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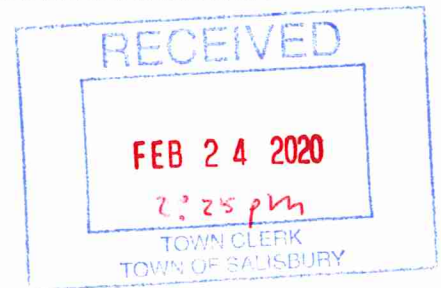
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**Planning Board****Don Egan**, *Chair***John "Mary" Doggett**, *V. Cha***Gil Medeiros**, *Clerk***Lou Masiello****Gil Medeiros****Deborah Rider****John Schillizzi**, *Alternate***Planning Board****Town of Salisbury****5 Beach Road****Salisbury, MA 01952****Certificate of Completion****Date:** February 13, 2020**Name & Date of Plan:** Plan of Land in Salisbury, MA Showing an As-Built/Minor Site Modification at 1 Washington Street (Formerly 158 Beach Road) (Map 27, Lot 33)**Address of Project:** 1 Washington Street, Salisbury MA**Map/Lot:** 27-33**Owner:** Costal Lane, LLC**Owner's Address:** 91 Belmont Street, North Andover, MA 01845**Applicant:** Costal Lane, LLC**Applicant's Address** 91 Belmont Street, North Andover, MA 01845

G. Medeiros **motioned** to approve the minor site plan modification as depicted on the as-built / minor site modification plan, titled, "Plan of Land in Salisbury, MA Showing an As-Built/Minor Site Modification at 1 Washington Street (formerly 158 Beach Road)", dated and prepared on February 7, 2020 by Millennium Engineering Inc., and the request for a certificate of completion with the following conditions:

1. Prior to the issuance of a Certificate of Occupancy, the applicant shall remove the vinyl fence and submit a revised site plan illustrating its removal.
2. Prior to the applicant, successor in interest or successor of the property erecting a new fence, a request for a site plan modification shall be filed with the Planning Board for approval. The applicant shall provide language inscribed on a revised site plan stating as such.
3. Prior to the issuance of a Certificate of Occupancy, the applicant shall submit an opinion from a Registered Landscape Architect or Landscape Profession to the Planning Board confirming the health of the existing landscaping and the applicant shall complete any recommendations to ensure the vegetation's survival based on those recommendations. Furthermore, the Applicant shall return to the Planning Board in the instance additional landscaping is required to discuss an appropriate bond amount to ensure compliance with the site plan approval.
4. All other conditions enumerated in the May 4, 2018 and July 2, 2019 decisions shall remain as approved.

Deb Rider seconded.**Vote:** 4-0**Motion:** Passed
Marty Doggett,
Planning Board, Acting Chair

Date

Certificate of Completion

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