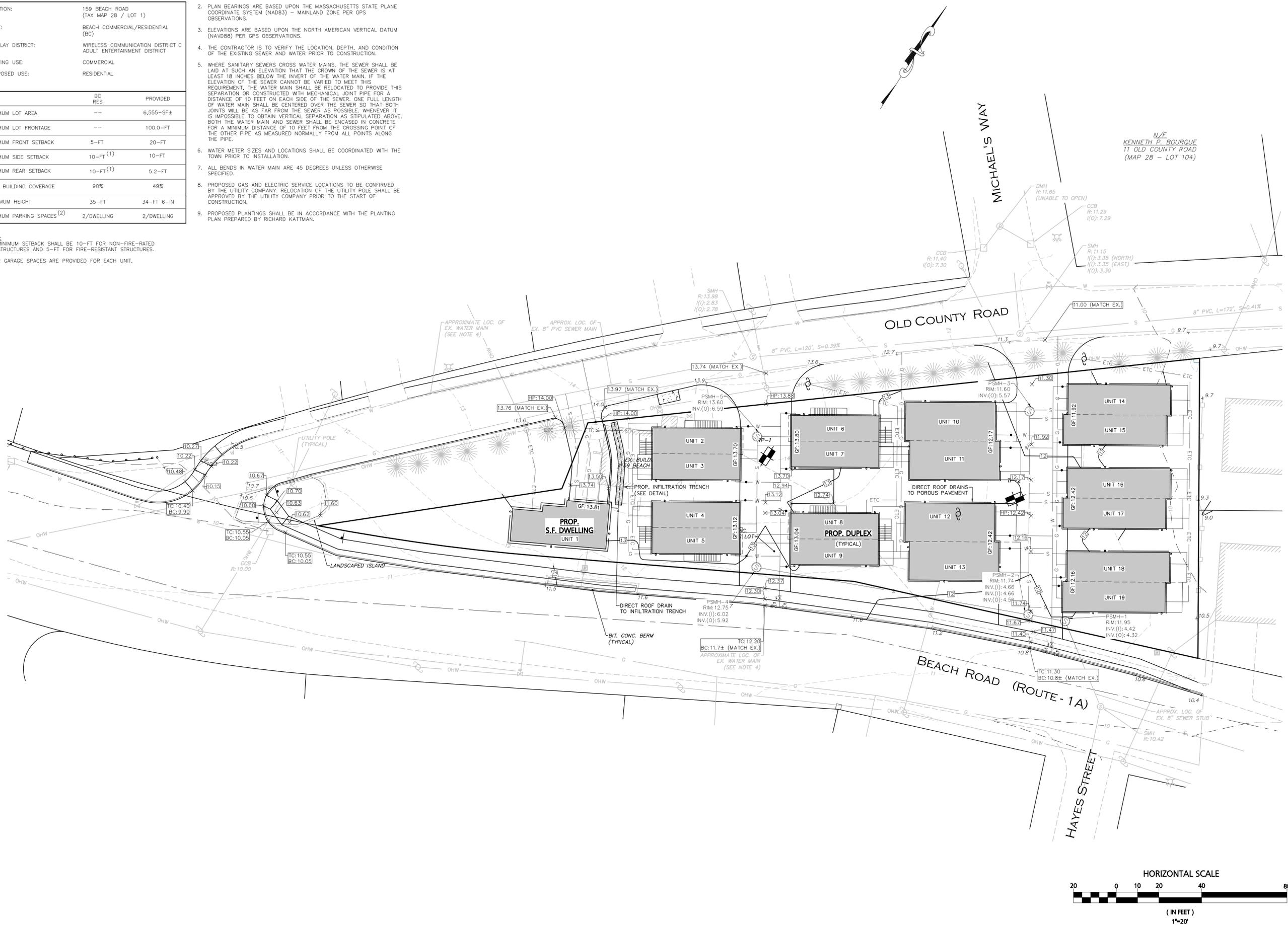
**LAND USE TABLE**

LOCATION:	159 BEACH ROAD (TAX MAP 28 / LOT 1)	
ZONE:	BEACH COMMERCIAL/RESIDENTIAL (BC)	
OVERLAY DISTRICT:	WIRELESS COMMUNICATION DISTRICT C ADULT ENTERTAINMENT DISTRICT	
EXISTING USE:	COMMERCIAL	
PROPOSED USE:	RESIDENTIAL	
ITEM	BC RES	PROVIDED
MINIMUM LOT AREA	--	6,555-SF±
MINIMUM LOT FRONTAGE	--	100.0-FT
MINIMUM FRONT SETBACK	5-FT	20-FT
MINIMUM SIDE SETBACK	10-FT <sup>(1)</sup>	10-FT
MINIMUM REAR SETBACK	10-FT <sup>(1)</sup>	5.2-FT
MAX. BUILDING COVERAGE	90%	49%
MAXIMUM HEIGHT	35-FT	34-FT 6-IN
MINIMUM PARKING SPACES <sup>(2)</sup>	2/DWELLING	2/DWELLING

- NOTE:  
 1. MINIMUM SETBACK SHALL BE 10-FT FOR NON-FIRE-RATED STRUCTURES AND 5-FT FOR FIRE-RESISTANT STRUCTURES.  
 2. 2 GARAGE SPACES ARE PROVIDED FOR EACH UNIT.

**PROJECT NOTES:**

- SEE SHEET C-1 FOR COMPLETE PROJECT NOTES
- PLAN BEARINGS ARE BASED UPON THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM (NAD83) - MAINLAND ZONE PER GPS OBSERVATIONS.
- ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM (NAVD88) PER GPS OBSERVATIONS.
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- WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL JOINT PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHENEVER IT IS IMPOSSIBLE TO OBTAIN VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND SEWER SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
- WATER METER SIZES AND LOCATIONS SHALL BE COORDINATED WITH THE TOWN PRIOR TO INSTALLATION.
- ALL BENDS IN WATER MAIN ARE 45 DEGREES UNLESS OTHERWISE SPECIFIED.
- PROPOSED GAS AND ELECTRIC SERVICE LOCATIONS TO BE CONFIRMED BY THE UTILITY COMPANY. RELOCATION OF THE UTILITY POLE SHALL BE APPROVED BY THE UTILITY COMPANY PRIOR TO THE START OF CONSTRUCTION.
- PROPOSED PLANTINGS SHALL BE IN ACCORDANCE WITH THE PLANTING PLAN PREPARED BY RICHARD KATTMAN.



FOR REGISTRY USE ONLY  
 THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS IN 1978 AND AMENDED JANUARY 12, 1988.

ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_  
**APPROVED BY THE TOWN OF SALISBURY PLANNING BOARD**  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 CERTIFICATE OF ACTION  
 DATE OF ENDORSEMENT \_\_\_\_\_

DATE	DESCRIPTION
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8/30/22	REV. PER TOWN REVIEW
8/2/22	REV. PER TOWN REVIEW

PREPARED FOR:  
**LARKIN REAL ESTATE GROUP INC.**  
 383 MAIN STREET  
 MEDFIELD, MA 02052

PROJECT:  
**159 BEACH ROAD**  
 TAX MAP 28 - LOT 1  
 SALISBURY, MA. 01952

DATE ISSUED: JUNE 14, 2022  
 PROJECT #: 21-10254  
 PREPARED BY: WILLIAM HALL, P.E.

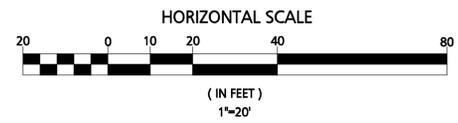
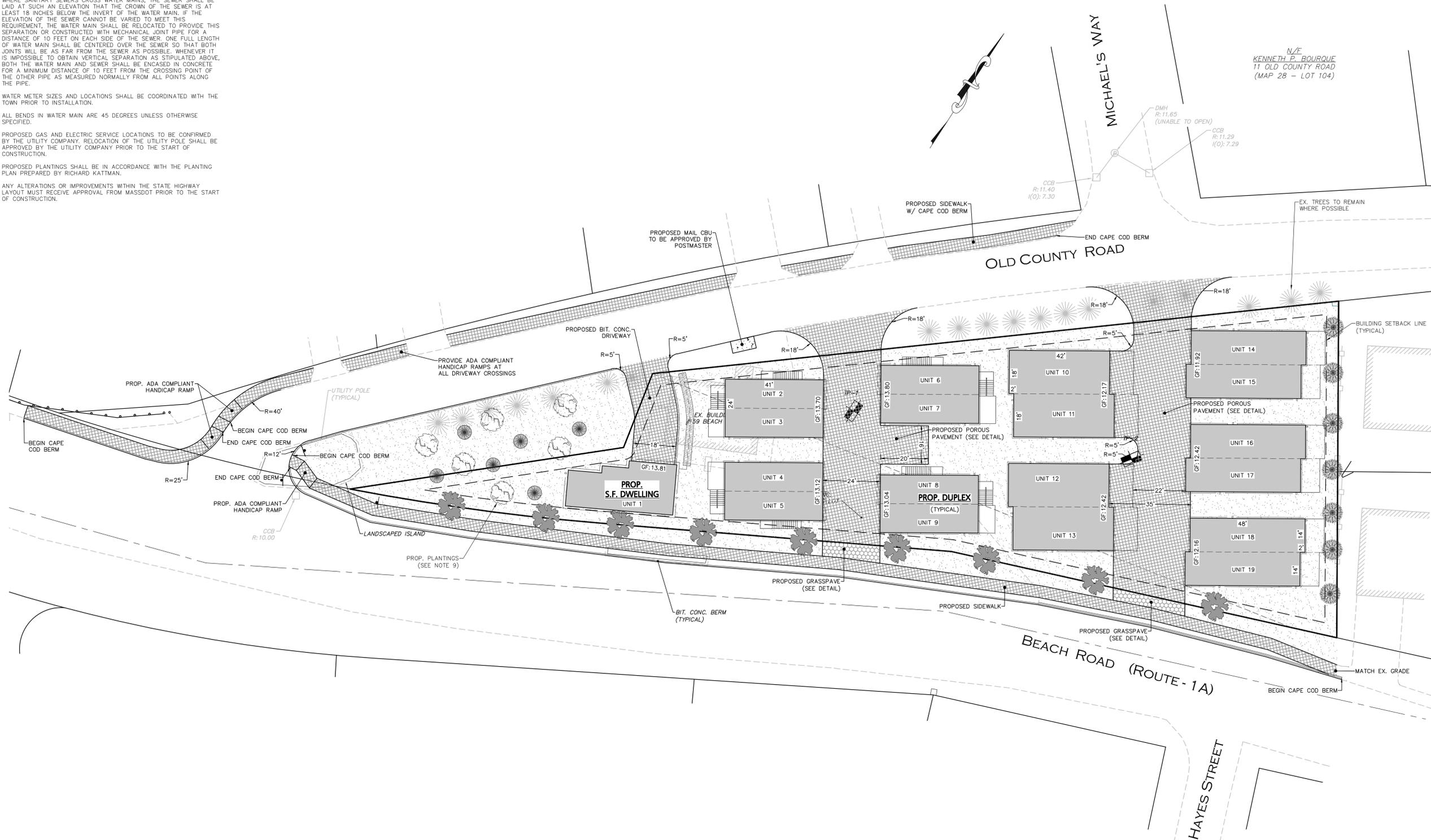
PROFESSIONAL ENGINEER FOR CIVIL DESIGN CONSULTANTS, INC.  
**CIVIL DESIGN Consultants, Inc.**  
 SURVEY • DESIGN • PERMITTING • CONSTRUCTION ADMINISTRATION  
 344 North Main Street Andover, MA 01810 Tel: (978) 416-0920 Fax: (978) 416-7865

DRAWING TITLE:  
**GRADING & DRAINAGE PLAN**

DRAWING #:  
**C-3**

**PROJECT NOTES:**

- SEE SHEET C-1 FOR COMPLETE PROJECT NOTES
- PLAN BEARINGS ARE BASED UPON THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM (NAD83) - MAINLAND ZONE PER GPS OBSERVATIONS.
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- WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL JOINT PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHENEVER IT IS IMPOSSIBLE TO OBTAIN VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND SEWER SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
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- ALL BENDS IN WATER MAIN ARE 45 DEGREES UNLESS OTHERWISE SPECIFIED.
- PROPOSED GAS AND ELECTRIC SERVICE LOCATIONS TO BE CONFIRMED BY THE UTILITY COMPANY. RELOCATION OF THE UTILITY POLE SHALL BE APPROVED BY THE UTILITY COMPANY PRIOR TO THE START OF CONSTRUCTION.
- PROPOSED PLANTINGS SHALL BE IN ACCORDANCE WITH THE PLANTING PLAN PREPARED BY RICHARD KATTMAN.
- ANY ALTERATIONS OR IMPROVEMENTS WITHIN THE STATE HIGHWAY LAYOUT MUST RECEIVE APPROVAL FROM MASSDOT PRIOR TO THE START OF CONSTRUCTION.



FOR REGISTRY USE ONLY  
 THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS IN 1978 AND AMENDED JANUARY 12, 1988.

APPROVED BY THE TOWN OF SALISBURY  
 PLANNING BOARD

ENGINEER	DATE
CERTIFICATE OF ACTION	
DATE OF ENDORSEMENT	

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PREPARED FOR:  
**LARKIN REAL ESTATE GROUP INC.**  
 383 MAIN STREET  
 MEDFIELD, MA 02052

PROJECT:  
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 TAX MAP 28 - LOT 1  
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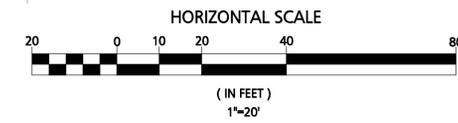
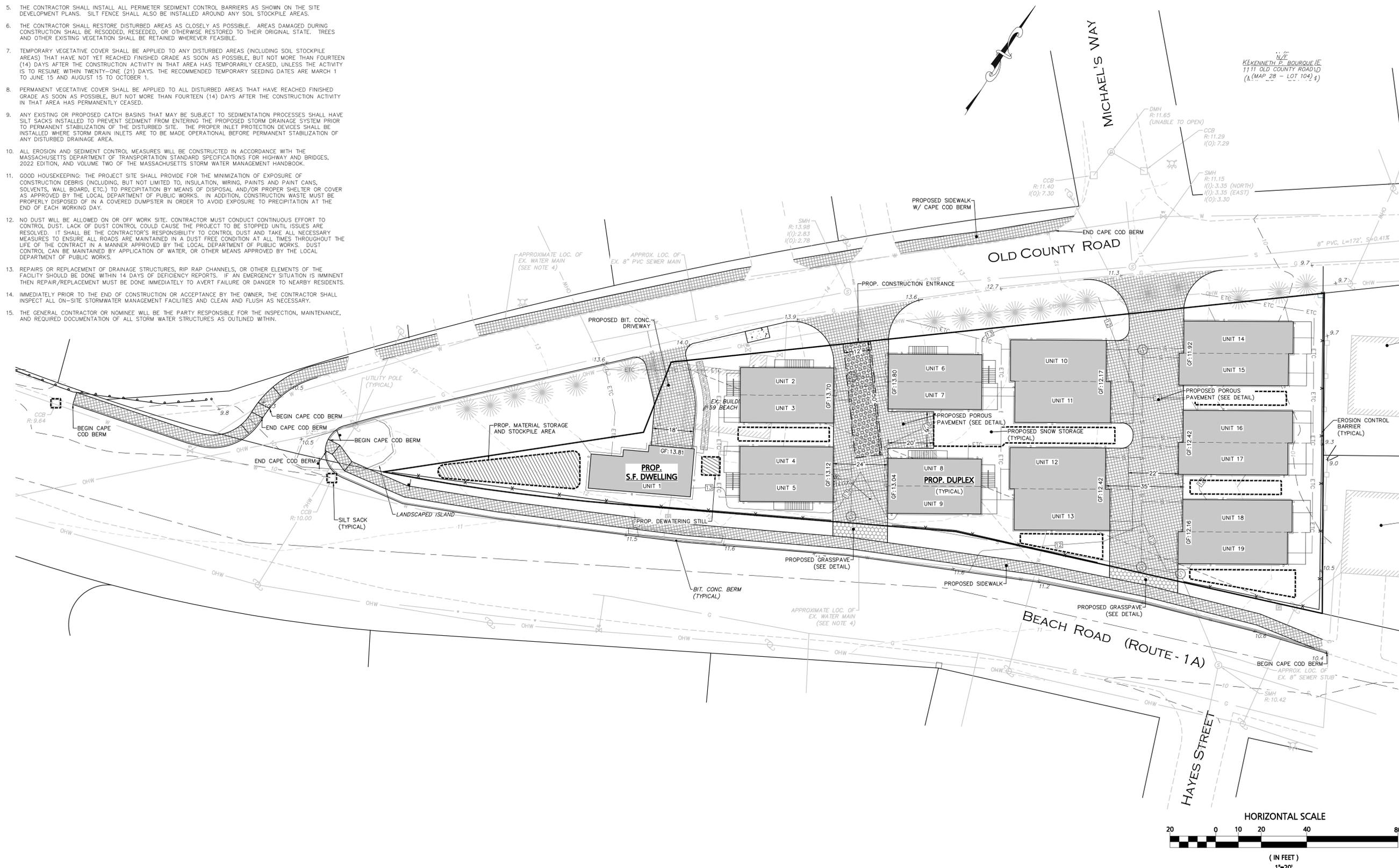
PROFESSIONAL ENGINEER FOR CIVIL DESIGN  
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 344 North Main Street Andover, MA 01810 Tel: (978) 416-0920 Fax: (978) 416-7865

DRAWING TITLE:  
**LAYOUT & MATERIALS PLAN**

DRAWING #:  
**C-4**

**GENERAL EROSION CONTROL NOTES**

1. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENT CONTROL DEVICE AS SHOWN ON THE PLAN. ALL EROSION CONTROL DEVICES SHALL BE MAINTAINED IN EFFECTIVE CONDITION DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE TERMS AND CONDITIONS OF THE PERMIT DOCUMENTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE TIMELY INSTALLATION, INSPECTION, MAINTENANCE, AND/OR REPLACEMENT OF ALL TEMPORARY AND PERMANENT EROSION CONTROL DEVICES TO ENSURE PROPER OPERATION THROUGHOUT THE LIFE OF THE PROJECT. THE CONDITION OF EROSION CONTROL MEASURES SHALL BE CHECKED AFTER EVERY STORM EVENT. REPAIRS SHALL OCCUR WITHIN 24 HOURS. THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF PERMANENT MEASURES UNTIL CONSTRUCTION OF THE PROJECT IS COMPLETED OR UNTIL IT IS ACCEPTED BY THE OWNER. THE OWNER IS RESPONSIBLE THEREAFTER.
3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CLEAN ROADS, CONTROL DUST, AND TAKE ALL NECESSARY MEASURES TO ENSURE THAT THE SITE AND ALL ROADS BE MAINTAINED IN A MUD AND DUST-FREE CONDITION AT ALL TIMES THROUGHOUT THE LIFE OF THE CONTRACT IN A MANNER APPROVED BY THE LOCAL DEPARTMENT OF PUBLIC WORKS. METHODS SHALL INCLUDE, BUT NOT BE LIMITED TO, SWEEPING OF THE STREET AND APPLICATION OF WATER TO CONTROL DUST.
4. ALL PROPOSED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AS SHOWN ON THE PLANS AND DETAILS. ALL VEHICLE TRAFFIC ENTERING OR EXITING THE WORK AREA SHALL PASS OVER THE CONSTRUCTION ENTRANCE TO REDUCE THE TRACKING OR FLOWING OF SEDIMENT ONTO THE SURROUNDING ROADWAYS.
5. THE CONTRACTOR SHALL INSTALL ALL PERIMETER SEDIMENT CONTROL BARRIERS AS SHOWN ON THE SITE DEVELOPMENT PLANS. SILT FENCE SHALL ALSO BE INSTALLED AROUND ANY SOIL STOCKPILE AREAS.
6. THE CONTRACTOR SHALL RESTORE DISTURBED AREAS AS CLOSELY AS POSSIBLE. AREAS DAMAGED DURING CONSTRUCTION SHALL BE RESEEDDED, RESEEDDED, OR OTHERWISE RESTORED TO THEIR ORIGINAL STATE. TREES AND OTHER EXISTING VEGETATION SHALL BE RETAINED WHEREVER FEASIBLE.
7. TEMPORARY VEGETATIVE COVER SHALL BE APPLIED TO ANY DISTURBED AREAS (INCLUDING SOIL STOCKPILE AREAS) THAT HAVE NOT YET REACHED FINISHED GRADE AS SOON AS POSSIBLE, BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY CEASED, UNLESS THE ACTIVITY IS TO RESUME WITHIN TWENTY-ONE (21) DAYS. THE RECOMMENDED TEMPORARY SEEDING DATES ARE MARCH 1 TO JUNE 15 AND AUGUST 15 TO OCTOBER 1.
8. PERMANENT VEGETATIVE COVER SHALL BE APPLIED TO ALL DISTURBED AREAS THAT HAVE REACHED FINISHED GRADE AS SOON AS POSSIBLE, BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS PERMANENTLY CEASED.
9. ANY EXISTING OR PROPOSED CATCH BASINS THAT MAY BE SUBJECT TO SEDIMENTATION PROCESSES SHALL HAVE SILT SACKS INSTALLED TO PREVENT SEDIMENT FROM ENTERING THE PROPOSED STORM DRAINAGE SYSTEM PRIOR TO PERMANENT STABILIZATION OF THE DISTURBED SITE. THE PROPER INLET PROTECTION DEVICES SHALL BE INSTALLED WHERE STORM DRAIN INLETS ARE TO BE MADE OPERATIONAL BEFORE PERMANENT STABILIZATION OF ANY DISTURBED DRAINAGE AREA.
10. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGES, 2022 EDITION, AND VOLUME TWO OF THE MASSACHUSETTS STORM WATER MANAGEMENT HANDBOOK.
11. GOOD HOUSEKEEPING: THE PROJECT SITE SHALL PROVIDE FOR THE MINIMIZATION OF EXPOSURE OF CONSTRUCTION DEBRIS (INCLUDING, BUT NOT LIMITED TO, INSULATION, WIRING, PAINTS AND PAINT CANS, SOLVENTS, WALL BOARD, ETC.) TO PRECIPITATION BY MEANS OF DISPOSAL AND/OR PROPER SHELTER OR COVER AS APPROVED BY THE LOCAL DEPARTMENT OF PUBLIC WORKS. IN ADDITION, CONSTRUCTION WASTE MUST BE PROPERLY DISPOSED OF IN A COVERED DUMPSTER IN ORDER TO AVOID EXPOSURE TO PRECIPITATION AT THE END OF EACH WORKING DAY.
12. NO DUST WILL BE ALLOWED ON OR OFF WORK SITE. CONTRACTOR MUST CONDUCT CONTINUOUS EFFORT TO CONTROL DUST. LACK OF DUST CONTROL COULD CAUSE THE PROJECT TO BE STOPPED UNTIL ISSUES ARE RESOLVED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTROL DUST AND TAKE ALL NECESSARY MEASURES TO ENSURE ALL ROADS ARE MAINTAINED IN A DUST FREE CONDITION AT ALL TIMES THROUGHOUT THE LIFE OF THE CONTRACT IN A MANNER APPROVED BY THE LOCAL DEPARTMENT OF PUBLIC WORKS. DUST CONTROL CAN BE MAINTAINED BY APPLICATION OF WATER, OR OTHER MEANS APPROVED BY THE LOCAL DEPARTMENT OF PUBLIC WORKS.
13. REPAIRS OR REPLACEMENT OF DRAINAGE STRUCTURES, RIP RAP CHANNELS, OR OTHER ELEMENTS OF THE FACILITY SHOULD BE DONE WITHIN 14 DAYS OF DEFICIENCY REPORTS. IF AN EMERGENCY SITUATION IS IMMINENT THEN REPAIR/REPLACEMENT MUST BE DONE IMMEDIATELY TO AVERT FAILURE OR DANGER TO NEARBY RESIDENTS.
14. IMMEDIATELY PRIOR TO THE END OF CONSTRUCTION OR ACCEPTANCE BY THE OWNER, THE CONTRACTOR SHALL INSPECT ALL ON-SITE STORMWATER MANAGEMENT FACILITIES AND CLEAN AND FLUSH AS NECESSARY.
15. THE GENERAL CONTRACTOR OR NOMINEE WILL BE THE PARTY RESPONSIBLE FOR THE INSPECTION, MAINTENANCE, AND REQUIRED DOCUMENTATION OF ALL STORM WATER STRUCTURES AS OUTLINED WITHIN.



FOR REGISTRY USE ONLY

THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS IN 1978 AND AMENDED JANUARY 12, 1988.

ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY THE TOWN OF SALISBURY PLANNING BOARD

\_\_\_\_\_  
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 \_\_\_\_\_

CERTIFICATE OF ACTION \_\_\_\_\_  
 DATE OF ENDORSEMENT \_\_\_\_\_

1/3/23	REDESIGNED PER TOWN REVIEW
8/30/22	REV. PER TOWN REVIEW
8/2/22	REV. PER TOWN REVIEW
DATE	DESCRIPTION
REVISIONS	

PREPARED FOR:

**LARKIN REAL ESTATE GROUP INC.**  
 383 MAIN STREET  
 MEDFIELD, MA 02052

PROJECT:

**159 BEACH ROAD**  
 TAX MAP 28 - LOT 1  
 SALISBURY, MA. 01952

DATE ISSUED: JUNE 14, 2022

PROJECT #: 21-10254

PREPARED BY: WILLIAM HALL, P.E.

PROFESSIONAL ENGINEER FOR CIVIL DESIGN CONSULTANTS, INC.

**CIVIL DESIGN Consultants, Inc.**  
 SURVEY • DESIGN • PERMITTING • CONSTRUCTION ADMINISTRATION

344 North Main Street Andover, MA 01810 Tel: (978) 416-0920 Fax: (978) 416-7865

DRAWING TITLE:

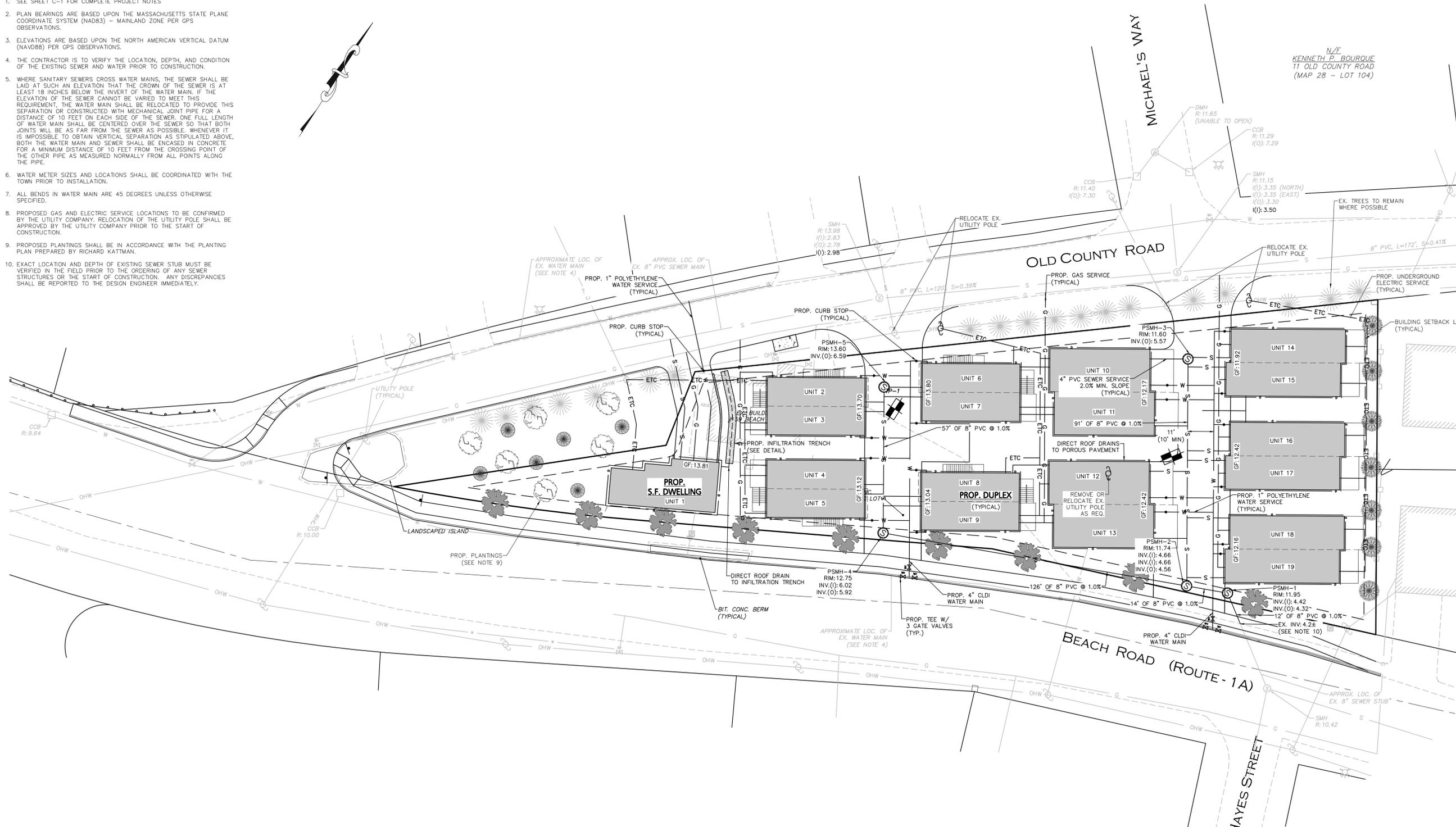
**EROSION CONTROL PLAN**

DRAWING #:

**C-5**

**PROJECT NOTES:**

- SEE SHEET C-1 FOR COMPLETE PROJECT NOTES
- PLAN BEARINGS ARE BASED UPON THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM (NAD83) - MAINLAND ZONE PER GPS OBSERVATIONS.
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- PROPOSED PLANTINGS SHALL BE IN ACCORDANCE WITH THE PLANTING PLAN PREPARED BY RICHARD KATMAN.
- EXACT LOCATION AND DEPTH OF EXISTING SEWER STUB MUST BE VERIFIED IN THE FIELD PRIOR TO THE ORDERING OF ANY SEWER STRUCTURES OR THE START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER IMMEDIATELY.



FOR REGISTRY USE ONLY  
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ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_  
**APPROVED BY THE TOWN OF SALISBURY PLANNING BOARD**  
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8/30/22	REV. PER TOWN REVIEW

PREPARED FOR:  
**LARKIN REAL ESTATE GROUP INC.**  
 383 MAIN STREET  
 MEDFIELD, MA 02052

PROJECT:  
**159 BEACH ROAD**  
 TAX MAP 28 - LOT 1  
 SALISBURY, MA. 01952

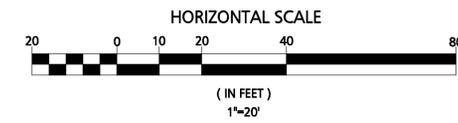
DATE ISSUED: AUGUST 2, 2022  
 PROJECT #: 21-10254  
 PREPARED BY: WILLIAM HALL, P.E.

PROFESSIONAL ENGINEER FOR CIVIL DESIGN  
 CONSULTANTS, INC.  
**CIVIL DESIGN**  
 Consultants, Inc.  
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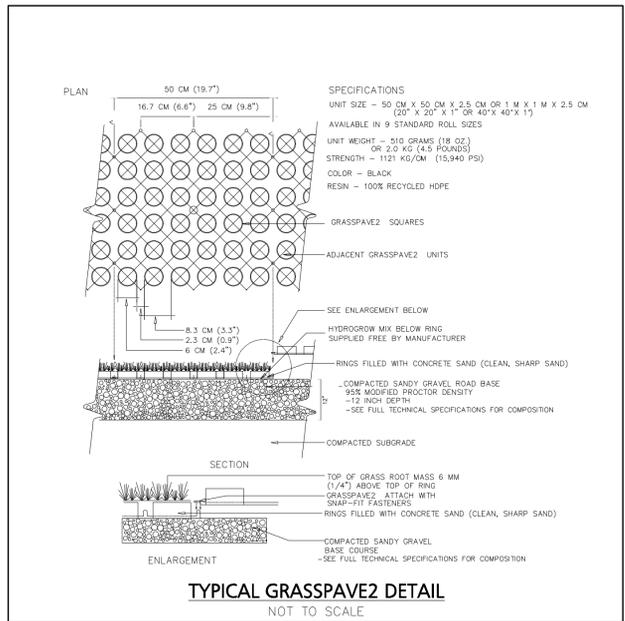
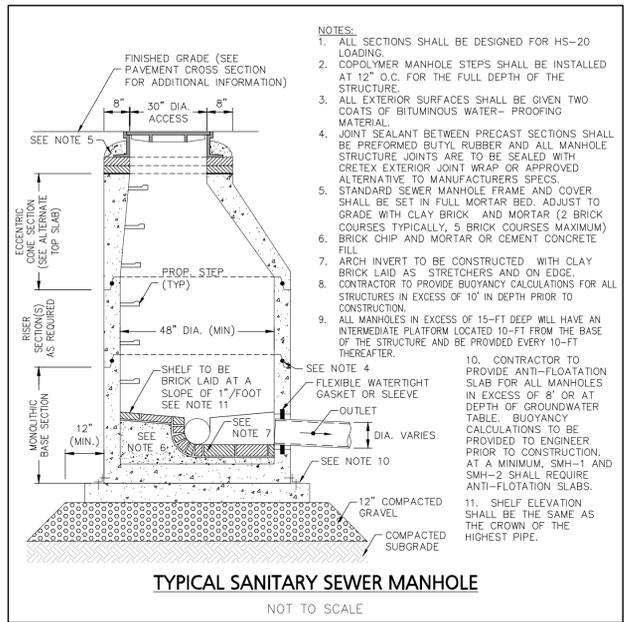
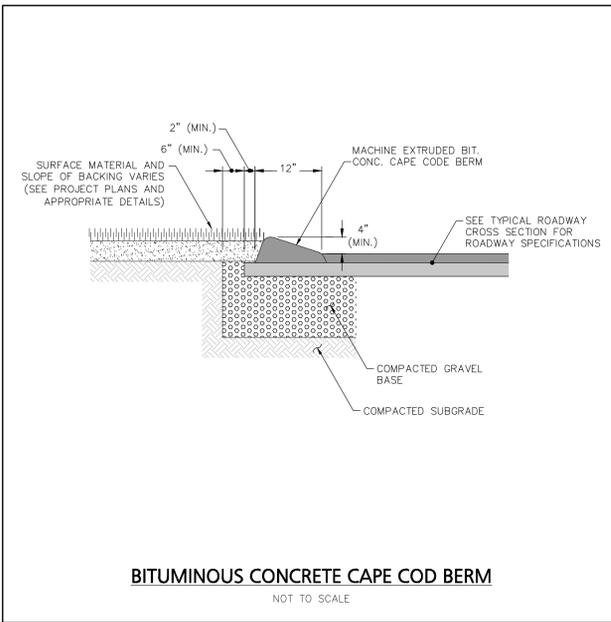
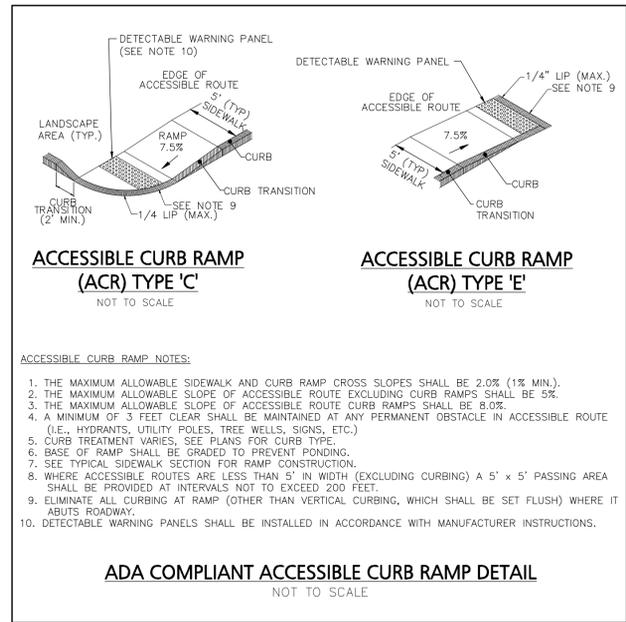
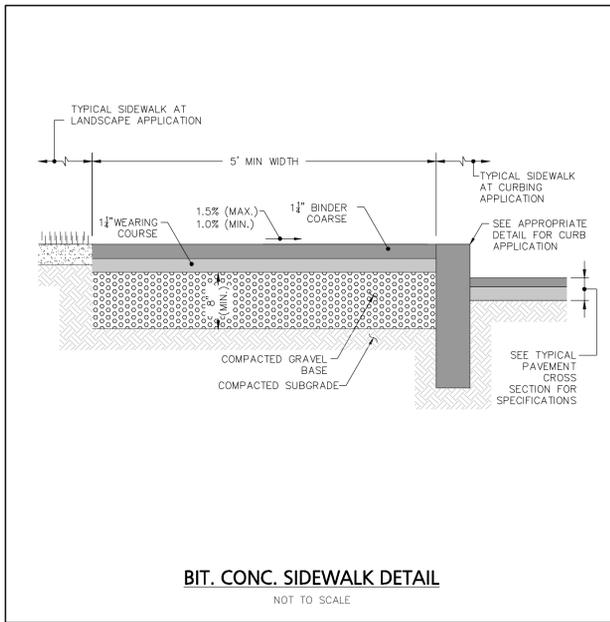
344 North Main Street Andover, MA 01810 Tel: (978) 416-0920 Fax: (978) 416-7865

DRAWING TITLE:  
**UTILITY LAYOUT PLAN**

DRAWING #:  
**C-6**







FOR REGISTRY USE ONLY  
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APPROVED BY THE TOWN OF SALISBURY PLANNING BOARD  
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PREPARED FOR:  
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 383 MAIN STREET  
 MEDFIELD, MA 02052

PROJECT:  
**159 BEACH ROAD**  
 TAX MAP 28 - LOT 1  
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DATE ISSUED: JUNE 14, 2022  
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**CIVIL DESIGN Consultants, Inc.**  
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