

1. LOCATION: 159 BEACH ROAD – ROUTE 1A
SALISBURY, MA
TAX MAP 28 LOT 1
2. PROPERTY REFERENCES: SOUTH ESSEX REGISTRY OF DEEDS
BOOK 8770 PAGE 72 (1986)
3. OWNER: EDWARD FOOTE, JR. & JOANNE F. BLAIS
123 CENTRAL AVENUE
SALISBURY, MA, 01952
4. LAND SURVEYOR: SEC & ASSOCIATES
PLAISTON, NH 03865
TEL: (603) 382-5065
5. ALL INFORMATION AS SHOWN WAS PRODUCED FROM THE TOWN OF
SALISBURY INFORMATION, THE SOUTH ESSEX REGISTRY OF DEEDS OF
DEEDS AND AN ON GROUND SURVEY BY SEC & ASSOCIATES OF PLAISTON,
NH IN FEBRUARY & MARCH OF 2021.
6. ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE AND
BASED ON VISIBLE EVIDENCE AND AVAILABLE TOWN RECORDS. RELIABLE
LOCATIONS SHOULD BE VERIFIED BY THE TOWN OF SALISBURY AND BY
CALLING DIG SAFE AT 811.
7. PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA –
AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 25009C0129F PANEL
129 OF 600 EFFECTIVE DATE JULY 3, 2012.
8. PLAN BEARINGS ARE BASED UPON THE MASSACHUSETTS STATE PLANE
COORDINATE SYSTEM (NAD83) – MAINLAND ZONE PER GPS OBSERVATIONS.
9. ALL ELEVATIONS REFER TO THE NORTH AMERICAN
VERTICAL DATUM (NAVD88), PER GPS OBSERVATIONS.
10. THE PORTION OF THIS PARCEL CONTAINING REGISTERED LAND IS IN THE
PROCESS OF BEING REMOVED FROM LAND COURT.

PROPERTY LINE	=====
ABUTTERS PROPERTY LINE	=====
EXISTING EDGE OF PAVEMENT	- - - - -
EXISTING DRAIN MANHOLE	⊙
EXISTING SEWER MANHOLE	⊙
EXISTING CONTOUR	- - - - -
EXISTING WATER	———— W ———— W ————
EXISTING HYDRANT	⌘
EXISTING GATE VALVE	⌘
EXISTING SEWER	———— S ———— S ————
EXISTING DRAIN	———— D ———— D ————
EXISTING TREE LINE	~~~~~
EXISTING CONCRETE
EXISTING TEST PIT	⌘ TP-1
EXISTING DRILL HOLE	⊙
EXISTING IRON PIN	○
EXISTING BOUND	□
EXISTING SIGN	⌘
EXISTING SITE LIGHTING	⌘
BUILDING SETBACK	- - - - -
PROPOSED STRUCTURE	=====
PROPOSED CURB	=====
PROPOSED PAVEMENT	XXXXXX
PROPOSED CONCRETE
PROPOSED CONTOUR	- - - - -
PROPOSED SPOT GRADE	⌘ 151.00
PROPOSED SPOT GRADE (TW/BW)	⌘ TW:159.57 BW:155.67
PROPOSED DRAIN	———— D ———— D ————
PROPOSED SILT FENCE	———— X ————
PROPOSED RETAINING WALL	— △ — △ — △ —
PROPOSED OPEN SPACE	
PROPOSED LANDSCAPE AREA
PROPOSED WATER	———— W ———— W ————
PROPOSED GATE VALVE/ REDUCER & HYDRANT	⌘ ► ⌘
PROPOSED GAS	———— G ———— G ————
PROPOSED SEWER	=====
PROPOSED SEWER MANHOLE	⊙
PROPOSED ELECTRIC/TELEPHONE/CABLE	———— ETC ———— ETC ————
PROPOSED MONUMENT	⌘
PROPOSED IRON PIN	⊙
PROPOSED EASEMENT	- - - - -
PROPOSED SIGN	⌘
PROPOSED LIMIT OF WORK

Map Details:

- North Arrow:** Located in the upper left corner.
- Scale:** 1" = 50' (IN FEET). Scale bar shows 0, 50, and 100 feet.
- Streets:**
 - Michael's Way
 - Old County Road
 - Beach Road
 - Hayes Street
- Properties and Owners:**
 - LOT 1:** Vincent Barsalov Jr., 5 Old County Road (MAP 28 - LOT 101); Glenn A. Cipolla, 7 Old County Road (MAP 28 - LOT 102); Michael F. Richard, 3 Old County Road (MAP 28 - LOT 31); David M. Holscher, 1 Old County Road (MAP 28 - LOT 100); John A. Hilton Jr., 162 Beach Road (MAP 27 - LOT 35); Thomas K. Bramhall, 160 Beach Road (MAP 27 - LOT 34); Karolee S. Mokai-McDermott, 2 Hayes Street (MAP 27 - LOT 39); Francis I. Griffin Jr., 170 Beach Road (MAP 28 - LOT 18).
 - LOT 2:** Theodore X. Nickola, 11 Old County Road (MAP 28 - LOT 104); Christine J. & Robert Schena, 10 Old County Road (MAP 28 - LOT 117); Sherri Marshall, 165 Beach Road (MAP 28 - LOT 112).
 - Other:** Coast Lane LLC, 158 Beach Road (MAP 27 - LOT 33).
- Proposed Features:** A proposed easement is shown as a dashed line, and a proposed road is shown as a solid line.

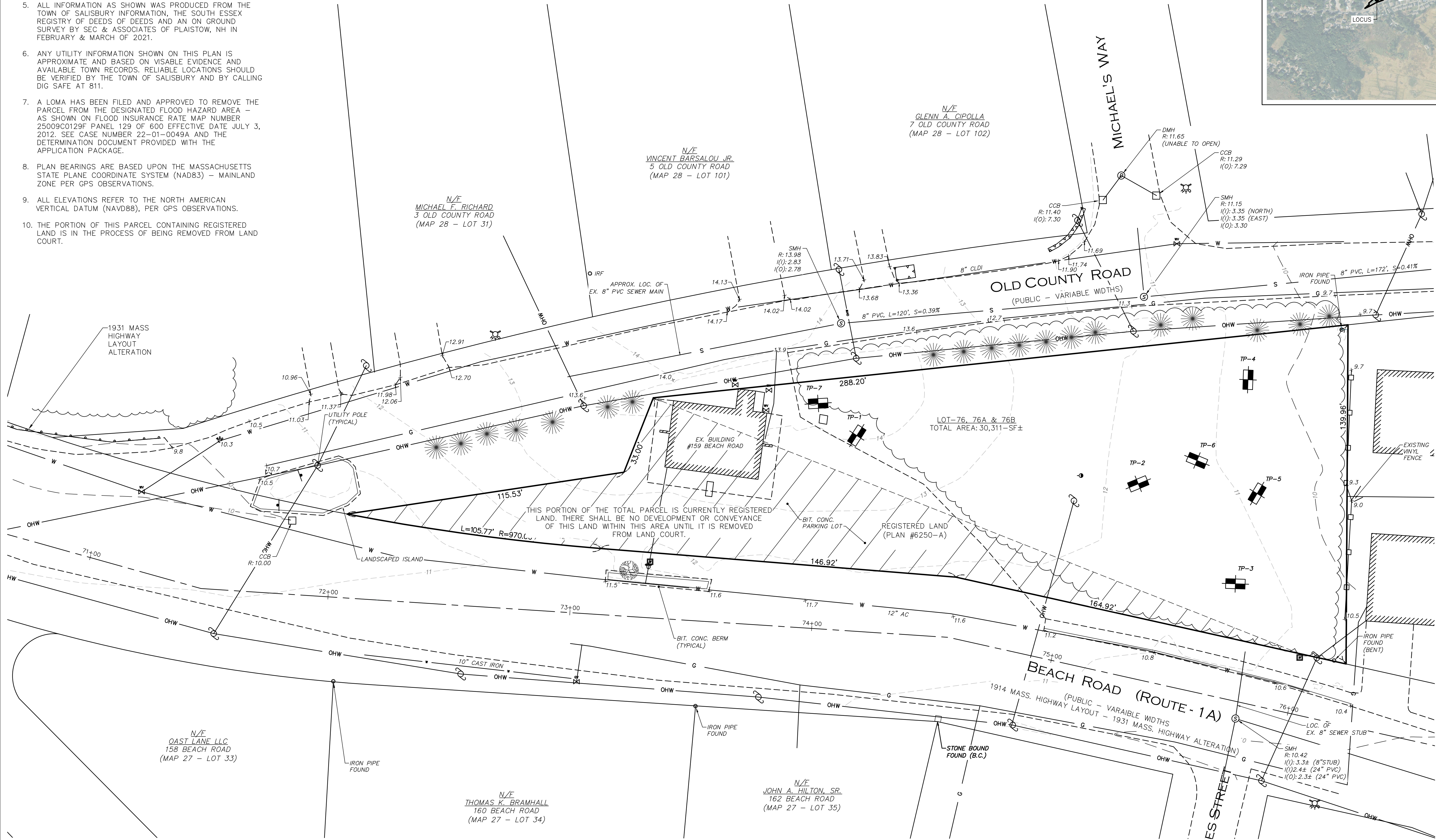
TITLE	DATE ISSUED
C-1 COVER SHEET	12/5/23
C-2 EXISTING CONDITIONS PLAN	08/11/23
C-3 DEFINITIVE SUBDIVISION PLAN	12/5/23
C-4 GRADING, DRAINAGE & UTILITIES PLAN	12/5/23
C-5 CONSTRUCTION PLAN	12/5/23
D-1 CONSTRUCTION DETAILS	12/5/23

C-1

ISSUED FOR APPROVAL:DECEMBER 5, 2023

PROJECT NOTES:

1. LOCATION: 159 BEACH ROAD – ROUTE 1A
SALISBURY MA.
2. PROPERTY REFERENCES: SOUTH ESSEX REGISTRY OF
DEEDS
BOOK 8710 PAGE 72 (1986)
3. OWNER: EDWARD FOOTE, JR. & JOANNE
F. BLAIS
159 BEACH ROAD
SALISBURY, MA. 01952
4. LAND SURVEYOR: SEC & ASSOCIATES
PLAISTOW, NH 03865
TEL: (603) 382-5065
5. ALL INFORMATION AS SHOWN WAS PRODUCED FROM THE
TOWN OF SALISBURY INFORMATION, THE SOUTH ESSEX
REGISTRY OF DEEDS OF DEEDS AND AN ON GROUND
SURVEY BY SEC & ASSOCIATES OF PLAISTOW, NH IN
FEBRUARY & MARCH OF 2021.
6. ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS
APPROXIMATE AND BASED ON VISABLE EVIDENCE AND
AVAILABLE TOWN RECORDS. RELIABLE LOCATIONS SHOULD
BE VERIFIED BY THE TOWN OF SALISBURY AND BY CALLING
DIG SAFE AT 811.
7. A LOMA HAS BEEN FILED AND APPROVED TO REMOVE THE
PARCEL FROM THE DESIGNATED FLOOD HAZARD AREA –
AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER
25009C0129F PANEL 129 OF 600 EFFECTIVE DATE JULY 3,
2012. SEE CASE NUMBER 22-01-0049A AND THE
DETERMINATION DOCUMENT PROVIDED WITH THE
APPLICATION PACKAGE.
8. PLAN BEARINGS ARE BASED UPON THE MASSACHUSETTS
STATE PLANE COORDINATE SYSTEM (NAD83) – MAINLAND
ZONE PER GPS OBSERVATIONS.
9. ALL ELEVATIONS REFER TO THE NORTH AMERICAN
VERTICAL DATUM (NAVD88), PER GPS OBSERVATIONS.
10. THE PORTION OF THIS PARCEL CONTAINING REGISTERED
LAND IS IN THE PROCESS OF BEING REMOVED FROM LAND
COURT.



LOCUS MAP

(SCALE: 1:1,000)



FOR REGISTRY USE ONLY

THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE
RULES AND REGULATIONS FOR RECORDING ADOPTED
BY THE REGISTERS OF DEEDS IN 1978 AND AMENDED
JANUARY 12, 1988.

William Hall

02-07-2024

SURVEYOR DATE

APPROVED BY THE TOWN OF SALISBURY
PLANNING BOARD

CERTIFICATE OF ACTION

DATE OF ENDORSEMENT

8/11/23	REDESIGNED PER APPLICANT
5/17/23	REDESIGNED PER TOWN REVIEW
3/9/23	REDESIGNED PER APPLICANT
1/3/23	REDESIGNED PER TOWN REVIEW
8/30/22	REV. PER TOWN REVIEW
8/2/22	REV. PER TOWN REVIEW
DATE	DESCRIPTION
REVISIONS	

APPLICANT:

**LARKIN REAL ESTATE
GROUP, INC.**
383 MAIN STREET
MEDFIELD, MA. 02052

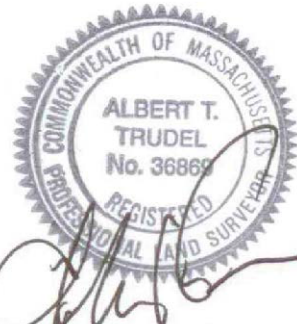
PROJECT:

159 BEACH ROAD
TAX MAP 28 - LOT 1
SALISBURY, MA. 01952

DATE ISSUED: JUNE 14, 2022

PROJECT #: 21-10254

PREPARED BY: WILLIAM HALL, P.E.



PROFESSIONAL LAND SURVEYOR FOR CIVIL
DESIGN CONSULTANTS, INC.

**CIVIL DESIGN
Consultants, Inc.**

SURVEY • DESIGN • PERMITTING • CONSTRUCTION ADMINISTRATION

344 North Main Street
Andover, MA 01810

Tel: (978) 416-0920
Fax: (978) 416-7965

DRAWING TITLE:

**EXISTING
CONDITIONS PLAN**

DRAWING #:

C-2

HORIZONTAL SCALE

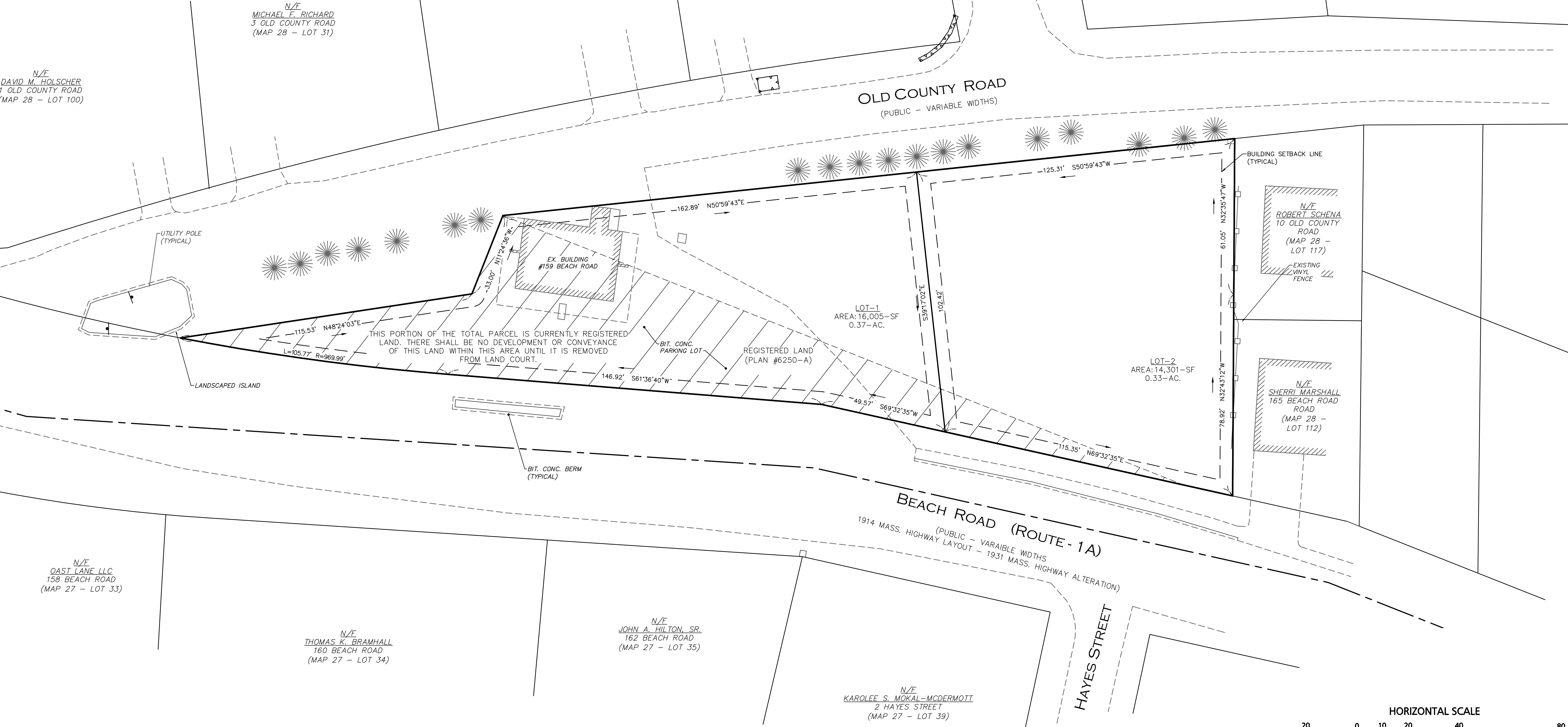


(IN FEET)

1"=20'

LAND USE TABLE			
LOCATION:	159 BEACH ROAD (TAX MAP 28 / LOT 1)		
ZONE:	BEACH COMMERCIAL/RESIDENTIAL (BC)		
OVERLAY DISTRICT:	WIRELESS COMMUNICATION DISTRICT C ADULT ENTERTAINMENT DISTRICT		
EXISTING USE:	COMMERCIAL		
PROPOSED USE:	RESIDENTIAL		
ITEM	BC RES	LOT 1	LOT 2
MINIMUM LOT AREA	-- (2)	16,005--SF±	14,301--SF±
MINIMUM LOT FRONTAGE	-- (2)	302.26--FT (BEACH) 311.42--FT (OLD COUNTY)	115.35--FT (BEACH) 125.31--FT (OLD COUNTY)
MINIMUM FRONT SETBACK	5--FT	>5--FT	>5--FT
MINIMUM SIDE SETBACK	10--FT ⁽¹⁾	>5--FT	>5--FT
MINIMUM REAR SETBACK	10--FT ⁽¹⁾	>5--FT	>5--FT
MAX. BUILDING COVERAGE	90%	<90%	<90%
MAXIMUM HEIGHT	35--FT	<35--FT	<35--FT
MINIMUM PARKING SPACES	2/DWELLING	2/DWELLING	2/DWELLING

NOTE:
1. MINIMUM SETBACK SHALL BE 10--FT FOR NON-FIRE-RATED STRUCTURES AND 5--FT FOR FIRE-RESISTANT STRUCTURES.
2. THE BC ZONE DOES NOT HAVE A REQUIREMENT FOR LOT AREA OR FRONTAGE.



FOR REGISTRY USE ONLY
THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS IN 1978 AND AMENDED JANUARY 12, 1988.

Albert T. Trudel
SURVEYOR DATE 02-07-2024

APPROVED BY THE TOWN OF SALISBURY
PLANNING BOARD

CERTIFICATE OF ACTION

DATE OF ENDORSEMENT

REVISIONS DESCRIPTION

PREPARED FOR:
LARKIN REAL ESTATE GROUP INC.
383 MAIN STREET
MEDFIELD, MA 02052

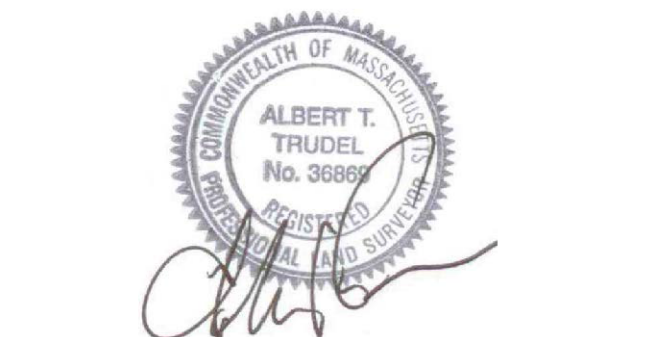
OWNER:
EDWARD FOOTE JR. & JOANNE F. BLAIS
125 CENTRAL AVENUE
SALISBURY, MA. 01952

PROJECT:
159 BEACH ROAD
TAX MAP 28 - LOT 1
SALISBURY, MA. 01952

DATE ISSUED: DECEMBER 5, 2023

PROJECT #: 21-10254

PREPARED BY: WILLIAM HALL, P.E.



PROFESSIONAL LAND SURVEYOR FOR CIVIL
DESIGN CONSULTANTS, INC.

CIVIL DESIGN
Consultants, Inc.
SURVEY • DESIGN • PERMITTING • CONSTRUCTION ADMINISTRATION

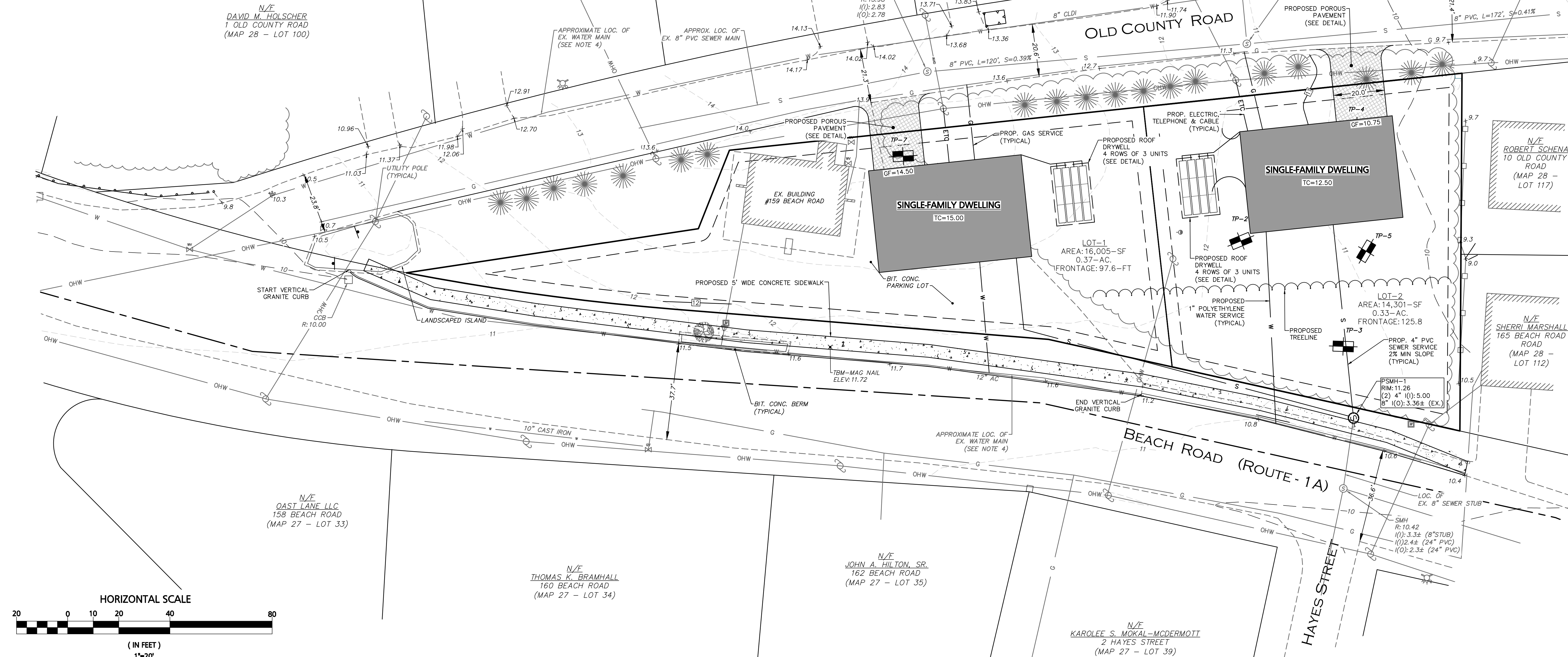
344 North Main Street Andover, MA 01810 Tel: (978) 416-0920 Fax: (978) 416-7865

DRAWING TITLE:
DEFINITIVE SUBDIVISION PLAN

DRAWING #:

C-3

1. SEE SHEET C-1 FOR COMPLETE PROJECT NOTES.
2. PLAN BEARINGS ARE BASED UPON THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM (NAD83) - MAINLAND ZONE PER GPS OBSERVATIONS.
3. ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM (NAVD88) PER GPS OBSERVATIONS.
4. THE CONTRACTOR IS TO VERIFY THE LOCATION, DEPTH, AND CONDITION OF THE EXISTING SEWER AND WATER PRIOR TO CONSTRUCTION.
5. WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL JOINT PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE FULL LENGTH OF WATER MAIN CROSSING. OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHENEVER IT IS POSSIBLE TO OBTAIN VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND SEWER SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
6. ALL BENDS IN WATER MAIN ARE 45 DEGREES UNLESS OTHERWISE SPECIFIED.
7. ANY ALTERATIONS OR IMPROVEMENTS WITHIN THE STATE HIGHWAY LAYOUT MUST RECEIVE APPROVAL FROM MASSDOT PRIOR TO THE START OF CONSTRUCTION.
8. TREE STUMPS, LIMBS, BRUSH AND ALL CONSTRUCTION DEBRIS SHALL BE LEGALLY DISPOSED OF, OFF-SITE.
9. HOURS OF CONSTRUCTION SHALL OCCUR ONLY DURING THE FOLLOWING TIMES, EXCEPTIONS MAY BE MADE WITH PRIOR AUTHORIZATION FROM THE TOWN:
 - MONDAY - FRIDAY 7 A.M. TO 6 P.M., OR DUSK WHICHEVER IS EARLIER
 - SATURDAY: 8 A.M. TO 5 P.M. OR DUSK WHICHEVER IS EARLIER
 - SUNDAY AND HOLIDAYS: NONE.
10. ANY BLASTING OPERATIONS SHALL REQUIRE ALL PROPER PERMITS AND APPROVAL OF THE TOWN FIRE AND POLICE DEPARTMENTS AND SHALL NOT BE UNDERTAKEN ON ANY WEEKEND OR HOLIDAY.
11. EXCAVATION DEWATERING SHALL BE IN A WORKMANLIKE MANNER AND SUCH WATER SHALL BE FREE OF SUSPENDED SOLIDS BEFORE BEING DISCHARGED INTO EITHER A WETLAND OR ANY STORMWATER DRAINAGE SYSTEM. THIS CONDITION APPLIES TO ALL FORMS OF DEWATERING INCLUDING PUMPING AND TRENCHING.
12. THE SUBDIVISION PLAN ENDORSEMENT AND APPROVAL SHALL BE EXERCISED IN COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF THE SALUBRITY CONSERVATION COMMISSION ORDER OF CONDITIONS. IF THERE IS ANY INCONSISTENCY BETWEEN THE SUBDIVISION PLAN, AS APPROVED BY THE PLANNING BOARD, AND THE PLANS APPROVED BY THE CONSERVATION COMMISSION, THE APPLICANT SHALL APPLY FOR SUBDIVISION MODIFICATION UNDER G.L. C.41, §81W. THE AMENDED PLAN SHALL BE ACCOMPANIED BY A REPORT DETAILING CHANGES FROM THE PRIOR APPROVED SUBDIVISION PLAN AND INCLUDE REVISED DRAINAGE CALCULATIONS, IF APPLICABLE.
13. A PROGRAM FOR SWEEPING OF THE STREETS, CLEANING AND REPAIRING OF CATCH BASINS AND OTHER DRAINAGE STRUCTURES AND MOWING OF ALL DRAINAGE STRUCTURES THAT ARE TO BE STABILIZED WITH SEEDING MUST BE APPROVED BY THE DEPARTMENT OF PUBLIC WORKS. ALL CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE ENDORSED PLAN SHALL BE CONDUCTED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH CURRENT APPROVED PRACTICES. DURING CONSTRUCTION ALL LOCAL, STATE AND FEDERAL LAWS SHALL BE FOLLOWED REGARDING NOISE, VIBRATION, DUST AND BLOCKING OF TOWN ROADS.
14. CONSTRUCTION, ONCE COMMENCED, SHALL PROGRESS THROUGH TO COMPLETION OF THE DEVELOPMENT AS APPROVED AS CONTINUOUSLY AND EXPEDITIOUSLY AS POSSIBLE AND IN ACCORDANCE WITH THE CONSTRUCTION SEQUENCE AND TIMETABLE APPROVED AT THE PRE-CONSTRUCTION MEETING.
15. NO OCCUPANCY PERMIT FOR ANY NEW DWELLING UNIT SHALL BE GRANTED BY THE BUILDING INSPECTOR UNTIL ALL DRAINAGE FACILITIES AND ASSOCIATED STRUCTURES INCLUDING, BUT NOT LIMITED TO, UNDERGROUND UTILITIES, SUCH AS ELECTRIC, TELEPHONE AND CABLE TELEVISION, HAVE BEEN COMPLETED TO THE SATISFACTION OF THE PLANNING BOARD. A BUILDING PERMIT FOR ANY NEW DWELLING UNIT SHALL BE GRANTED BY THE BUILDING INSPECTOR UNTIL THE BASE COURSE OF THE ROADWAY PAVEMENT TO SERVE EACH UNIT HAS BEEN COMPLETED TO THE SATISFACTION OF THE PLANNING BOARD.
16. CONSTRUCTION SHALL NOT RESULT IN THE NET LOSS OF SOIL MATERIAL FROM THE SITE.



THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS IN 1978 AND AMENDED JANUARY 12, 1988.

APPROVED BY THE TOWN OF SALISBURY
PLANNING BOARD

DATE OF ENDORSEMENT

PREPARED FOR:

PREPARED FOR:
LARKIN REAL
ESTATE GROUP INC
383 MAIN STREET
MEDFIELD, MA 02052

OWNER:
EDWARD FOOTE JR.
& JOANNE F. BLAIS
125 CENTRAL AVENUE
SALISBURY, MA. 01952

PROJECT:

159 BEACH ROAD

TAX MAP 28 - LOT 1

SALISBURY, MA. 01952

PROJECT #:	21-10254
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PREPARED BY:	WILLIAM HALL, P.E.
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PROFESSIONAL ENGINEER FOR CIVIL DESIGN
CONSULTANTS, INC.

CIVIL DESIGN
Consultants, Inc.
SURVEY • DESIGN • PERMITTING • CONSTRUCTION ADMINISTRATION

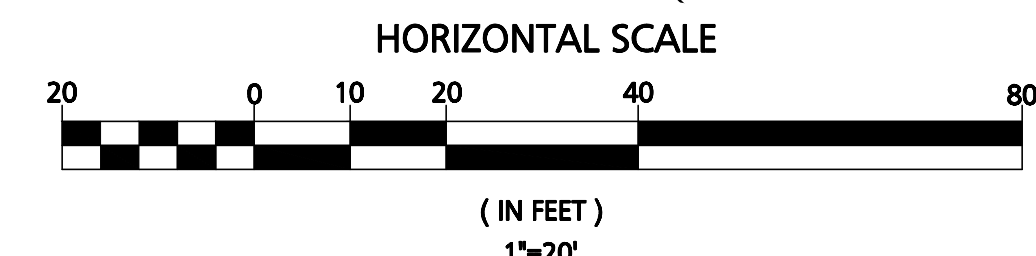
344 North Main Street
Andover, MA 01810

GRADING, DRAINAGE & UTILITIES PLAN

DRAWING #

C-4

3. SEE SHEET C-1 FOR COMPLETE PROJECT NOTES
2. PLAN BEARINGS ARE BASED UPON THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM (NAD83) -- MAINLAND ZONE PER GPS OBSERVATIONS.
3. ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM (NAVD88) PER GPS OBSERVATIONS.
4. THE CONTRACTOR IS TO VERIFY THE LOCATION, DEPTH, AND CONDITION OF THE EXISTING SEWER AND WATER PRIOR TO CONSTRUCTION.
5. WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO ACHIEVE THIS SEPARATION, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL JOINT PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHENEVER IT IS IMPOSSIBLE TO OBTAIN VERTICAL SEPARATION AS STIPULATED ABOVE, THE WATER MAIN AND SEWER SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
6. ALL BENDS IN WATER MAIN ARE 45 DEGREES UNLESS OTHERWISE SPECIFIED.
7. ANY ALTERATIONS OR IMPROVEMENTS WITHIN THE STATE HIGHWAY LAYOUT MUST RECEIVE APPROVAL FROM MASSDOT PRIOR TO THE START OF CONSTRUCTION.
8. TREE STUMPS, LIMBS, BRUSH AND ALL CONSTRUCTION DEBRIS SHALL BE LEGALLY DISPOSED OF, OFF-SITE.
9. HOURS OF CONSTRUCTION SHALL OCCUR ONLY DURING THE FOLLOWING TIMES, EXCEPTIONS MAY BE MADE WITH PRIOR AUTHORIZATION FROM THE TOWN:
 - MONDAY - FRIDAY 7 A.M. TO 6 P.M., OR DUSK WHICHEVER IS EARLIER
 - SATURDAY: 8 A.M. TO 5 P.M. OR DUSK WHICHEVER IS EARLIER
 - SUNDAY AND HOLIDAYS: NONE.
10. ANY BLASTING OPERATIONS SHALL REQUIRE ALL PROPER PERMITS AND APPROVAL OF THE TOWN FIRE AND POLICE DEPARTMENTS AND SHALL NOT BE UNDERTAKEN ON ANY WEEKEND OR HOLIDAY.
11. EXCAVATION DOWTERING SHALL BE IN A WORKMANLIKE MANNER AND SUCH WATER SHALL BE FREE OF SUSPENDED SOLIDS BEFORE BEING DISCHARGED INTO EITHER A WETLAND OR ANY STORMWATER DRAINAGE SYSTEM. THIS CONDITION APPLIES TO ALL FORMS OF DOWTERING INCLUDING PUMPING AND TRENCHING.
12. THE SUBDIVISION PLAN ENDORSEMENT AND APPROVAL SHALL BE EXERCISED IN COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF THE SALISBURY CONSERVATION COMMISSION ORDER OF CONDITIONS. IF THERE IS ANY INCONSISTENCY BETWEEN THE SUBDIVISION PLAN, AS APPROVED BY THE PLANNING BOARD, AND THE PLANS APPROVED BY THE CONSERVATION COMMISSION, THE PLANNING BOARD SHALL APPLY FOR A SUBDIVISION MODIFICATION UNDER C.L. C-41, §81W. THE AMENDED PLAN SHALL BE ACCOMPANIED BY A REPORT DETAILING CHANGES FROM THE PRIOR APPROVED SUBDIVISION PLAN AND INCLUDE REVISSED DRAINAGE CALCULATIONS, IF APPLICABLE.
13. A PROGRAM FOR SWEEPING OF THE STREETS, CLEANING AND REPAIRING OF CATCH BASINS AND OTHER DRAINAGE STRUCTURES AND MOWING OF ALL DRAINAGE STRUCTURES THAT ARE TO BE STABILIZED WITH SEEDING MUST BE APPROVED BY THE DEPARTMENT OF PUBLIC WORKS. ALL CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE ENDORSED PLAN SHALL BE CONDUCTED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH CURRENT APPROVED PRACTICES. DURING CONSTRUCTION ALL LOCAL, STATE AND FEDERAL LAWS SHALL FOLLOW REGARDING NOISE, VIBRATION, DUST AND BLOCKING OF TOWN ROADS.
14. CONSTRUCTION, ONCE COMMENCED, SHALL PROGRESS THROUGH TO COMPLETION OF THE DEVELOPMENT AS APPROVED AS CONTINUOUSLY AND EXPEDITIOUSLY AS POSSIBLE AND IN ACCORDANCE WITH THE CONSTRUCTION SEQUENCE AND TIMETABLE APPROVED AT THE PRE-CONSTRUCTION MEETING.
15. NO OCCUPANCY PERMIT FOR ANY NEW DWELLING UNIT SHALL BE GRANTED BY THE BUILDING INSPECTOR UNTIL ALL DRAINAGE FACILITIES AND ASSOCIATED STRUCTURES INCLUDING PIPES, UNDERGROUND UTILITIES, SUCH AS ELECTRICAL, TELEPHONE AND CABLES ARE INSTALLED AND THE CONSTRUCTION OF THE DRAINAGE FACILITIES IS COMPLETE. NO BUILDING PERMIT FOR ANY NEW DWELLING UNIT SHALL BE GRANTED BY THE BUILDING INSPECTOR UNTIL THE BASE COURSE OF THE ROADWAY PAVEMENT TO SERVE EACH UNIT HAS BEEN COMPLETED TO THE SATISFACTION OF THE PLANNING BOARD.
16. CONSTRUCTION SHALL NOT RESULT IN THE NET LOSS OF SOIL MATERIAL FROM THE SITE.
17. ANY SOIL OR EARTH MATERIAL BROUGHT TO THE PROPERTY DURING CONSTRUCTION SHALL BE SUBJECT TO APPROVAL BY THE PLANNING BOARD'S ENGINEER, PRIOR TO ITS ARRIVAL.
18. ALL EARTH REMOVAL SHALL COMPLY WITH THE REGULATIONS AND THE TOWN OF SALISBURY'S BY-LAW REQUIREMENTS.



THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS IN 1978 AND AMENDED JANUARY 12, 1988.

APPROVED BY THE TOWN OF SALISBURY
PLANNING BOARD

DATE OF ENDORSEMENT _____

PREPARED FOR:

I

LARKIN REAL
ESTATE GROUP INC.
383 MAIN STREET
MEDFIELD, MA 02052

**EDWARD FOOTE JR.
& JOANNE F. BLAIS**
125 CENTRAL AVENUE
SALISBURY, MA. 01952

159 BEACH ROAD
TAX MAP 28 - LOT 1
SALISBURY, MA. 01952

PROJECT #:	21-10254
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PREPARED BY:	WILLIAM HALL, P.E.
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SURVEY • DESIGN • PERMITTING • CONSTRUCTION ADMINISTRATION

BRANDED FRUIT

CONSTRUCTION PLAN

DRAWING #

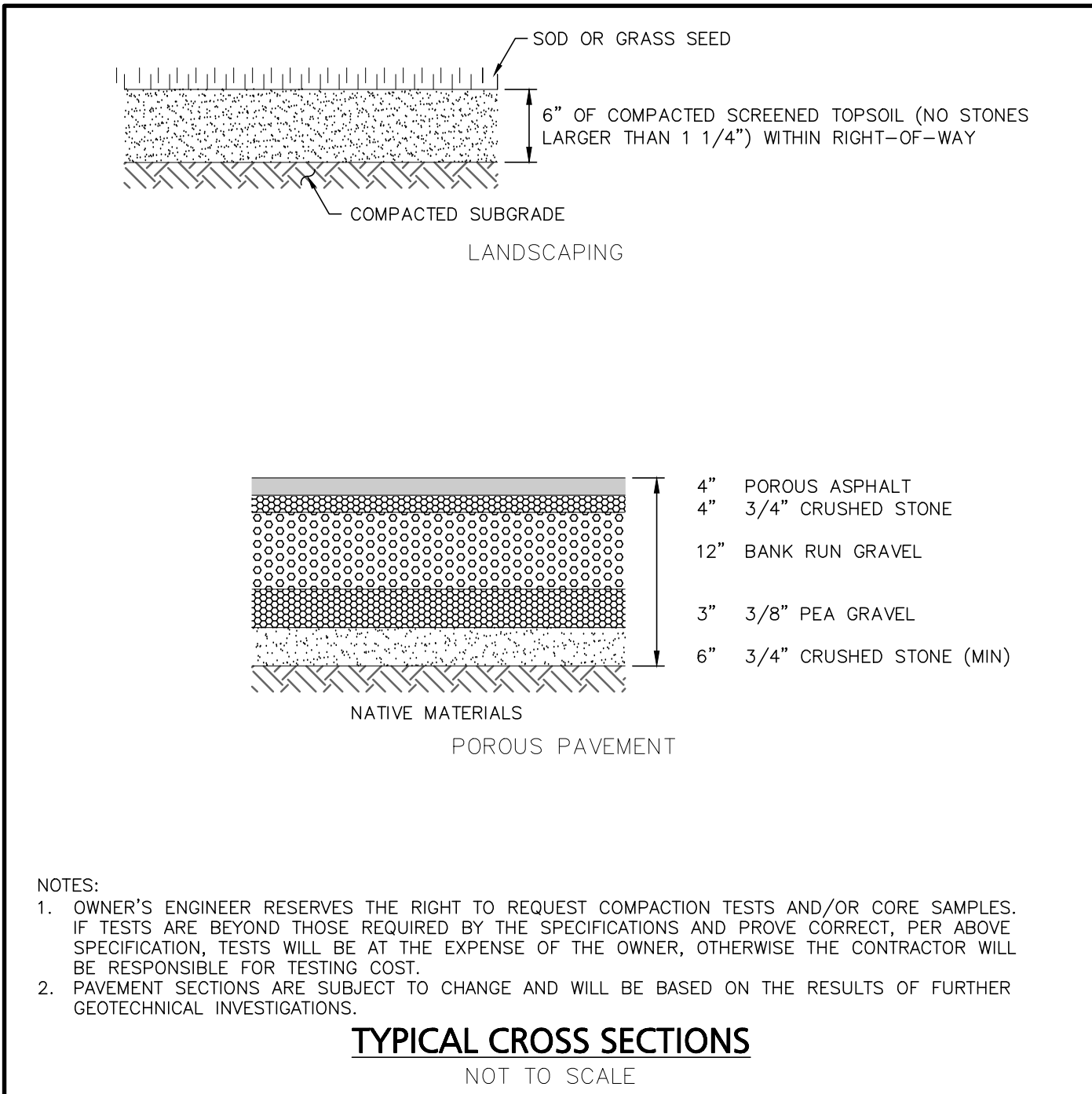
C-5

GENERAL UTILITY NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
2. WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL-JOINT PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHENEVER IT IS IMPOSSIBLE TO OBTAIN VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND THE SEWER MAIN SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
3. ALL UTILITY WORK PERFORMED WITHIN RIGHT-OF-WAY SHALL BE PERFORMED BY A CONTRACTOR LICENSED BY THE DPW AND OBTAIN A PERMIT FOR SUCH WORK FROM THE DPW AND MASSDOT, IF NEEDED.
4. ALL DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
5. A DUST EMISSION CONTROL PLAN SHALL BE DEVELOPED AND IMPLEMENTED BY THE CONTRACTOR IF CONDITIONS WARRANT.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL UTILITIES AS SHOWN ON THESE PLANS IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY CONSTRUCTION SHALL CONFORM TO THE APPROPRIATE UTILITY COMPANY STANDARDS FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SPECIFICATIONS OF MATERIALS AND INSTALLATION PROCEDURES AND INSTALL IN ACCORDANCE WITH APPLICABLE REGULATIONS.
7. THE CONTRACTOR IS RESPONSIBLE TO CONTACT AND DETERMINE, COORDINATE AND SCHEDULE ALL NECESSARY INSPECTIONS AND MONITORING WITH ALL APPROPRIATE UTILITY COMPANIES.
8. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO PERFORM THE WORK.
9. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE PROJECT BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE RESTORATION AND CLEAN UP UPON COMPLETION OF THE PROJECT.
11. WATER AND SEWER TESTING TO CONFORM TO LOCAL DPW REGULATIONS.
12. ALL MECHANICAL JOINTS TO BE MEGALUG SERIES 1100 INSTALLED IN ACCORDING WITH MANUFACTURER RECOMMENDATIONS OR APPROVED EQUAL.
13. ALL SEWER SYSTEM MAINS, STRUCTURES AND CONNECTIONS SHALL BE INSTALLED AND INSPECTED IN ACCORDANCE WITH THE STANDARDS OF THE TOWN OF SALISBURY, MA WASTEWATER TREATMENT FACILITY.

GENERAL CONSTRUCTION NOTES:

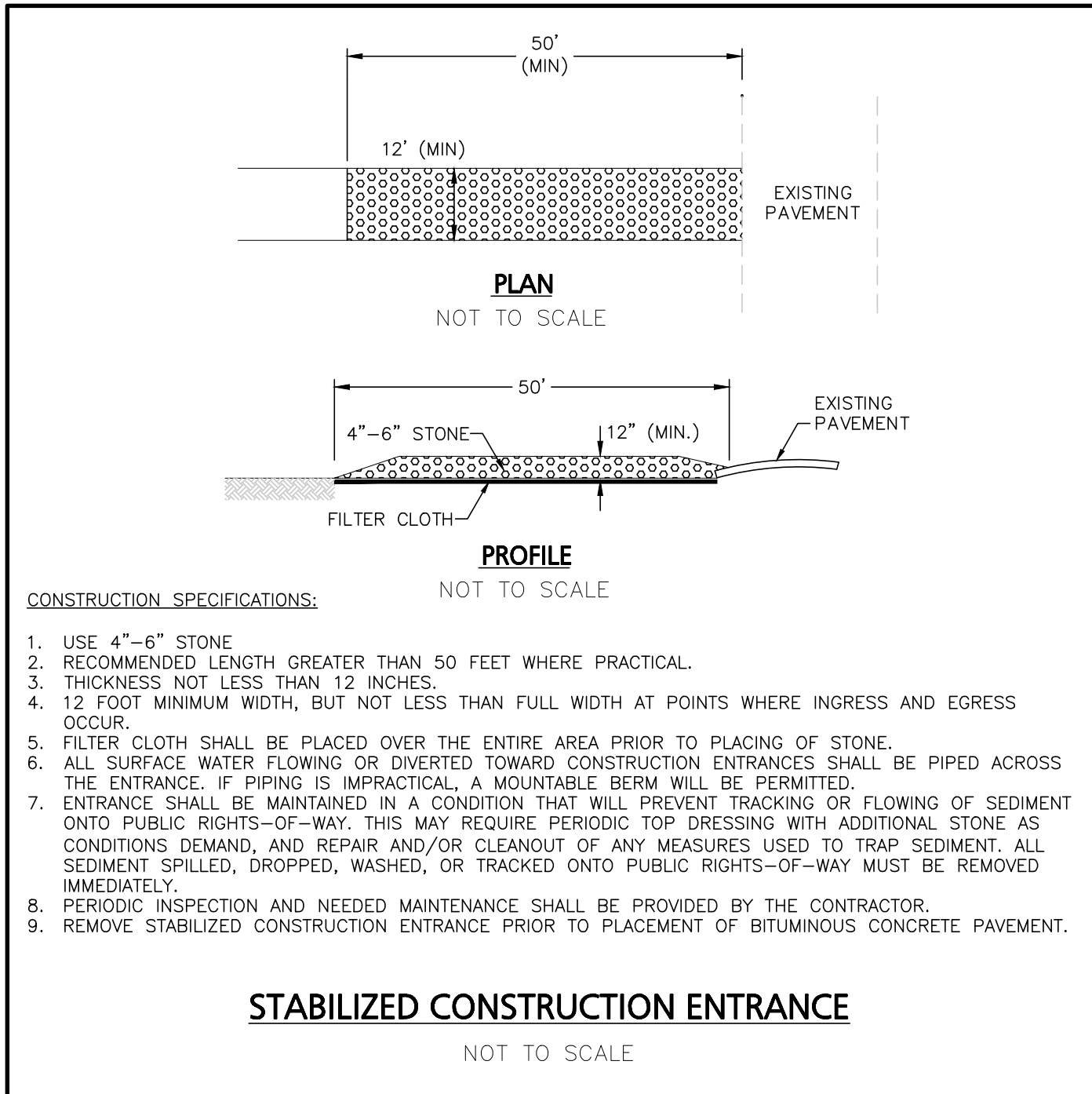
1. THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY. THE CONTRACTOR SHALL ALSO VERIFY ALL DIMENSIONS, SITE CONDITIONS, AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING OR PROCEEDING WITH CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INSPECTIONS, BONDS, ETC. AND OTHER APPROVAL RELATED ITEMS. NO CONSTRUCTION SHALL COMMENCE UNTIL SUCH PERMITS HAVE BEEN SECURED.
3. METHODS AND MATERIALS USED IN THE CONSTRUCTION OF IMPROVEMENTS FOR THIS PROJECT SHALL CONFORM TO THE CURRENT CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE MASSDOT AND THE LOCAL SUBDIVISION REGULATIONS.
4. CONTRACTOR TO CONFIRM AND VERIFY THE VALIDITY, LOCATION, MATERIAL, AND AVAILABILITY TO USE EXISTING UTILITIES ON OR NEAR THE PROJECT SITE PROPERTY. CONTRACTOR TO LOCATE EXISTING UTILITIES AND CONFIRM SAID UTILITIES WITH ALL APPLICABLE MUNICIPALITIES AND UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION. ONCE UTILITIES HAVE BEEN CONFIRMED IN THE FIELD BY CONTRACTOR AND VERIFIED BY APPLICABLE MUNICIPALITY AND UTILITY COMPANY AND CONNECTION HAS BEEN APPROVED BY ENTITY, ONLY THEN SHALL THE CONTRACTOR CONSTRUCT AND UTILIZE THESE UTILITIES. CONTRACTOR TO IMMEDIATELY INFORM THE ENGINEER OF RECORD OF ANY DEVIATIONS TO PLANS.
5. THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE ANY EXISTING UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF NECESSARY. THE EXISTENCE AND/OR LOCATION OF UTILITIES SHOWN ON THESE PLANS MAY BE ONLY APPROXIMATELY CORRECT AND THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN HEREON AND ANY OTHER EXISTING UTILITIES NOT OF RECORD OR NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT HIS EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
6. THE CONTRACTOR SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST THREE WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS, PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION. ALL WATER, GAS, SEWER AND OTHER UTILITIES SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
7. RELOCATION OF ANY UTILITIES SHALL BE AT THE OWNERS EXPENSE AND COMPLETED WITH THE UTILITY WORK. THE OWNER SHALL BE NOTIFIED AS TO THE RELOCATIONS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING, WITH MATCHING MATERIALS, ANY PAVEMENT, WALKS, CURBS, ETC. THAT MUST BE CUT OR THAT ARE DAMAGED DURING CONSTRUCTION.
9. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE.
10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE DOCUMENTS AND SUBSEQUENT ISSUED PLAN REVISIONS. ANY DEVIATIONS FROM THESE DOCUMENTS SHALL REQUIRE NOTIFICATION TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTING ANY CHANGE. THE CONTRACTOR WILL BE WORKING AT HIS OR HER OWN RISK.
11. ALL WATER AND SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF SALISBURY RULES AND REGULATIONS AND INSPECTED AS REQUIRED.
12. WORK HOURS SHALL BE CONSISTENT WITH ALL LOCAL RULES AND REGULATIONS.
13. CONSTRUCTION VEHICLES AND PERSONNEL MUST NOT OBSTRUCT THE ROADWAY OR PUBLIC SIDEWALKS, NOR INTERFERE WITH SIGHT DISTANCES FOR TURNING VEHICLES.



- NOTES:
1. OWNER'S ENGINEER RESERVES THE RIGHT TO REQUEST COMPACTION TESTS AND/OR CORE SAMPLES. IF TESTS ARE BEYOND THOSE REQUIRED BY THE SPECIFICATIONS AND PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF THE OWNER, OTHERWISE THE CONTRACTOR WILL BE RESPONSIBLE FOR TESTING COST.
 2. PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF FURTHER GEOTECHNICAL INVESTIGATIONS.

TYPICAL CROSS SECTIONS

NOT TO SCALE

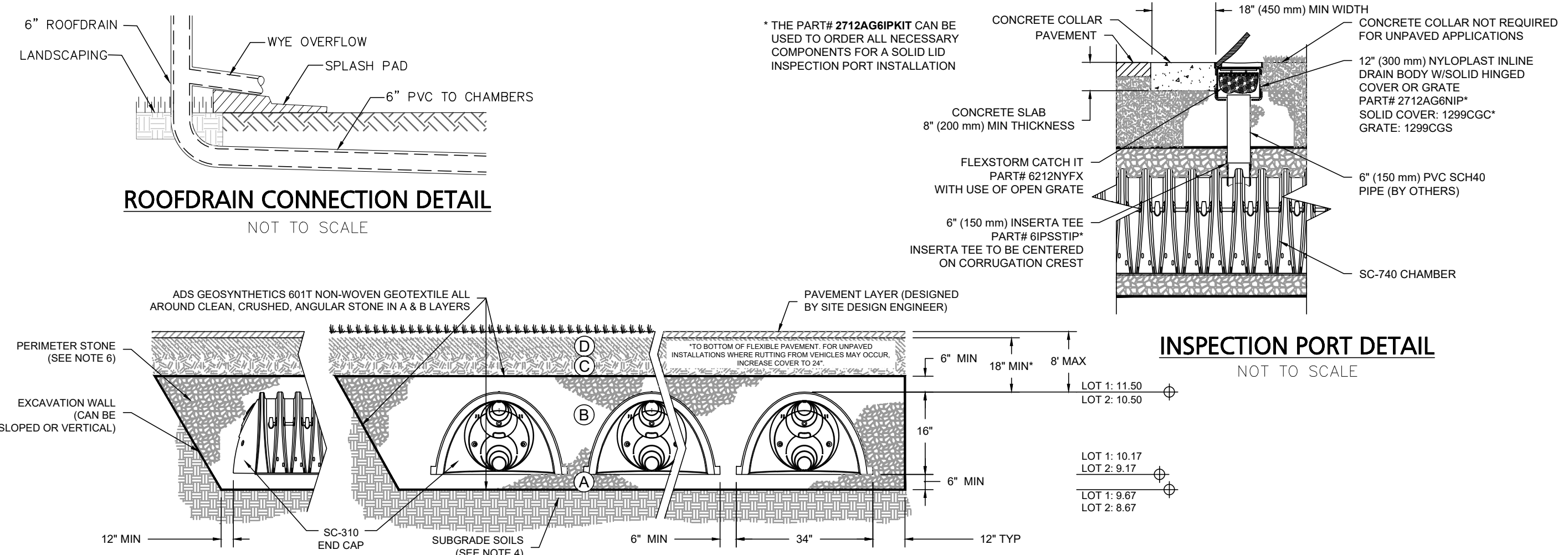


CONSTRUCTION SPECIFICATIONS:

1. USE 4"-6" STONE
2. RECOMMENDED LENGTH GREATER THAN 50 FEET WHERE PRACTICAL
3. THICKNESS NOT LESS THAN 12 INCHES
4. 12 FOOT MINIMUM WIDTH, BUT NOT LESS THAN FULL WIDTH AT POINTS WHERE INGRESS AND EGRESS OCCUR.
5. FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WILL BE PERMITTED.
7. ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED BY THE CONTRACTOR.
9. REMOVE STABILIZED CONSTRUCTION ENTRANCE PRIOR TO PLACEMENT OF BITUMINOUS CONCRETE PAVEMENT.

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE



ACCEPTABLE FILL MATERIALS: STORMTECH SC-310 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE.

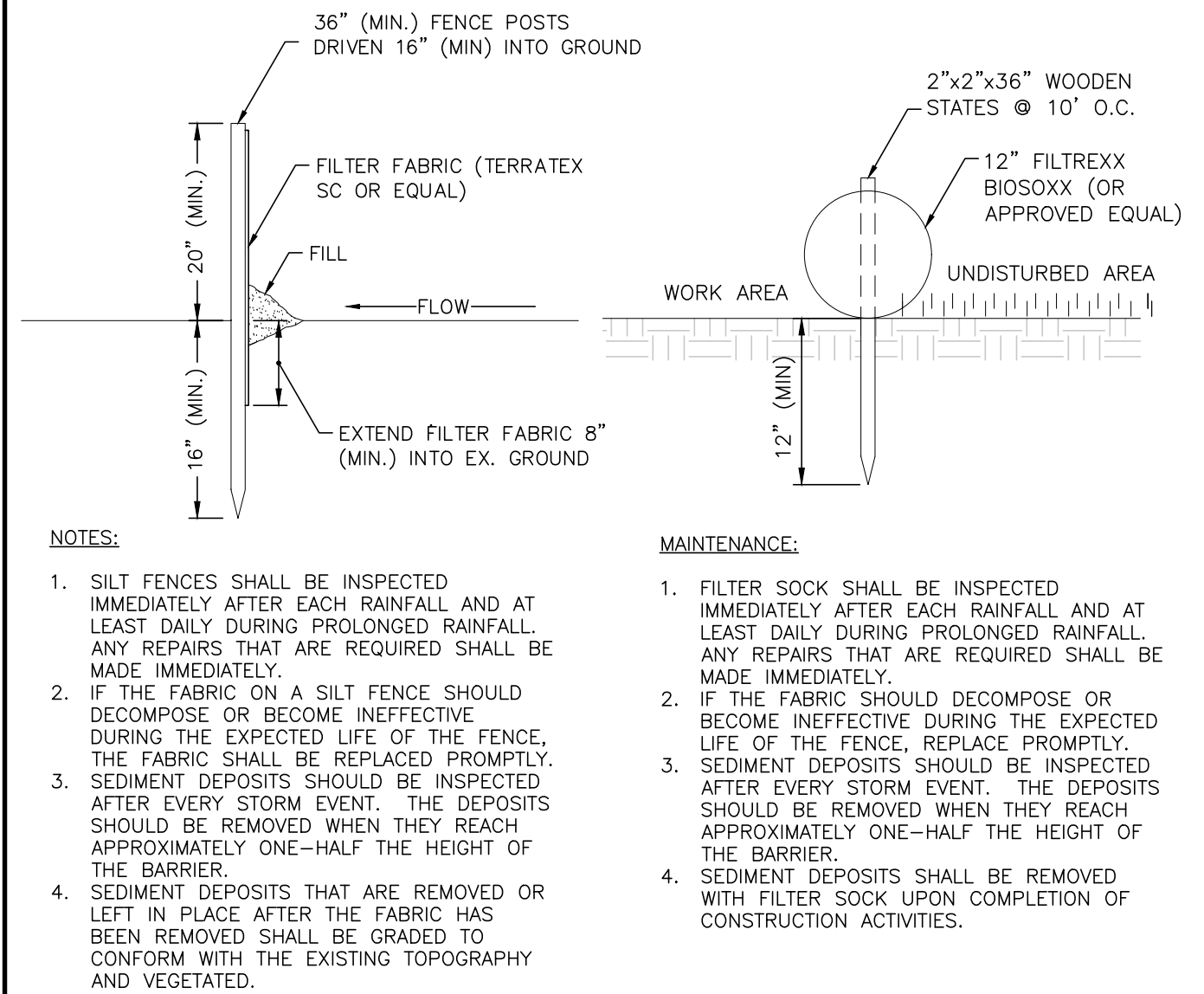
- PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. NO. 4 (AASHTO M43) STONE.
 2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTOR EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.

STORMTECH SC-310 DETAIL

NOT TO SCALE

TYPICAL WATER SERVICE CONNECTION

NOT TO SCALE



NOTES:

1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
2. IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
4. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

FILTER FABRIC SILT FENCE

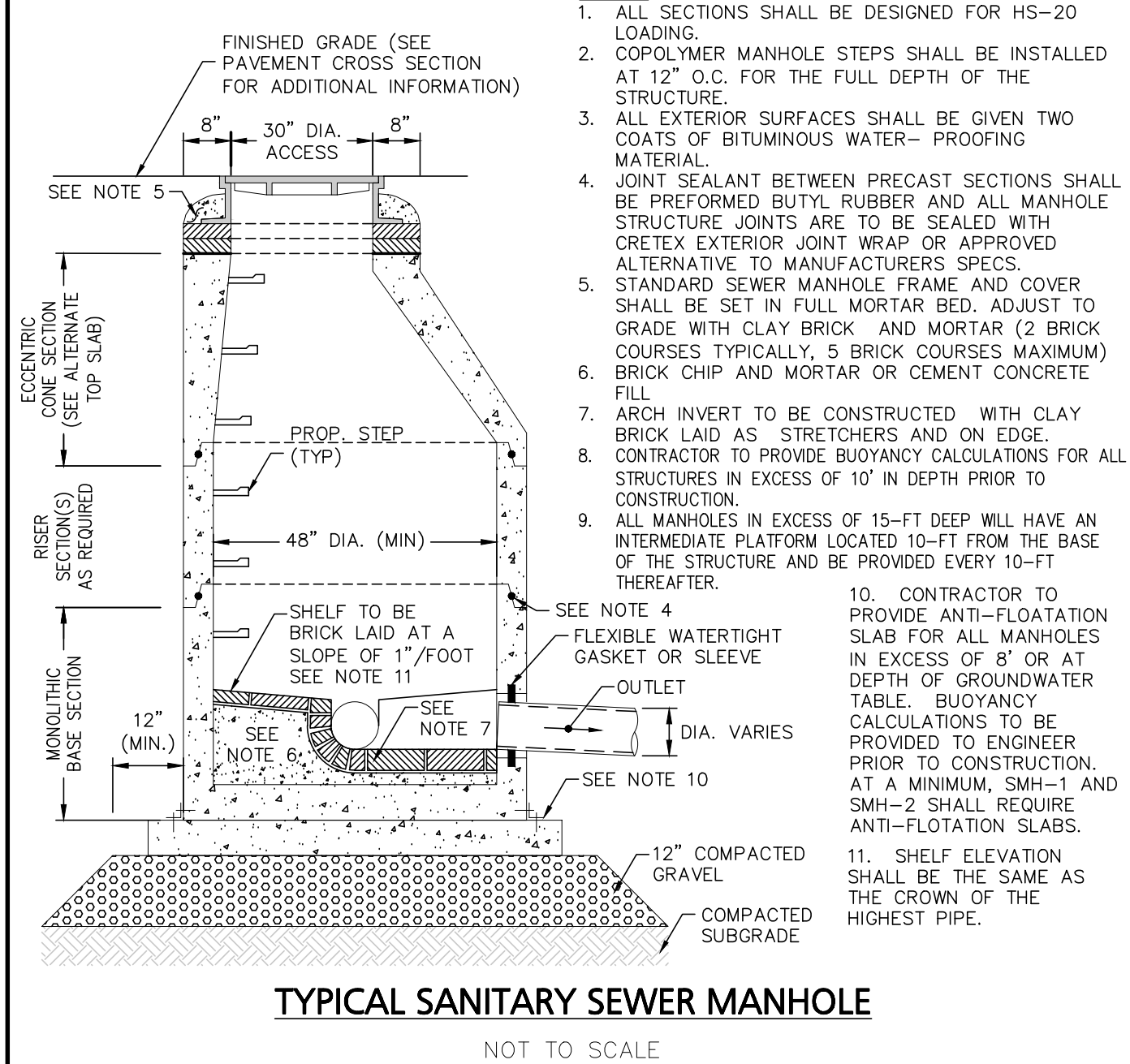
NOT TO SCALE

MAINTENANCE:

1. FILTER SOCK SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
2. IF THE FABRIC SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, REPLACE PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
4. SEDIMENT DEPOSITS SHALL BE REMOVED WITH FILTER SOCK UPON COMPLETION OF CONSTRUCTION ACTIVITIES.

FILTER SOCK INSTALLATION

NOT TO SCALE



NOTES:

1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
2. COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
3. ALL EXTERIOR SURFACES SHALL BE GIVEN TWO COATS OF BITUMINOUS WATER-PROOFING MATERIAL.
4. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER AND ALL MANHOLE STRUCTURE JOINTS ARE TO BE SEALED WITH CRETEX EXTERIOR JOINT WRAP OR APPROVED ALTERNATIVE TO MANUFACTURERS SPECS.
5. STANDARD SEWER MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED, ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).
6. BRICK CHIP AND MORTAR OR CEMENT CONCRETE FILL.
7. ARCH INVERT TO BE CONSTRUCTED WITH CLAY BRICK LAID AS STRETCHERS AND ON EDGE.
8. CONTRACTOR TO PROVIDE BUOYANCY CALCULATIONS FOR ALL STRUCTURES IN EXCESS OF 10' IN DEPTH PRIOR TO CONSTRUCTION.
9. ALL MANHOLES IN EXCESS OF 15-FT DEEP WILL HAVE AN INTERMEDIATE PLATFORM LOCATED 10'-FT FROM THE BASE OF THE STRUCTURE AND BE PROVIDED EVERY 10'-FT THEREAFTER.
10. CONTRACTOR TO PROVIDE ANTI-FLOTATION SLAB FOR ALL MANHOLES IN EXCESS OF 8' OR AT DEPTH OF GROUNDWATER TABLE. BUOYANCY CALCULATIONS TO BE PROVIDED TO ENGINEER PRIOR TO CONSTRUCTION. AT A MINIMUM, SMH-1 AND SMH-2 SHALL REQUIRE ANTI-FLOTATION SLABS.
11. SHELF ELEVATION SHALL BE THE SAME AS THE CROWN OF THE HIGHEST PIPE.

TYPICAL SANITARY SEWER MANHOLE

NOT TO SCALE

FOR REGISTRY USE ONLY

THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS IN 1978 AND AMENDED JANUARY 12, 1988.

2/7/24
ENGINEER DATE

APPROVED BY THE TOWN OF SALISBURY
PLANNING BOARD

CERTIFICATE OF ACTION

DATE OF ENDORSEMENT

REVISIONS DESCRIPTION

PREPARED FOR:

LARKIN REAL
ESTATE GROUP INC.
383 MAIN STREET
MEDFIELD, MA 02052

OWNER:

EDWARD FOOTE JR.
& JOANNE F. BLAIS
125 CENTRAL AVENUE
SALISBURY, MA. 01952

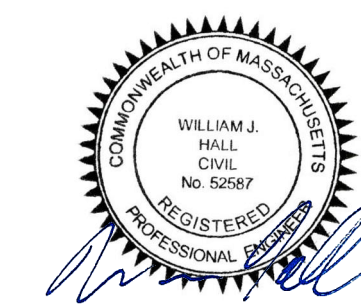
PROJECT:

159 BEACH ROAD
TAX MAP 28 - LOT 1
SALISBURY, MA. 01952

DATE ISSUED: DECEMBER 5, 2023

PROJECT #: 21-10254

PREPARED BY: WILLIAM HALL, P.E.



PROFESSIONAL ENGINEER FOR CIVIL DESIGN
CONSULTANTS, INC.

CIVIL DESIGN
Consultants, Inc.
SURVEY • DESIGN • PERMITTING • CONSTRUCTION ADMINISTRATION

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DRAWING TITLE:

CONSTRUCTION
DETAILS

DRAWING #:

D-1