

LOCUS MAP  
N.T.S.

N/F  
PLUM BUSH REALTY TRUST  
BK. 27831 PG. 380

N/F  
THAI REALTY TRUST  
BK. 21474 PG. 451

N/F  
PLUM BUSH REALTY TRUST  
BK. 10128 PG. 321

ZONING DISTRICT LM-B

LOT AREA: .5 ACRE  
LOT FRONTAGE: 100 FT  
FRONT SETBACK: MIN 20 FT  
MAX 40 FT  
SIDE SETBACK: 15 FT  
REAR SETBACK: 20 FT

BASIS OF BEARINGS

1910 STATE HIGHWAY LAYOUT - LAFAYETTE ROAD

OWNER OF RECORD

DOROTHY TRIANDOFILOU TRUST  
BK. 34694 PG. 400

PLAN REFERENCES

1910 STATE HIGHWAY LAYOUT - LAFAYETTE ROAD  
PLAN 95 of 1969  
PLAN BOOK 360 PLAN 24  
PLAN BOOK 369 PLAN 43  
PLAN BOOK 375 PLAN 51  
PLAN BOOK 412 PLAN 41  
PLAN BOOK 412 PLAN 42  
PLAN BOOK 418 PLAN 26

FOR REGISTRY USE

D.H.S.B. FND.

PROPOSED LOT 2

372,798 S.F.±  
= 8.558 AC.  
(TO BECOME #154 LAFAYETTE ROAD)  
(MAP 22 - LOT 151)

PROPOSED LOT 1

22,440 S.F.±  
= 0.515 AC.  
(TO REMAIN #156 LAFAYETTE ROAD)  
(MAP 22 - LOT 2)

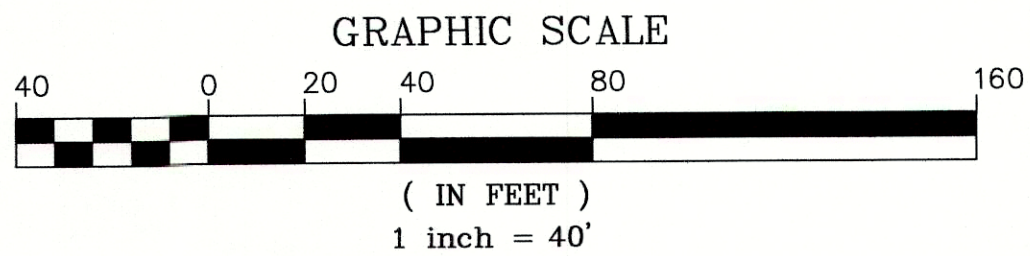
#156  
EXISTING  
BLOCK BUILDING

LAFAYETTE ROAD  
(PUBLIC - 1910 S.H.L.O.)  
(U.S. - ROUTE 1)

(U.S. - ROUTE 1)

(PUBLIC - 1910 S.H.L.O.)

- LEGEND
- D.H.S.B. DRILL HOLE STONE BOUND
  - I.P.I.PE IRON PIPE
  - I ROD IRON ROD
  - FND. FOUND
  - N/F NOW OR FORMERLY
  - ASSESSORS MAP#
  - PARCEL#



PREPARED FOR

DOROTHY TRIANDAFILOU TRUST  
156 LAFAYETTE ROAD  
SALISBURY, MA 01952



MILLENNIUM ENGINEERING, INC.  
ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=40'

CALC. BY: P.D.B.

DATE: NOV. 23, 2020

CHKD. BY: J.S.H.

PROJECT: M183321

PLAN OF LAND  
IN  
SALISBURY, MA

SHOWING  
APPROVAL NOT REQUIRED  
AT  
156 LAFAYETTE ROAD  
(MAP 22 - LOT 2)

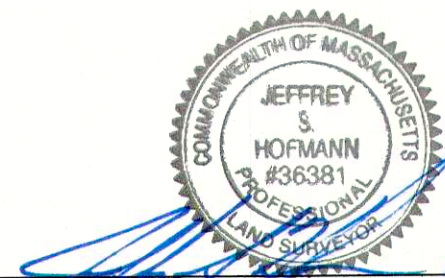
ANR PLAN

SHEET: 1 OF 1

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN OF SALISBURY ASSESSORS RECORDS.

I HEREBY CERTIFY:  
THAT THIS ACTUAL SURVEY WAS MADE ON THE GROUND AND THAT THE STRUCTURES AND PHYSICAL FEATURES ARE LOCATED AS SHOWN TO THE BEST OF MY ABILITY AND BELIEF.

"THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS."



PROFESSIONAL LAND SURVEYOR DATE

PLANNING BOARD APPROVAL  
UNDER SUBDIVISION CONTROL LAW  
NOT REQUIRED.  
SALISBURY PLANNING BOARD

SALISBURY PLANNING BOARD NOTES:

-ENDORSEMENT OF THIS PLAN SHALL NOT BE DEEMED TO BE A VERIFICATION OF THE LOCATION OF THE STRUCTURES SHOWN OR SETBACKS.

-ENDORSEMENT OF THIS PLAN SHALL NOT BE AN INDICATION, EXPRESS OR IMPLIED, THAT THE PARCELS OR STRUCTURES SHOWN ON THIS PLAN CONFORM TO APPLICABLE ZONING, CONSERVATION COMMISSION OR BOARD OF HEALTH REQUIREMENTS.

DATE

NOTES:

THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.