

**FINNERAN & NICHOLSON, P.C.**  
ATTORNEYS AND COUNSELORS AT LAW

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**ATTORNEY WORK PRODUCT/PRIVILEGED  
COMMUNICATION/CONFIDENTIAL**

April 20, 2021

Salisbury Planning Board  
5 Beach Road  
Salisbury, MA 01952

**RE: Special Permit Application  
Storage of Construction Equipment, Materials and Products  
158 Lafayette Road, Salisbury, MA**

Dear Chairman Egan and Members of the Board,

The undersigned represents Jonathan Kearney, who currently has a contract to purchase the property at 158 Lafayette Road. It is Mr. Kearney's intention to move his company, Kearney HVAC, Inc into the commercial space at 158 Lafayette Road. Mr. Kearney is proposing to operate a retail sales product showroom, as well as his service department and associated stock and parts storage within the facility. After consultation with the Zoning Officer, Mr. Vanderwall, it was determined that a Special Permit for the Storage of Construction Equipment, Materials and Products would be required.

Having obtained a determination from the Salisbury Building Inspector/ Zoning officer, Newburyport Zoning Administrator (attached), please allow this letter, along with the attached documents to serve as the Applicant's formal application for a Special Permit under Ch. 300; Article XXIV and Section 300-3 and Attachment I, Table of Use Regulations of the Salisbury Zoning Bylaws, (or any other permit or relief the Planning Board deems necessary), to allow for the proposed use of the property by Mr. Kearney. Additionally, because Mr. Kearney is not proposing any changes to the building, egress/access, parking or lighting, but rather will be occupying the existing buildings with a use similar to the existing use, I have included a waiver (with justification), from the plan requirements.

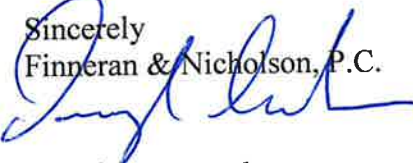
Enclosed please find the following:

1. Special Permit Application;
2. Plan Waiver and Justification;

3. Tax Betterment Payment Certification;
4. Special Permit Submittal Checklist;
5. Email on zoning determination;
6. Owner Authorization Letter;
7. Owner's Deed;
8. Assessor Card and GIS MAP;
9. Plot Plan;
10. Grading and Drainage Plan;
11. Architectural Plans;
12. Filing Fee.

Please note, that electronic copies of all materials will be forwarded to the Board by e-mail, under separate cover. Additionally, copies are being filed with the Town of Salisbury's Clerk's office.

Thank you very much for your time and consideration. Please contact me if you should have any questions or need any additional information regarding this application.

Sincerely  
Finneran & Nicholson, P.C.  
  
Douglas C. Deschenes

# Salisbury Planning Board

Date 4/21/2021

Applicant: Jonathan Kearney 13 Durgin Drive, Newton, NH  
Full name Address phone number

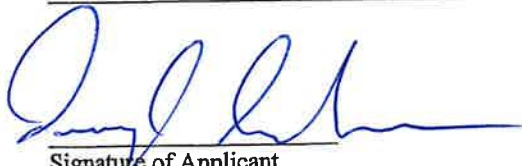
Applicant's E-mail Address: jonkearney86@outlook.com

Owner: Thai Realty Trust, 158 Lafayette Road, Salisbury, MA 01952  
Full name Address phone number

Lessee: -----  
Full name Address phone number

Tax Map # 22 Lot # 1

1. Location of Premises: 158 Lafayette Road, Salisbury, MA 01952
2. Zoning District: LM-B zone
3. Parcel Size: .758 acres
4. (OSRD applications only): Applicable Land Area: \_\_\_\_\_ Open Space Percentage: \_\_\_\_\_
5. Number of existing buildings on parcel: 1 existing building
6. What is the existing use of the subject premise? industrial
7. Provide a detailed description of the proposed use of premises, including # of proposed structures (attach additional pages if necessary):  
Proposing to operate a retail sales product showroom, a product assembly area, as well as a service department and associated stock and parts storage within the facility.
8. Zoning by-law provision under which application is made: Chpt. 300 Article XXIV and Section 300-3 and Attachment 1 (Table of Use Regulations)
9. State grounds for this application, please be specific. Special permit criteria can be found in the Zoning Bylaw §300-35 (attach additional pages if necessary):  
Please see attached
10. Other Permits Required and Status of Applications: \_\_\_\_\_

  
Signature of Applicant  
Douglas C. Deschenes  
Attorney for Applicant

Please see Attached Authorization  
Signature of Owner

## Special Permit Justification

### 158 Lafayette Road

The undersigned represents Jonathan Kearney, who currently has a contract to purchase the property at 158 Lafayette Road. It is Mr. Kearney's intention to move his company, Kearney HVAC, Inc into the commercial space at 158 Lafayette Road (LM-B zone) (hereinafter the "Property"). Mr. Kearney is proposing to operate a retail sales product showroom, a product assembly area, as well as his service department and associated stock and parts storage, within the existing facility. Currently, the space is occupied by a granite company which is essentially using the property in a very similar manner as it has a showroom, production area, service area and associated materials and parts storage. Therefore, although the proposed use has a different product and service, the use is the same as that currently occupying the Property.

Based on a determination by the Salisbury Building Inspector/Zoning Office, Mr. Kearney is required to obtain a Special Permit for the Storage of Construction Equipment, Materials and Products in order to operate his business on the Property. Please note that Mr. Kearney is proposing no exterior changes to the building, and no changes to the access/egress, parking, pedestrian walkways or lighting. Below please find the justification for the granting of the Special Permit.

1. The use requested is listed in the Table of Use Regulations as a requiring a Special Permit in the district for which application is made.
2. The requested use is desirable to the public convenience or welfare. The proposed use will provide both a retail facility as well as a service industry to the Town. HVAC products and services are a well utilized business and will provide convenient opportunities to the community. Moreover, the purpose of the LM Commercial Zoning District was to encourage diverse, high-quality, and attractive commercial developments and mixed-use developments on Lafayette Road. This proposed use is in keeping with that purpose.
3. The requested use will not create undue traffic congestion or unduly impair pedestrian safety. The proposed Use is replacing a very similar use currently operating on the Property. There have not been any traffic or parking issues with the existing use on the Property. It is not expected that there will be any increase in traffic associated with the new use, if not a slight decrease as the volume for HVAC retail sales are arguably less than granite product sales. Also, there is more than enough existing parking on the facility as was previously approved by the Planning.

4. The requested use will not overload any public water, drainage, or sewer system or any municipal system to such an extent that the requested use or any developed use in the immediate area or in any other area of the Town will be unduly subjected to hazards affecting health, safety, or general welfare. There are no changes proposed relating to public utilities servicing the Property and the proposed use will not result in an increase in the use of such utilities. Possibly there may be a reduction in water use. Overall the proposed change in use will have little if no impact on any municipal systems servicing the Property or surrounding developments.
5. All Special regulations for the use set forth in the Special Permit Table are fulfilled by application for and receipt of the Special Permit.
6. The requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare of the neighborhood. The proposed use is directly compatible with the character of the district and adjoining districts as it is moving into an existing facility without any proposed external changes to building or site. The transition to the proposed use will have no impact whatsoever to the character of the district except for a change in signage which will conform to all applicable regulations. The nature of the proposed use is directly in keeping with the purpose and intent of the LM Commercial Zoning District. The proposed use will have no impact on the health or welfare of the commercial neighborhood in which it will operate as it will be operated in conformance with all required licensing and BOH permits applicable.
7. The requested use will not by addition to a neighborhood, cause an excess of that particular use that could be detrimental to the character of said neighborhood. The applicant is not aware of any other facility of the type proposed currently operating in the neighborhood. There is not an overabundance of HVAC retail and service business in the area such that it would cause a detrimental effect to the character of the neighborhood. Moreover, the proposed use is well within the character of the neighborhood and will provide a high quality, experienced and successful retail and service use to the neighborhood which will enhance the character of the district.

Respectfully,



Douglas Deschenes

Attorney for Jon Kearney, Applicant

# Salisbury Planning Board

## REQUIREMENTS AND WAIVER REQUEST FORM

*Map and Parcel #* 22-1 *Project Address* 158 Lafayette Road, Salisbury

Plan Requirements	Included in Application	Requesting Waiver
A. Plans drawn by registered professional	_____	X _____
B. Existing site conditions:		X
1. All waterbodies	_____	X _____
2. Wetland and Boundaries	_____	X _____
3. Topography	_____	X _____
4. Vegetation types	_____	X _____
5. Other natural features	_____	X _____
C. Location of:		
1. Proposed landscaping	_____	X _____
2. Existing landscaping and open space	_____	X _____
D. Use Plan indicating locations of		X
1. Proposed building and additions	_____	X _____
2. Parking	_____	X _____
3. Service and loading areas	_____	X _____
4. Curbing and driveway locations	_____	X _____
5. Trash and receptacles or dumpsters	_____	X _____
6. Lighting	_____	X _____
7. Other site alterations	_____	X _____
E. Architectural plans of all proposed buildings		
1. Floor plans	_____	X _____
2. Elevation plans	_____	X _____
F. Utility Plans showing		
1. Water and sewer connection	_____	X _____
2. Stormwater Drainage Plan	_____	X _____
G. Luminaire Plan showing		
1. Foot Candles	_____	X _____

## Waiver Justification

The undersigned represents Jonathan Kearney, who currently has a contract to purchase the property at 158 Lafayette Road. It is Mr. Kearney's intention to move his company, Kearney HVAC, Inc into the commercial space at 158 Lafayette Road (LM-B zone) (hereinafter the "Property"). Mr. Kearney is proposing to operate a retail sales product showroom, a product assembly area, as well as his service department and associated stock and parts storage, within the existing facility. Currently, the space is occupied by a granite company which is essentially using the property in a very similar manner as it has a showroom, product cutting and polishing area, service area and associated materials and parts storage. Therefore, although the proposed use has a different product and service, the use is the same as that currently occupying the Property.

Based on a determination by the Salisbury Building Inspector/Zoning Office, Mr. Kearney is required to obtain a Special Permit for the Storage of Construction Equipment, Materials and Products in order to operate his business on the Property. As part of that application, I have, on behalf of Mr. Kearney, sought a Waiver from the plan requirements under the Special Permit Application.

Given that Mr. Kearney is proposing no exterior changes to the Building, and no changes to the access/egress, parking, or lighting, he has not produced any site or building plans as they would only reflect the current conditions of the building and site. Therefore, the significant cost and time required to produce new plans reflecting only the existing conditions for which no changes are proposed is a true hardship on Mr. Kearney. Moreover, Mr. Kearney has a very short timeframe for obtaining any required permits under his Purchase and Sales Agreement for the Property and currently engineers are backlogged. Mr. Kearney cannot obtain new plans for many weeks, well beyond his current deadline for obtaining permits.

Lastly please note that I have been able to obtain from the Planning Department, copies of site and building plans for the Property, previously used for permitting of the site. These plans reflect the current conditions of the site and building and so reflect the proposed conditions under which my client proposes to occupy the Property.

Therefore, I would respectfully ask the Planning Board to Waive the site and building plan requirement under Mr. Kearney's application and accept the plans provided for use by the Board in considering the Special Permit Application.

Respectfully,



Douglas Deschenes

Attorney for Jon Kearney

# Salisbury Planning Board

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## TAX AND BETTERMENT PAYMENT CERTIFICATION

Date \_\_\_\_\_

Map 22 Parcel 1

Owner's Name: Loan & Kelly Thai

Property Address: 158 Lafayette Road, Salisbury, MA

I, \_\_\_\_\_, certify that all taxes and applicable betterment's have been paid in full for the property located at Map \_\_\_\_\_ Parcel \_\_\_\_\_. The next billing date is \_\_\_\_\_.

Signature: \_\_\_\_\_  
Treasurer or Treasurer's Clerk

Date: \_\_\_\_\_



# Salisbury Planning Board

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## Special Permit Submittal Checklist

*Before any Special Permit application can be filed at the town clerk's office, the following departments must receive the specified information and sign below that the information has been received. Departments have 14 days within which they may comment on the proposed plan.*

### **Board of Health**

(1 Sets of Plans) Received By: \_\_\_\_\_ Date: \_\_\_\_\_  
(1 copy of special permit application)

### **Fire Department**

(1 Sets of Plans) Received By: \_\_\_\_\_ Date: \_\_\_\_\_  
(1 copy of special permit application)

### **Department of Public Works**

(1 Sets of Plans) Received By: \_\_\_\_\_ Date: \_\_\_\_\_  
(1 copy of special permit application)

### **Building Department**

(1 Sets of Plans) Received By: \_\_\_\_\_ Date: \_\_\_\_\_  
(1 copy of special permit application)

### **Conservation Commission**

(1 Sets of Plans) Received By: \_\_\_\_\_ Date: \_\_\_\_\_  
(1 copy of special permit application)

### **Police Department**

(1 Sets of Plans) Received By: \_\_\_\_\_ Date: \_\_\_\_\_  
(1 copy of special permit application)

### **Assessor's Department**

(1 Sets of Plans) Received By: \_\_\_\_\_ Date: \_\_\_\_\_  
(1 copy of special permit application)

### **Planning Department**

(1 Sets of Plans) Received By: \_\_\_\_\_ Date: \_\_\_\_\_  
(1 copy of special permit application)

## Salisbury Planning Board

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Please check off the applicable application:

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> <b>Special Permit-check all that apply</b> | <input type="checkbox"/> <b>Motel Reuse</b>                     |
| <input type="checkbox"/> <b>Open Space Residential Development (OSRD)</b>      | <input type="checkbox"/> <b>Wireless Communication Facility</b> |
| <input type="checkbox"/> <b>Water Resource District</b>                        | <input type="checkbox"/> <b>Village Center District</b>         |
| <input type="checkbox"/> <b>Planned Office Development</b>                     | <input type="checkbox"/> <b>Repetitive Petition</b>             |
|  | <input type="checkbox"/> <b>Other</b><br>(Specify) _____        |

*Applications will not be stamped in at the Town Clerk's office for the Planning Board, until the Planning Department determines that the following items are included with the application:*

1. Application must be filled out completely and correctly.
2. Special Permit filing fee. Checks payable to the Town of Salisbury.
3. Plan drawn in accordance with the requirements listed in the Town of Salisbury's Zoning By-Laws. (8 COPIES).
4. Abutters List
5. Treasurer's Office signature to ensure all Taxes are paid up to date on the property in question and any applicable betterments are paid in full.
6. A complete submittal checklist **must** be submitted along with copies of plans.

IMPROPER OR INCOMPLETE FILINGS WILL RESULT IN A DELAY IN DECISION, TOWN CLERK WILL SIGN AND STAMP AFTER PLANNING DEPARTMENT SIGNS OFF.

\_\_\_\_\_  
Planning Department

\_\_\_\_\_  
Town Clerk

***A REGISTERED PLAN MUST BE FILED WITH THIS APPLICATION FORM***

**Subject:**

FW: 124 Lafayette Rd Kearney HVAC

**From:** bldginsp <bldginsp@salisburyma.gov>  
**Sent:** Thursday, March 4, 2021 9:52 AM  
**To:** Mark W. Griffin <mark@finnic.com>  
**Cc:** Lisa Pearson <lpearson@salisburyma.gov>  
**Subject:** 124 Lafayette Rd Kearney HVAC

Hello

I have received your letter with regards to Kearney HVAC's plans to operate from 124 Lafayette Rd. I was not aware of your interest in 124 Lafayette as our last office discussion centered around property near 45 Lafayette Rd.

The property in question is located within the LM-B Sub District and all uses and structures, as proposed after the enactment date of August 2016, are regulated under Ch. 300; Article XXIV of the Salisbury Zoning Regulations. I understand your initial reference to the Mixed Use Development, Vertical as a basis for your argument, but a critical element in that definition is that those uses within that same development still must be a use allowed in the Zoning Table of Uses.

As the Building Commissioner, I have experience with the nature of Kearny's HVAC business as a registered contractor completing HVAC installations throughout Salisbury. It is was my initial thought, and continues to be such, that Kearney's proposed use of the structure best meets the listed Zoning Use of *Storage of Construction, Equipment, Materials and Products*. The information provided in the letter clearly indicates that Kearney intends to store products related to his business as part and parcel of his intent to '*run my HVAC business*'.

The proposed property of 124 Lafayette lies within the LM-B Zoning Sub District and according to the Table of Uses, Kearney's proposed use is allowed only with a Special Permit from the Planning Board; the balance of existing uses at that address are either conforming or pre-existing, non-conforming to the best of my knowledge.

It is my determination that in order to use that building as proposed, Kearny HVAC must receive a Special Permit from the Planning Board.

**Thank You**

**Scott Vandewalle**  
Building Commissioner/Zoning Enforcement Officer  
**Town of Salisbury**  
5 Beach Rd, Salisbury MA 01952



'A permit is a process, not a rubber stamp'

'It is easier to move a line on a drawing than a wall in the field'

*The Secretary of the Commonwealth's Office has determined that most e-mails to and from municipal offices and officials are public records. Consequently, confidentiality should not be expected.*

April 15, 2021

Town of Salisbury  
Planning Board  
5 Beach Road  
Salisbury, MA 01952

RE: 158 Lafayette Road, Salisbury

Dear Members of the Board,

Please be advised that the undersigned Loan Thai and Kelly Thai, do hereby authorize Attorneys Douglas C. Deschenes and/or related associates of the law firm of Finneran & Nicholson, P.C., with locations at 515 Groton Road, Suite 203, Westford, MA 01886 and 30 Green Street, Newburyport, MA 01950, to act (including but not limited to signing, filing and permitting) in regards to any filing, permit application, or other documents relating to proposed use and occupancy of my property located at 158 Lafayette Road, Salisbury, MA 01952.

Thank you for your time and attention to this matter.

Sincerely,

---

Loan Thai

---

Kelly Thai

**DEED**

2003080700733 Bk:21474 Pg:451  
08/07/2003 16:41:00 DEED Pg 1/2

**WE, HAROLD G. NABHAN AND VIOLET A. NABHAN**, individually and as *officer (LAD) HAN*  
of P.O. Box 5349, Salisbury, Massachusetts, Trustees of  
Villa One Trust, filed with the Essex Registry of Deeds, Book 12931, Page  
126, and also Book 6589 at Page 715, for consideration paid \$235,000.00 and 00/100  
(Two Hundred Thirty Five Thousand) Dollars, do

**GRANT TO THAI REALTY TRUST, under DECLARATION  
OF TRUST Dated June 26, 2003, with Trustees Bang Thai and Loan  
Thai**, of 73 Railroad Street, Lawrence, Massachusetts 01841, with quitclaim  
covenants the land in the Town of Salisbury, Essex County, Commonwealth of  
Massachusetts bounded and described as follows:

1. A certain parcel of land situated in the Town of Salisbury in said County of Essex, lying  
East of the Lafayette Road, and bounded and described as follows:

Westerly by the Lafayette Road, there measuring 95 feet; Northerly by land of or  
formerly of Dudley, there measuring 200 feet; Easterly by land now or formerly of  
George L. True, there measuring 95 feet; and Southerly by land now or formerly of  
George L. True, there measuring 200 feet.

Together with a right of way over land, now or formerly of George L. True said land  
lying south of the granted premises herein and adjacent there to. Said right of way being  
12 feet in width and extending Easterly from the Easterly side of the Lafayette Road for a  
distance of about 200 feet.

2. The land in said Salisbury together with the buildings thereon bounded and described as  
follows, viz:

Westerly by Lafayette Road 70 feet, Northerly by land now or formerly of Collins 100  
feet; Easterly by land now or formerly of True 70 feet, and Southerly by land now or  
formerly of True 100 feet.

3. A certain piece of woodland situated in the Town of Salisbury containing about 7000  
square feet and bounded as follows:

Westerly by land now or formerly of Dudley 70 feet; Northerly by land now or formerly

focus: 158 Lafayette Road, Salisbury, Mass

2  
12/1

of the heirs of Jacob B. Collins, 100 feet; Easterly by land now or formerly of David S. McElroy 70 feet; and Southerly by land now or formerly of Davis S. McElroy 100 feet.

Known and identified as 158 Lafayette Road, Salisbury, Massachusetts, (formerly known as 258 Lafayette Road, Salisbury, Massachusetts).

Being the same premises conveyed by deed of Harold G. Nabhan, dated May 10, 1979 and recorded with said Essex County Registry of Deeds in Book 6589, Page 715. *See also deed dated 2/7/95 recorded with said Deeds Book 12931 Page 126-13*  
WITNESS our hands and seals this 23<sup>rd</sup> day of July, 2003.

WITNESS:

Jeanne L. Clarke Harold G. Nabhan  
Trustee and Individually

Jeanne L. Clarke Violet A. Nabhan  
Trustee and Individually

The Commonwealth of Massachusetts

2003080700733 Bk:21474 Pg:452  
08/07/2003 16:41:00 DEED Pg 2/2

County of Essex SALISBURY s.s.

June 23, 2003

Then personally appeared the above named Harold G. Nabhan and Violet A. Nabhan, Individually and as Trustees of Villa One Trust and acknowledged the forgoing instrument to be their free act and deed, before me,

William M. O'Neil  
Notary Public  
MY COMM. EXP. FEBRUARY 2010

Essex s.s. Recorded: \_\_\_\_\_ 2003 at \_\_\_\_\_

MASS. REG. TO  
ESSEX SOUTH  
01  
\$1071.60  
CASH \$1071.60

PROPERTY LOCATION

158

LAFAYETTE RD, SALISBURY

WNEERSHIP

Owner 1: THAI KELLY

Owner 2: THAI LOAN

Owner 3:

Street 1: 158 LAFAYETTE RD

Street 2:

wn/City: SALISBURY

SubProv: MA

Cntry:

Own Occ:

Type:

Postal: 01952

REVISIONS OWNER

Owner 1: NABHAN - HAROLD G

Owner 2: NABHAN - VIOLET

Street 1: PO BOX 5349

wn/City: SALISBURY

SubProv: MA

Cntry:

Postal: 01952

IN PROCESS APPRAISAL SUMMARY

Use Code	Building Value	Yard Items	Land Size	Land Value	Total Value	Legal Description	User Acct
101	245,650		0.265	130,515	376,165		
325	245,650		0.492	242,385	488,035		GIS Ref
Total Card	491,300		0.758	372,900	864,200	Entered Lot Size	
Total Parcel	800,200		0.758	372,900	1,173,100	Total Land	
Source:	Market Adj Cost	Total Value per SQ unit /Card:	234.45	/Parcel:	143.31	Land Unit Type:	Insp Date
							10/05/17

PREVIOUS ASSESSMENT

Tax Yr	Use	Cat	Blg Value	Yrd Items	Land Size	Land Value	Total Value	Assesd Value	Notes	Date
2019	0314	FV	800,200	0	.758	372,900	1,173,100	1,173,100	Year End Roll	12/11/2019
2020	0314	FV	694,500	0	.758	315,200	1,009,800	1,009,800	Year End Roll	12/6/2018
2018	0314	FV	677,200	0	.758	276,300	953,500	953,500	Year End Roll	12/5/2017
2017	0314	FV	636,800	0	.758	276,300	913,100	913,100	Year End Roll	12/14/2016
2016	0314	FV	639,700	0	.758	276,300	916,000	916,000	Year End Roll	12/16/2015
2015	031	FV	689,700	0	.758	282,100	971,800	971,800	Year End Roll	12/19/2014
2014	031	FV	666,700	0	.758	282,100	948,800	948,800	Year End Roll	12/23/2013
2013	031	FV	790,200	0	.758	282,100	1,072,300	1,072,300	Year End Roll	12/10/2012

SALES INFORMATION

Grantor	Legal Ref	Type	Date	Sale Code	Sale Price	V	Tst	Verf	Assoc PCL Value	Notes
NABHAN, HAROLD G	21474-451	QT	8/7/2003	CHD>SALE	235000	No	No	No		NEW BUILDING & ADDITION OF AP
AMOS, MABEL T	12111-236	QT	9/10/1993	CONVENIENCE	1	No	No	No		Year:
TOWN OF SALISBU	5381-355	REDI	7/29/1966	PORTION ASSD	1	No	No	No		1960-1965 TAXES. 1/2 ACRE OF ENTIRE
TOWN OF SALISBU	5381-364	REDI	7/29/1966	PORTION ASSD	1	No	No	No		1960-1965 TAXES. 1/4 OF TOTAL PARCE
PECHILLIS, CHRI	5248-440	TAKI	3/1/1965	PORTION ASSD	1	No	No	No		1960-1964 TAXES WITH SUBSEQUENT
PECHILLIS, CHRI	5248-439	TAKI	3/1/1965	PORTION ASSD	1	No	No	No		1960-1964 WITH SUBSEQUENT TAXES 196

BUILDING PERMITS

Date	Number	Descrp	Amount	CIO	Last Visit	Fed Code	F. Descrp	Comment
11/10/2016	16-491	REEROOF	6,500	C	10/5/2017		ROOF	
10/28/2003	1530	DEMO		C	1/17/2004		INTERIOR, ROOF & P	
2/5/1996	4856	WOOD STO		C			APARTMNT BUILDOUT	
2/1/1996	4855	RENO-INT		C			FENCE	
6/15/1995	4697	WINDOWS	600	C				
5/1/1980	1664	SIGN	2,700	C				
5/1/1980	1660	WINDOWS	250	C				
4/29/1975	248	ADDITION		C	11/6/1975		& FACADE	
6/1/1974	16	RENO-INT	550	C				

AND SECTION (First 7 lines only)

Use Code	LUC	Depth /	No of Units	Price/Units	Unit Type	Land Type	LT	Base	Unit Price	Adj	Neigh	Neigh	Neigh	Mod	Intfl 1	%	Intfl 2	%	Intfl 3	%	Appraised Value	Alt	%	Spec	Land	Code	Fact	Use Value	Notes
325	SM RETAIL		33000		Sq.Ft.	SITE	1.0	0	8	1,413	30	1.00									372,900	101	35					372,900	



USER DEFINED

Prior Id # 1:	
Prior Id # 2:	
Prior Id # 3:	
Prior Id # 1:	
Prior Id # 2:	
Prior Id # 3:	
Prior Id # 1:	
Prior Id # 2:	
Prior Id # 3:	
Prior Id # 1:	
Prior Id # 2:	
Prior Id # 3:	
ASR Map:	2242
Fact Dist:	
Interval Dist:	
Year:	
Land Reason:	
Plat Reason:	
Plat Reason:	
Plat Reason:	

ACTIVITY INFORMATION

By	Name	Date	Result
CLG	C GORNIOWICZ	10/5/2017	CYCICAL
I&E	INCOME/EXPSN	8/24/2015	RETURNED
CLG	C GORNIOWICZ	5/20/2013	M&I 2010-19
AB	A BROCHU	11/5/2007	ADDNAM CHNG
CLG	C GORNIOWICZ	9/26/2005	MEAS&INSP
SV	S VOLPONE	6/17/2005	INFO FM PLAN
SQ	SALES QUESTIN	6/7/2004	RETURNED
SV	S VOLPONE	11/7/2004	CYCICAL
CLG	C GORNIOWICZ	12/10/2003	MLS

Total

Total	372,900	Spl Credit	Total	372,900
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EXTERIOR INFORMATION

Type 52 - MIXED USE	
Sty Ht: 2.0 - 2.0	
(Liv) Units: 1	Total: 1
Foundation: 01 - CONCRETE	
Frame: 03 - CC/CC BLOCK	
Prime Wall: 21 - CC BOARD	
Sec Wall: 1	%
Roof Struct: 01 - GABLE	
Roof Cover: 09 - METAL	
Color: TEAL	
View / Desir:	
GENERAL INFORMATION	
Grade: 03 - GOOD	
Year Blt: 1969	Eff Yr Blt: 1992
Alt LUC: 101	Alt %: 50
Jurisdct:	Fact:
Const Mod:	
Lump Sum Adj:	

BATH FEATURES

Full Bath: 1	Rating: AVERAGE
A Bath:	Rating:
3/4 Bath: 1	Rating: AVERAGE
A 3QBh:	Rating:
1/2 Bath:	Rating:
A HBh:	Rating:
Other Fix: 1	Rating: AVERAGE
OTHER FEATURES	
Kits: 1	Rating: GOOD
A Kits:	Rating:
Frpt: 1	Rating: AVERAGE
WSFlue:	Rating:
CONDO INFORMATION	
Location:	
Total Units:	
Floor:	
% Own:	
Name:	

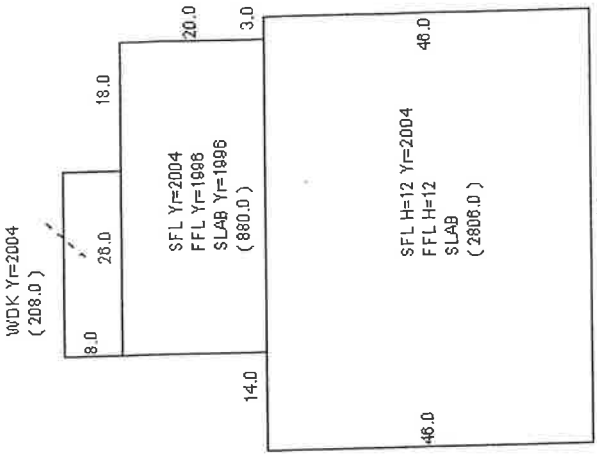
COMMENTS

FY2015=EFFECTIVE AGE FOR REAR ADDITION  
UPDATED. FY2014=SKETCH CORRECTED  
AFTER REMEASURED. PRIOR DATA ENTRY  
ERROR. FY06=2ND FLR ADDED & NEW FNDN  
(RAISED SLAB) IN REAR SECTION. 1ST  
FLOOR-SHELL W/PARTITIONS ONLY=TO BE S

RESIDENTIAL GRID

1st Res Grid	Desc: OWNERS APT	# Units: 1
Level	FY LR DR D K FR RR BR FB HB L O	
Other		
Upper		
Lvl 2		
Lvl 1		
Lower		
Totals	RMs: 8 BRS: 5 Baths: 1 HB	

SKETCH



REMODELING RES BREAKDOWN

Exterior: 2004	No Unit	RMS	BRS	FL
Interior: 2004	1	8	5	SFL
Additions: 2004				
Kitchen: 2004				
Baths: 2004				
Plumbing: 2004				
Electric: 2004				
Heating: 2004				
General: 2004				
Totals	1	8	5	

DEPRECIATION

Phys Cond: GD - Good	10.4%
Functional:	%
Economic:	%
Special: UC - UNDER C	0.0%
Override:	%
Total:	10.4%

INTERIOR INFORMATION

Avg Ht/FL: 11.5	
Prim Int Wall: 01 - DRYWALL	
Sec Int Wall:	%
Partition: T - TYPICAL	
Prim Floors: 03 - HARDWOOD	
Sec Floors: 19 - GRANITE	30%
Bsmnt Flr: 12 - CONCRETE	

COMPARABLE SALES

Rate	Parcel ID	Typ	Date	Sale Price
WtA/SQ:		AvRate:	Ind Val	
Juris. Factor:		Val/Su Fin:	133.29	
Special Features:	0	Val/Su Net:	43.61	
Final Total:	491300	Val/Su SzAd:	66.64	

CALC SUMMARY

Basic \$ / SQ: 100.00	
Size Adj: 0.50000000	
Const Adj: 1.14404857	
Adj \$ / SQ: 57.202	
Other Features: 38270	
Grade Factor: 1.30	
Neighborhood Inf: 1.00000000	
LUC Factor:	
Adj Total: 548309	
Depreciation: 57024	
Depreciated Total: 491285	

SUB AREA

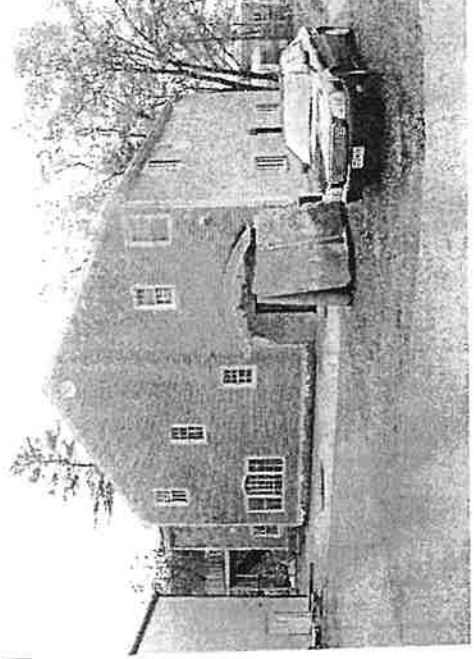
Code	Description	Area - SQ	Rate - AV	Undepr Value	Sub Area	% Usbl	Descrp	% Type	Qu Ten
FFL	FIRST FLOOR	3,686	40,040	147,594	100	FFL	100	UNF	100 A
SFL	SECOND FLOOR	3,686	57,200	210,848	20	SFL			
SLAB	SLAB FOUNDTN	3,686	5,490	20,227					
WDK	WOOD DECK	208	23,260	4,838					
Totals		11,266		383,506					

SUB AREA DETAIL

Code	Description	Area - SQ	Rate - AV	Undepr Value	Sub Area	% Usbl	Descrp	% Type	Qu Ten
FFL	FIRST FLOOR	3,686	40,040	147,594	100	FFL	100	UNF	100 A
SFL	SECOND FLOOR	3,686	57,200	210,848	20	SFL			
SLAB	SLAB FOUNDTN	3,686	5,490	20,227					
WDK	WOOD DECK	208	23,260	4,838					
Totals		11,266		383,506					

IMAGE

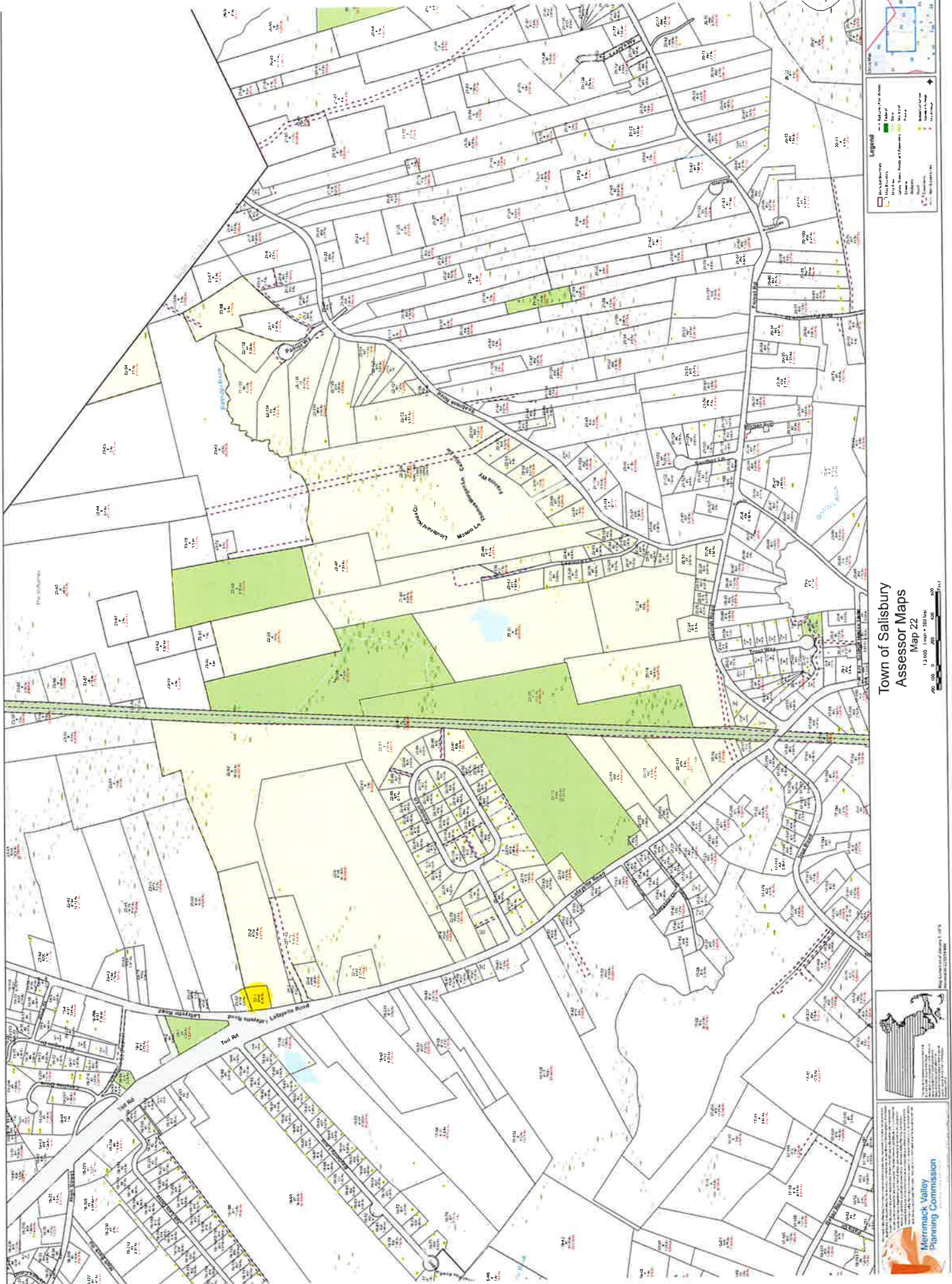
AssessPro Patriot Properties, Inc



SPEC FEATURES/YARD ITEMS

Code	Description	A Y/S Qty	Size/Dim	Qual	Con	Year	Unit Price	D/S	Dep	LUC	Fact	NB Fa	Appr Value	Juris Value
PARCEL ID	22-1													
JCond	JFact													
Net Skatched Area:	11,266													
Gross Area	7372													
FinArea	3686													
Size Ad														
Final Total:	491300													

Total Yard Items



**Legend**

**Land Use Designation**

- Residential (Single-Dwelling)
- Residential (Medium-Density)
- Residential (High-Density)
- Commercial
- Industrial
- Public Use
- Open Space
- Water

**Other Features**

- Proposed Road
- Proposed Rail
- Proposed Gas
- Proposed Sewer
- Proposed Water
- Proposed Stormwater
- Proposed Electricity
- Proposed Gas
- Proposed Sewer
- Proposed Water
- Proposed Stormwater
- Proposed Electricity

**Town of Salisbury**  
**Assessor Maps**  
**Map 22**





