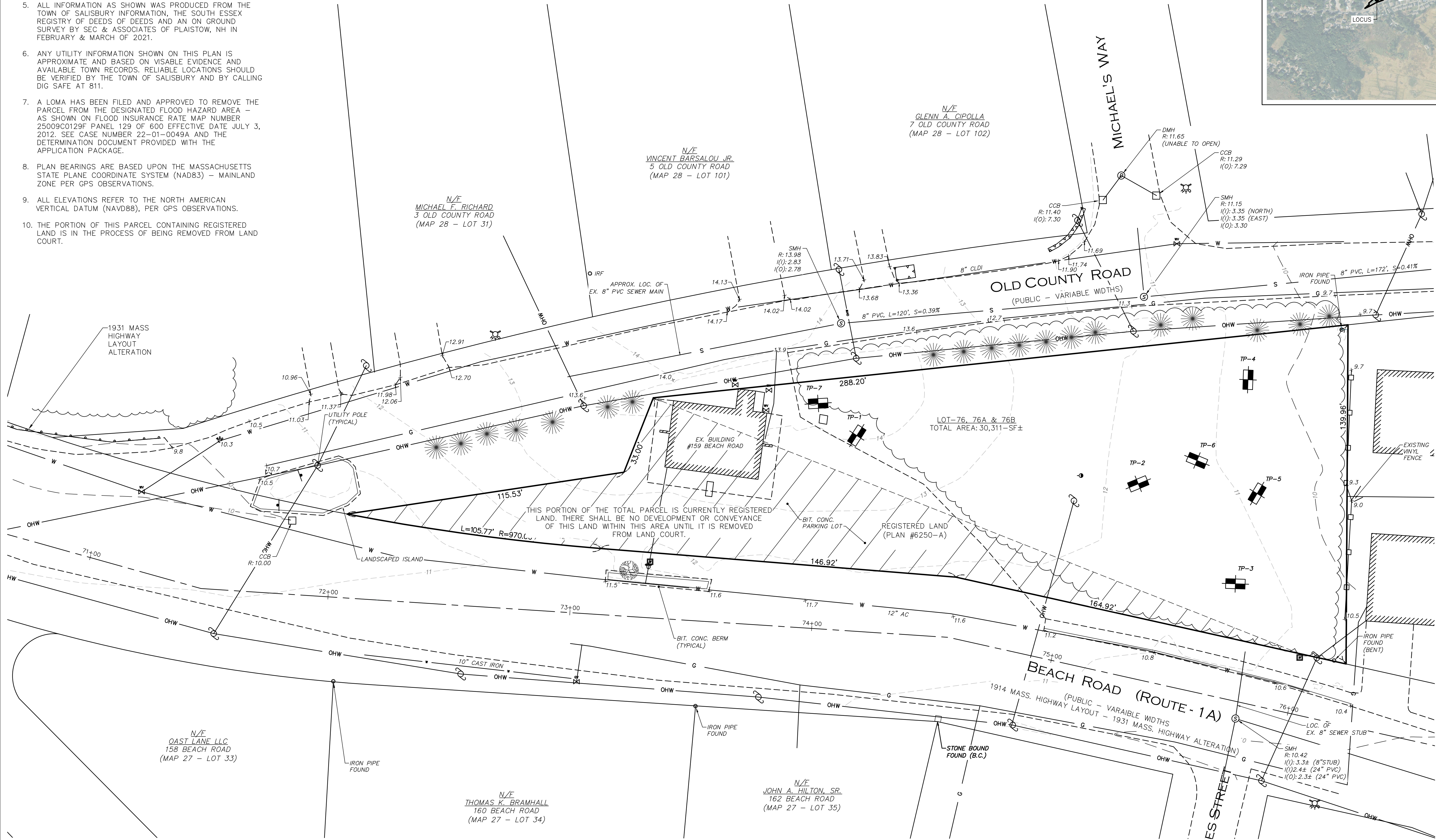






PROJECT NOTES:

1. LOCATION: 159 BEACH ROAD – ROUTE 1A  
SALISBURY MA.
2. PROPERTY REFERENCES: SOUTH ESSEX REGISTRY OF  
DEEDS  
BOOK 8710 PAGE 72 (1986)
3. OWNER: EDWARD FOOTE, JR. & JOANNE  
F. BLAIS  
159 BEACH ROAD  
SALISBURY, MA. 01952
4. LAND SURVEYOR: SEC & ASSOCIATES  
PLAISTOW, NH 03865  
TEL: (603) 382-5065
5. ALL INFORMATION AS SHOWN WAS PRODUCED FROM THE  
TOWN OF SALISBURY INFORMATION, THE SOUTH ESSEX  
REGISTRY OF DEEDS OF DEEDS AND AN ON GROUND  
SURVEY BY SEC & ASSOCIATES OF PLAISTOW, NH IN  
FEBRUARY & MARCH OF 2021.
6. ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS  
APPROXIMATE AND BASED ON VISABLE EVIDENCE AND  
AVAILABLE TOWN RECORDS. RELIABLE LOCATIONS SHOULD  
BE VERIFIED BY THE TOWN OF SALISBURY AND BY CALLING  
DIG SAFE AT 811.
7. A LOMA HAS BEEN FILED AND APPROVED TO REMOVE THE  
PARCEL FROM THE DESIGNATED FLOOD HAZARD AREA –  
AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER  
25009C0129F PANEL 129 OF 600 EFFECTIVE DATE JULY 3,  
2012. SEE CASE NUMBER 22-01-0049A AND THE  
DETERMINATION DOCUMENT PROVIDED WITH THE  
APPLICATION PACKAGE.
8. PLAN BEARINGS ARE BASED UPON THE MASSACHUSETTS  
STATE PLANE COORDINATE SYSTEM (NAD83) – MAINLAND  
ZONE PER GPS OBSERVATIONS.
9. ALL ELEVATIONS REFER TO THE NORTH AMERICAN  
VERTICAL DATUM (NAVD88), PER GPS OBSERVATIONS.
10. THE PORTION OF THIS PARCEL CONTAINING REGISTERED  
LAND IS IN THE PROCESS OF BEING REMOVED FROM LAND  
COURT.



LOCUS MAP

(SCALE: 1:1,000)



FOR REGISTRY USE ONLY

THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE  
RULES AND REGULATIONS FOR RECORDING ADOPTED  
BY THE REGISTERS OF DEEDS IN 1978 AND AMENDED  
JANUARY 12, 1988.

*William Hall*

02-07-2024

SURVEYOR DATE

APPROVED BY THE TOWN OF SALISBURY  
PLANNING BOARD

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

CERTIFICATE OF ACTION

DATE OF ENDORSEMENT

8/11/23	REDESIGNED PER APPLICANT
5/17/23	REDESIGNED PER TOWN REVIEW
3/9/23	REDESIGNED PER APPLICANT
1/3/23	REDESIGNED PER TOWN REVIEW
8/30/22	REV. PER TOWN REVIEW
8/2/22	REV. PER TOWN REVIEW
DATE	DESCRIPTION
REVISIONS	

APPLICANT:

**LARKIN REAL ESTATE  
GROUP, INC.**  
383 MAIN STREET  
MEDFIELD, MA. 02052

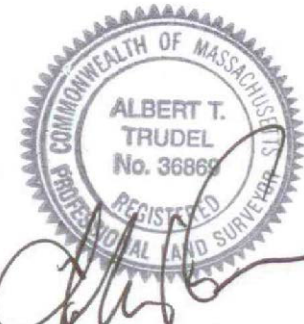
PROJECT:

**159 BEACH ROAD**  
TAX MAP 28 - LOT 1  
SALISBURY, MA. 01952

DATE ISSUED: JUNE 14, 2022

PROJECT #: 21-10254

PREPARED BY: WILLIAM HALL, P.E.



PROFESSIONAL LAND SURVEYOR FOR CIVIL  
DESIGN CONSULTANTS, INC.

**CIVIL DESIGN  
Consultants, Inc.**

SURVEY • DESIGN • PERMITTING • CONSTRUCTION ADMINISTRATION

344 North Main Street  
Andover, MA 01810

Tel: (978) 416-0920  
Fax: (978) 416-7965

DRAWING TITLE:

**EXISTING  
CONDITIONS PLAN**

DRAWING #:

**C-2**

HORIZONTAL SCALE



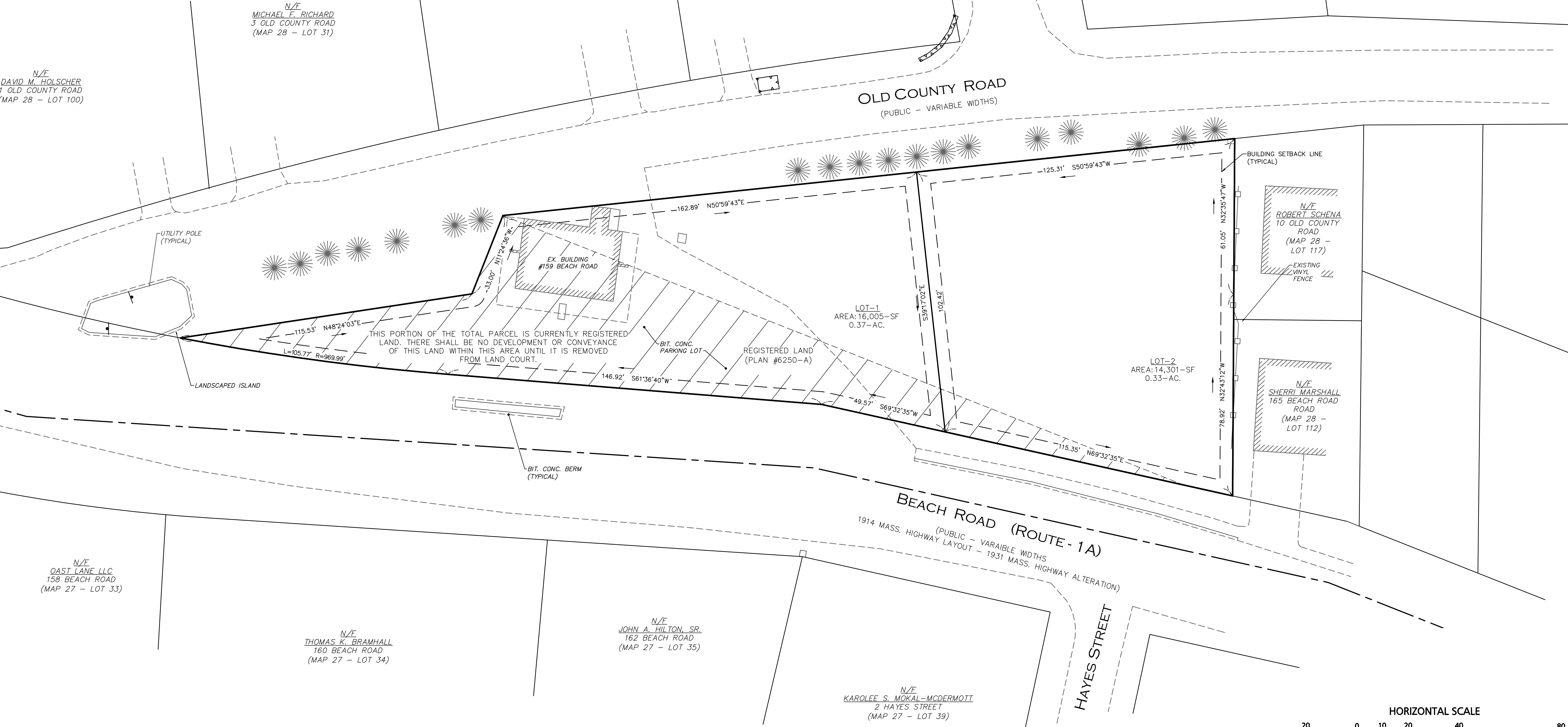
(IN FEET)

1"=20'



LAND USE TABLE			
LOCATION:	159 BEACH ROAD (TAX MAP 28 / LOT 1)		
ZONE:	BEACH COMMERCIAL/RESIDENTIAL (BC)		
OVERLAY DISTRICT:	WIRELESS COMMUNICATION DISTRICT C ADULT ENTERTAINMENT DISTRICT		
EXISTING USE:	COMMERCIAL		
PROPOSED USE:	RESIDENTIAL		
ITEM	BC RES	LOT 1	LOT 2
MINIMUM LOT AREA	-- (2)	16,005--SF±	14,301--SF±
MINIMUM LOT FRONTAGE	-- (2)	302.26--FT (BEACH) 311.42--FT (OLD COUNTY)	115.35--FT (BEACH) 125.31--FT (OLD COUNTY)
MINIMUM FRONT SETBACK	5--FT	>5--FT	>5--FT
MINIMUM SIDE SETBACK	10--FT <sup>(1)</sup>	>5--FT	>5--FT
MINIMUM REAR SETBACK	10--FT <sup>(1)</sup>	>5--FT	>5--FT
MAX. BUILDING COVERAGE	90%	<90%	<90%
MAXIMUM HEIGHT	35--FT	<35--FT	<35--FT
MINIMUM PARKING SPACES	2/DWELLING	2/DWELLING	2/DWELLING

NOTE:  
1. MINIMUM SETBACK SHALL BE 10--FT FOR NON-FIRE-RATED STRUCTURES AND 5--FT FOR FIRE-RESISTANT STRUCTURES.  
2. THE BC ZONE DOES NOT HAVE A REQUIREMENT FOR LOT AREA OR FRONTAGE.



FOR REGISTRY USE ONLY  
THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS IN 1978 AND AMENDED JANUARY 12, 1988.

*Albert T. Trudel*  
SURVEYOR DATE 02-07-2024

APPROVED BY THE TOWN OF SALISBURY  
PLANNING BOARD

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

CERTIFICATE OF ACTION

DATE OF ENDORSEMENT

REVISIONS DESCRIPTION

PREPARED FOR:  
**LARKIN REAL ESTATE GROUP INC.**  
383 MAIN STREET  
MEDFIELD, MA 02052

OWNER:  
**EDWARD FOOTE JR. & JOANNE F. BLAIS**  
125 CENTRAL AVENUE  
SALISBURY, MA. 01952

PROJECT:  
**159 BEACH ROAD**  
TAX MAP 28 - LOT 1  
SALISBURY, MA. 01952

DATE ISSUED: DECEMBER 5, 2023

PROJECT #: 21-10254

PREPARED BY: WILLIAM HALL, P.E.



**CIVIL DESIGN Consultants, Inc.**  
SURVEY • DESIGN • PERMITTING • CONSTRUCTION ADMINISTRATION

344 North Main Street Andover, MA 01810 Tel: (978) 416-0920 Fax: (978) 416-7865

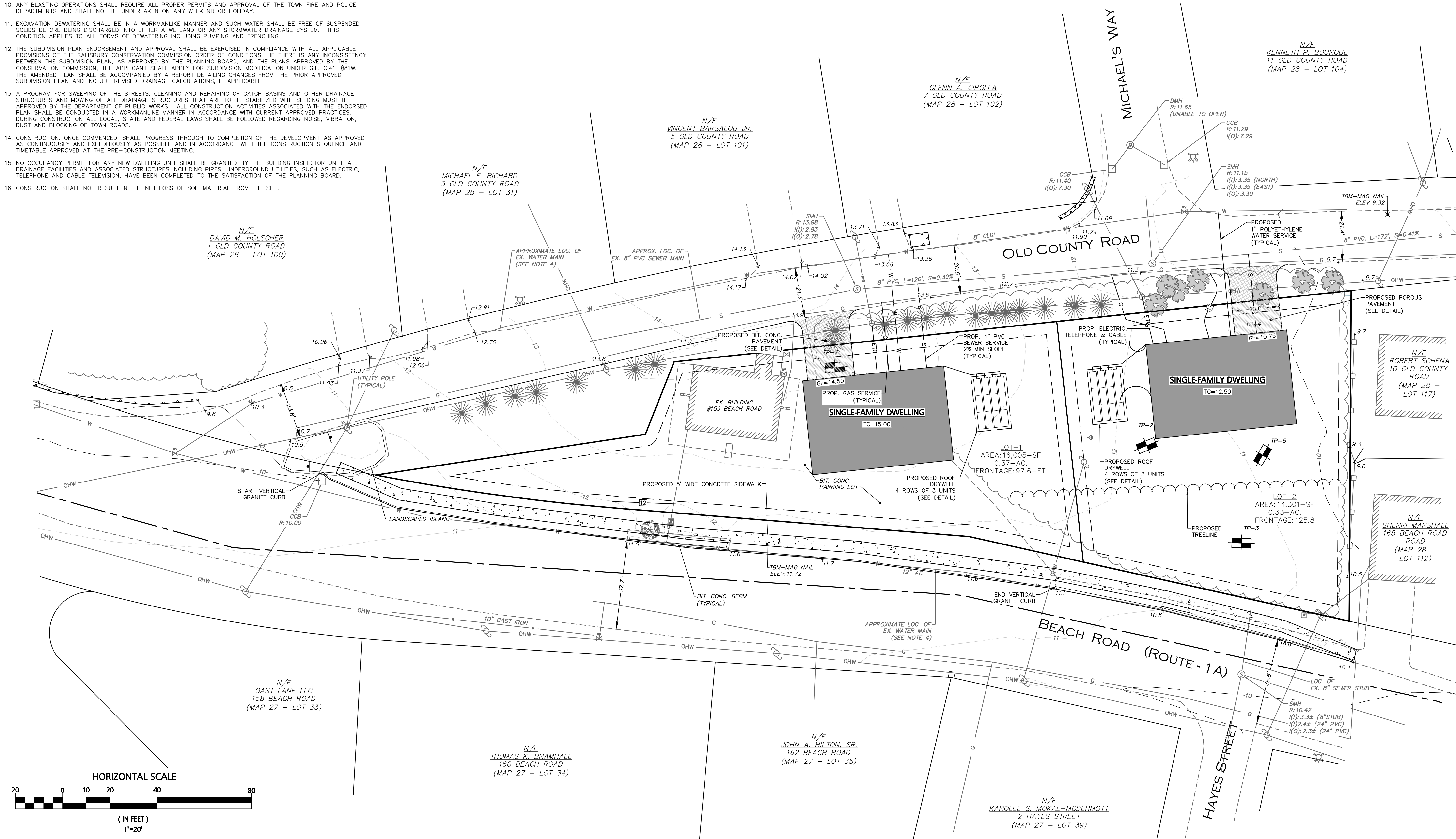
DRAWING TITLE:  
**DEFINITIVE SUBDIVISION PLAN**

DRAWING #:

**C-3**



1. SEE SHEET C-1 FOR COMPLETE PROJECT NOTES.
2. PLAN BEARINGS ARE BASED UPON THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM (NAD83) – MAINLAND ZONE PER GPS OBSERVATIONS.
3. ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM (NAVD88) PER GPS OBSERVATIONS.
4. THE CONTRACTOR IS TO VERIFY THE LOCATION, DEPTH, AND CONDITION OF THE EXISTING SEWER AND WATER PRIOR TO CONSTRUCTION.
5. WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION. ONE FULL LENGTH OF MECHANICAL JOINT PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER, ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHENEVER IT IS POSSIBLE TO OBTAIN VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND SEWER SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
6. ALL BENDS IN WATER MAIN ARE 45 DEGREES UNLESS OTHERWISE SPECIFIED.
7. ANY ALTERATIONS OR IMPROVEMENTS WITHIN THE STATE HIGHWAY LAYOUT MUST RECEIVE APPROVAL FROM MASSDOT PRIOR TO THE START OF CONSTRUCTION.
8. TREE STUMPS, LIMBS, BRUSH AND ALL CONSTRUCTION DEBRIS SHALL BE LEGALLY DISPOSED OF, OFF-SITE.
9. HOURS OF CONSTRUCTION SHALL OCCUR ONLY DURING THE FOLLOWING TIMES, EXCEPTIONS MAY BE MADE WITH PRIOR AUTHORIZATION FROM THE TOWN:
  - MONDAY –FRIDAY:7 A.M. TO 6 P.M., OR DUSK WHICHEVER IS EARLIER
  - SATURDAY: 8 A.M. TO 5 P.M., OR DUSK WHICHEVER IS EARLIER
  - SUNDAY AND HOLIDAYS: NONE.
10. ANY BLASTING OPERATIONS SHALL REQUIRE ALL PROPER PERMITS AND APPROVAL OF THE TOWN FIRE AND POLICE DEPARTMENTS AND SHALL NOT BE UNDERTAKEN ON ANY WEEKEND OR HOLIDAY.
11. EXCAVATION DETERMINING SHALL BE IN A WORKMANLIKE MANNER AND SUCH WATER SHALL BE FREE OF SUSPENDED SOLIDS BEFORE BEING DISCHARGED INTO EITHER A WETLAND OR ANY STORMWATER DRAINAGE SYSTEM. THIS CONDITION APPLIES TO ALL FORMS OF DETERMINING INCLUDING PUMPING AND TRENCHING.
12. THE SUBDIVISION PLAN ENDORSEMENT AND APPROVAL SHALL BE EXERCISED IN COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF THE SUBURBY CODE AND THE COMMONWEALTH ORDER OF CONDITIONS. IF THERE IS ANY INCONSISTENCY BETWEEN THE SUBDIVISION AS APPROVED BY THE PLANNING BOARD, AND THE PLANS APPROVED BY THE CONSERVATION COMMISSION, THE APPLICANT SHALL APPLY FOR SUBDIVISION MODIFICATION UNDER G.L. C.41, §81U. THE AMENDED PLAN SHALL BE ACCOMPANIED BY A REPORT DETAILING CHANGES FROM THE PRIOR APPROVED SUBDIVISION PLAN AND INCLUDE REVISSED DRAINAGE CALCULATIONS, IF APPLICABLE.
13. A PROGRAM FOR SWEEPING OF THE STREETS, CLEANING AND REPAIRING OF CATCH BASINS AND OTHER DRAINAGE STRUCTURES AND MOWING OF ALL DRAINAGE STRUCTURES THAT ARE TO BE STABILIZED WITH SEEDING MUST BE A PART OF THE DEDICATED OR PUBLIC WORKS. ALL CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE ENDORSED PLAN SHALL BE CONDUCTED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH CURRENT APPROVED PRACTICES. DURING CONSTRUCTION ALL LOCAL, STATE AND FEDERAL LAWS SHALL BE FOLLOWED REGARDING NOISE, VIBRATION, DUST AND BLOCKING OF TOWN ROADS.
14. CONSTRUCTION, ONCE COMMENCED, SHALL PROGRESS THROUGH TO COMPLETION OF THE DEVELOPMENT AS APPROVED AS CONTINUOUSLY AND EXPEDITIOUSLY AS POSSIBLE AND IN ACCORDANCE WITH THE CONSTRUCTION SEQUENCE AND TIMETABLE APPROVED AT THE PRE-CONSTRUCTION MEETING.
15. NO OCCUPANCY PERMIT FOR ANY NEW DWELLING UNIT SHALL BE GRANTED BY THE BUILDING INSPECTOR UNTIL ALL DRAINAGE FACILITIES AND ASSOCIATED STRUCTURES INCLUDING PIPES, UNDERGROUND UTILITIES, SUCH AS ELECTRIC, TELEPHONE AND CABLE TELEVISION, HAVE BEEN COMPLETED TO THE SATISFACTION OF THE PLANNING BOARD.
16. CONSTRUCTION SHALL NOT RESULT IN THE NET LOSS OF SOIL MATERIAL FROM THE SITE.



THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS IN 1978 AND AMENDED JANUARY 12, 1988.

APPROVED BY THE TOWN OF SALISBURY  
PLANNING BOARD

DATE OF ENDORSEMENT \_\_\_\_\_

REV. PER PEER REVIEW

R:

ARKIN REA

## LARKIN REA

**ATE GROUP INC**  
383 MAIN STREET  
MEDFIELD, MA 02052

**WARD FOOTE JR.**  
**JOANNE F. BLAIS**  
25 CENTRAL AVENUE  
MALISBURY, MA. 01952

9 BEACH ROAD  
TAX MAP 28 - LOT 1  
ALISBURY, MA. 01952

	DECEMBER 5, 2023
--	------------------

21-10254	
----------	--

WILLIAM HALL, P.E.
--------------------



**CIVIL DESIGN**  
Consultants, Inc.

ain Street Tel: (978) 416-09

Andover, MA 01810 Fax: (978) 416-7865

**DRAWING TITLE:**

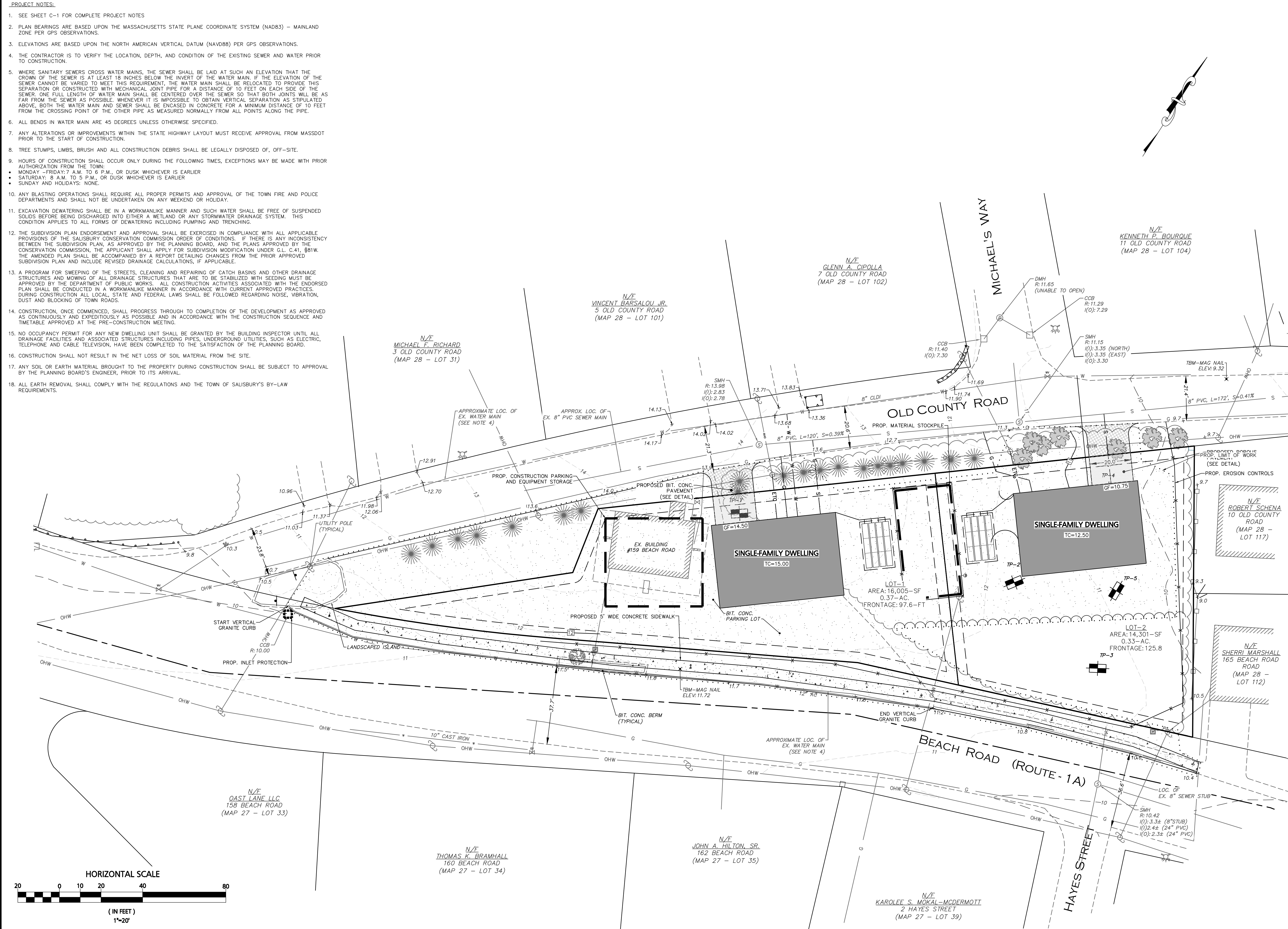
DRAWING TITLE:

## GRADING, DRAINAGE & UTILITIES PLAN

DRAWING #

C-4





FOR REGISTRY USE ONLY

THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS IN 1978 AND AMENDED JANUARY 12, 1988.

ENGINEER

DATE

APPROVED BY THE TOWN OF SALISBURY PLANNING BOARD

CERTIFICATE OF ACTION

DATE OF ENDORSEMENT

3/4/24

REV. PER PEER REVIEW

REVISIONS

DESCRIPTION

PREPARED FOR:

LARKIN REAL ESTATE GROUP INC.

383 MAIN STREET

MEDFIELD, MA 02052

OWNER:

EDWARD FOOTE JR. & JOANNE F. BLAIS

125 CENTRAL AVENUE

SALISBURY, MA. 01952

PROJECT:

159 BEACH ROAD

TAX MAP 28 - LOT 1

SALISBURY, MA. 01952

DATE ISSUED:

DECEMBER 5, 2023

PROJECT #:

21-10254

PREPARED BY:

WILLIAM HALL, P.E.

WILLIAM J. HALL  
CIVIL  
No. 52587  
REGISTERED  
PROFESSIONAL ENGINEER

PROFESSIONAL ENGINEER FOR CIVIL DESIGN CONSULTANTS, INC.

CIVIL DESIGN Consultants, Inc.

SURVEY • DESIGN • PERMITTING • CONSTRUCTION ADMINISTRATION

344 North Main Street  
Andover, MA 01810

Tel: (978) 416-0920  
Fax: (978) 416-7865

DRAWING TITLE:

CONSTRUCTION PLAN

DRAWING #:

C-5





1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
2. WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO THE APPROPRIATE UTILITY COMPANY STANDARDS FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SPECIFICATIONS OF MATERIALS AND INSTALLATION PROCEDURES AND INSTALL IN ACCORDANCE WITH APPLICABLE REGULATIONS.
3. ALL UTILITY WORK PERFORMED WITHIN RIGHT-OF-WAY SHALL BE PERFORMED BY A CONTRACTOR LICENSED BY THE DPW AND OBTAIN A PERMIT FOR SUCH WORK FROM THE DPW AND MASSDOT, IF NEEDED.
4. ALL DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
5. A DUST EMISSION CONTROL PLAN SHALL BE DEVELOPED AND IMPLEMENTED BY THE CONTRACTOR IF CONDITIONS WARRANT.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL UTILITIES AS SHOWN ON THESE PLANS IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY CONSTRUCTION SHALL CONFORM TO THE APPROPRIATE UTILITY COMPANY STANDARDS FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SPECIFICATIONS OF MATERIALS AND INSTALLATION PROCEDURES AND INSTALL IN ACCORDANCE WITH APPLICABLE REGULATIONS.
7. THE CONTRACTOR IS RESPONSIBLE TO CONTACT AND DETERMINE, COORDINATE AND SCHEDULE ALL NECESSARY INSPECTIONS AND MONITORING WITH ALL APPROPRIATE UTILITY COMPANIES.
8. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO PERFORM THE WORK.
9. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE PROJECT BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE RESTORATION AND CLEAN UP UPON COMPLETION OF THE PROJECT.
11. WATER AND SEWER TREATMENT TO CONFORM TO LOCAL DPW REGULATIONS.
12. ALL MECHANICAL JOINTS TO BE MEGALUG SERIES 1100 INSTALLED IN ACCORDING WITH MANUFACTURER RECOMMENDATIONS OR APPROVED EQUAL.
13. ALL SEWER SYSTEM MAINS, STRUCTURES AND CONNECTIONS SHALL BE INSTALLED AND INSPECTED IN ACCORDANCE WITH THE STANDARDS OF THE TOWN OF SALISBURY, MA WASTEWATER TREATMENT FACILITY.

1. THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY. THE CONTRACTOR SHALL ALSO VERIFY ALL DIMENSIONS, SITE CONDITIONS, AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING OR PROCEEDING WITH CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INSPECTIONS, BONDS, ETC. AND OBTAIN APPROVAL RELATED ITEMS. NO CONSTRUCTION SHALL COMMENCE UNTIL SUCH PERMITS HAVE BEEN SECURED.
3. METHODS AND MATERIALS USED IN THE CONSTRUCTION OF IMPROVEMENTS FOR THIS PROJECT SHALL CONFORM TO THE CURRENT CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE MASSDOT AND THE LOCAL SUBDIVISION REGULATIONS.
4. CONTRACTOR TO CONFIRM AND VERIFY THE VALIDITY, LOCATION, MATERIAL, AND AVAILABILITY TO USE EXISTING UTILITIES ON OR NEAR THE PROJECT SITE PROPERTY. CONTRACTOR TO LOCATE EXISTING UTILITIES AND CONFIRM SAID UTILITIES WITH ALL APPLICABLE MUNICIPALITIES AND UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION. ONCE UTILITIES HAVE BEEN COMEED IN THE FIELD BY CONTRACTOR AND VERIFIED BY APPLICABLE MUNICIPALITY AND UTILITY COMPANY AND CONNECTION HAS BEEN APPROVED BY ENTITY, ONLY THEN SHALL THE CONTRACTOR CONSTRUCT AND UTILIZE THESE UTILITIES. CONTRACTOR TO IMMEDIATELY INFORM THE ENGINEER OF RECORD OF ANY DEVIATIONS TO PLANS.
5. THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE ANY EXISTING UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF NECESSARY. THE EXISTENCE AND/OR LOCATION OF UTILITIES SHOWN ON THE PLANS MAY BE ONLY APPROXIMATELY CORRECT AND THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN HEREON AND ANY OTHER EXISTING UTILITIES NOT OF RECORD OR NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT HIS EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
6. THE CONTRACTOR SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST THREE WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS, PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION. ALL WATER, GAS, SEWER AND OTHER UTILITIES SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
7. RELOCATION OF ANY UTILITIES SHALL BE AT THE OWNERS EXPENSE AND COMPLETED WITH THE UTILITY WORK. THE OWNER SHALL BE NOTIFIED AS TO THE RELOCATIONS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING, WITH MATCHING MATERIALS, ANY PAVEMENT, WALKS, CURBS, ETC. THAT MUST BE CUT OR THAT ARE DAMAGED DURING CONSTRUCTION.
9. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE.
10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE DOCUMENTS AND SUBSEQUENT ISSUED PLAN REVISIONS. ANY DEVIATIONS FROM THESE DOCUMENTS SHALL REQUIRE NOTIFICATION TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTING ANY CHANGE. THE CONTRACTOR WILL BE WORKING AT HIS OR HER OWN RISK.
11. ALL WATER AND SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF SALISBURY RULES AND REGULATIONS AND INSPECTED AS REQUIRED.
12. WORK HOURS SHALL BE CONSISTENT WITH ALL LOCAL RULES AND REGULATIONS.
13. CONSTRUCTION VEHICLES AND PERSONNEL MUST NOT OBSTRUCT THE ROADWAY OR PUBLIC SIDEWALKS, NOR INTERFERE WITH SIGHT DISTANCES FOR TURNING VEHICLES.

PLEASE NOTE:

- 1. CRUSHED ASHITO DESIGNATIONS ARE FOR GRAVELS ONLY. THE STONE MUST ALSO BE CLEAN, RHINED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE MUST STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (ASHITO) M431 STONE".
- 2. STORMTRENK COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR OR TAMPING MACHINE. THE SPECIFICATION MUST BE COMPROMISED TO COMPACTION. FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTRENK FOR COMPACTION REQUIREMENTS.

FOR REGISTRY USE ONLY	
THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS IN 1978 AND AMENDED JANUARY 12, 1988.	
ENGINEER	DATE
APPROVED BY THE TOWN OF SALISBURY PLANNING BOARD	
CERTIFICATE OF ACTION	
DATE OF ENDORSEMENT	
3/4/24	REV. PER PEER REVIEW
REVISIONS	DESCRIPTION
PREPARED FOR:	
LARKIN REAL ESTATE GROUP INC. 383 MAIN STREET MEDFIELD, MA 02052	
OWNER:	
EDWARD FOOTE JR. & JOANNE F. BLAIS 125 CENTRAL AVENUE SALISBURY, MA. 01952	
PROJECT:	
159 BEACH ROAD TAX MAP 28 - LOT 1 SALISBURY, MA. 01952	
DATE ISSUED:	DECEMBER 5, 2023
PROJECT #:	21-10254
PREPARED BY:	WILLIAM HALL, P.E.
	
PROFESSIONAL ENGINEER FOR CIVIL DESIGN CONSULTANTS, INC.	
 <b>CIVIL DESIGN</b> <b>Consultants, Inc.</b> SURVEY • DESIGN • PERMITTING • CONSTRUCTION ADMINISTRATION	
344 North Main Street Andover, MA 01810	
Tel: (978) 416-0920 Fax: (978) 416-7865	
DRAWING TITLE:	
CONSTRUCTION DETAILS	
DRAWING #:	
D-1	