

LOCUS MAP
N.T.S.

OWNER OF RECORD

FJ REALTY INVESTMENTS, LLC
156 BRIDGE ROAD
SALISBURY, MA 01952
BK. 39604 PG. 498

BASIS OF BEARINGS

MSPCS-NAD83

PLAN REFERENCE

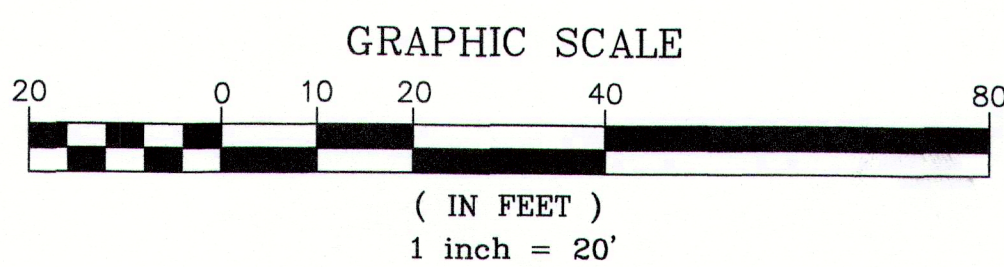
PLAN BOOK 433 - PLAN 74

NOTES:

- SUBJECT LOT IS IN ZONE AE AS SHOWN ON FEMA MAP #25009C0128F WITH AN EFFECTIVE DATE OF JULY 3, 2012. THE BASE FLOOD ELEVATION IS ELEVATION 9 (NAVD 88).
- VERTICAL DATUM IS NAVD 1988

LEGEND

■ E.C.B.	ESSEX COUNTY BOUND	⊙	SEWER MAN HOLE
● D.H.	DRILL HOLE	⊙	DRAIN MAN HOLE
● I ROD	IRON ROD	□	CATCH BASIN
● FND.	FOUND	⊙	WELL
—○—	STONE WALL	⊙	UTILITY POLE
WF A-29	WET FLAG DESIGNATION	—D—	DRAINAGE
—W—	WETLAND AREA	—W—	WATER
—22—	EXISTING ELEVATION CONTOUR	—S—	SEWER
○	ASSESSORS MAP	—G—	GAS
00	ASSESSORS PARCEL	—OHW—	OVERHEAD WIRE



PREPARED FOR

JAMIL JOURAII
21 MASON LANE
SALISBURY, MA 01952



MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM. ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

PLAN OF LAND
IN
SALISBURY, MA

SHOWING
PROPOSED SITE IMPROVEMENTS
AT
156 BRIDGE ROAD

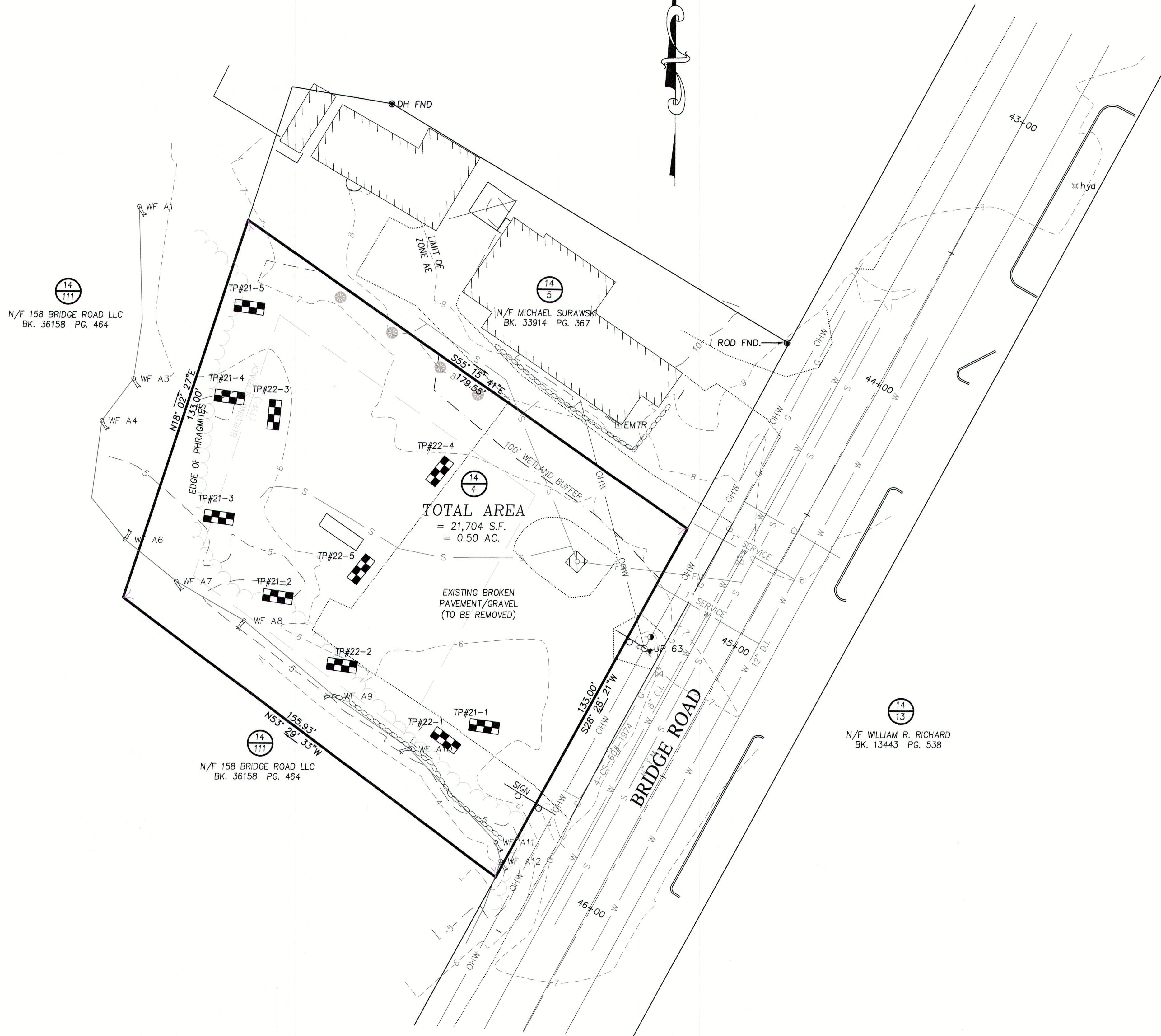
EXISTING
CONDITIONS

SHEET: C-1

WETLAND DELINEATED BY:
SEEKAMP ENVIRONMENTAL CONSULTING, INC.
(DELINEATED: MARCH 2021)

ZONING TABLE

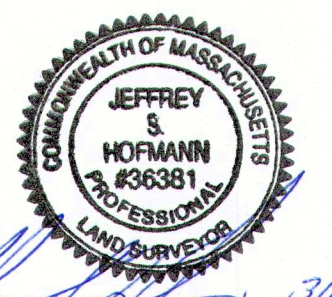
156 BRIDGE ROAD - ASSESSORS MAP 14 LOT 4 ZONING DISTRICT COMMERCIAL C		
	REQUIRED	EXISTING
LOT AREA:	½ AC.	0.50 AC.
LOT FRONTAGE:	100 FT.	133.00 FT
FRONT SETBACK:	50 FT	**
SIDE SETBACK:	20 FT.	**
REAR SETBACK:	20 FT.	**
LOT COVERAGE:	25% MAX	**
OPEN SPACE:	**	**
BLDG HEIGHT:	35 FT.	**



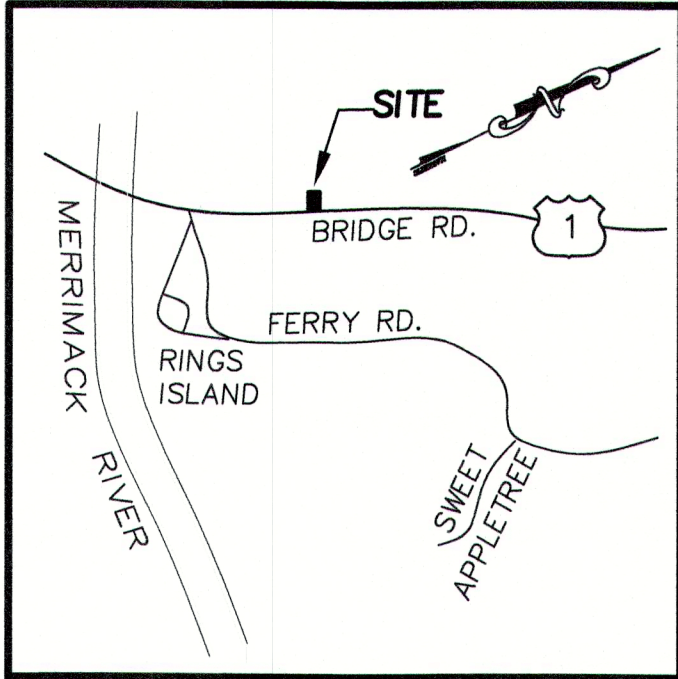
THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN/CITY ASSESSORS RECORDS.

I CERTIFY:
THAT THE PROPERTY LINES SHOWN ARE THE LINES OF EXISTING OWNERSHIP AND THE LINES OF STREETS AND WAYS SHOWN ARE THE LINES OF STREETS AND WAYS ALREADY EXISTING AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW STREETS OR WAYS ARE SHOWN.

I CERTIFY:
THAT THIS ACTUAL SURVEY WAS MADE ON THE GROUND IN NOVEMBER 2021.



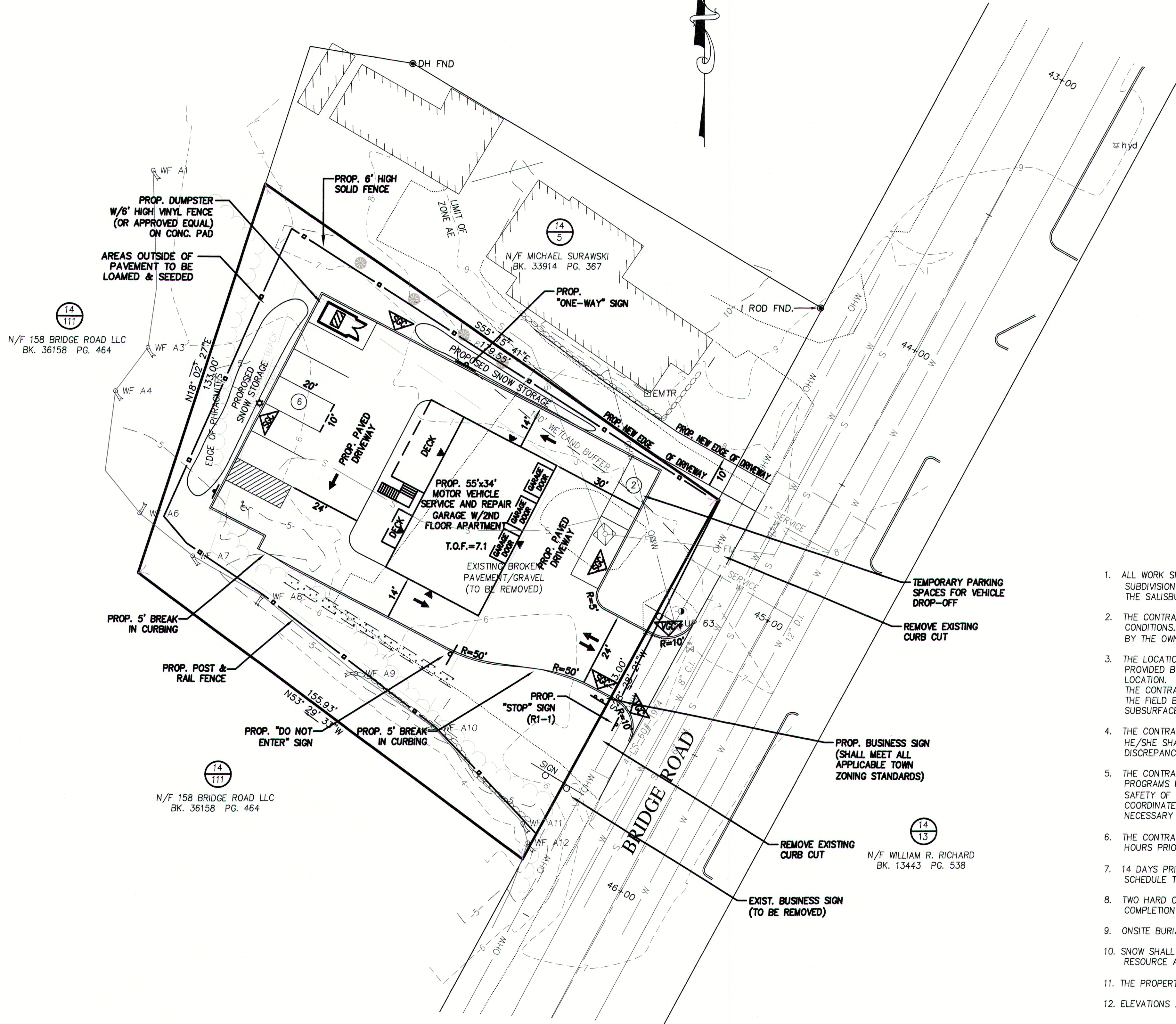
PROFESSIONAL LAND SURVEYOR DATE 3/17/22



LOCUS MAP
N.T.S.

ZONING TABLE

156 BRIDGE ROAD — ASSESSORS MAP 14 LOT 4 ZONING DISTRICT COMMERCIAL C			
	REQUIRED	EXISTING	PROPOSED
LOT AREA:	½ AC.	0.50 AC.	0.50 AC.
LOT FRONTAGE:	100 FT.	133.00 FT	133.00 FT
FRONT SETBACK:	50 FT	**	50.6 FT
SIDE SETBACK:	20 FT.	**	21.0 FT
REAR SETBACK:	20 FT.	**	75.9 FT
LOT COVERAGE:	25% MAX	**	8.6%
OPEN SPACE:	**	**	**
BLDG HEIGHT:	35 FT.	**	32.5 FT



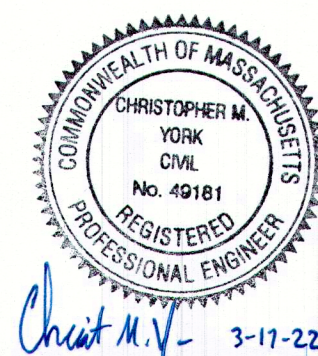
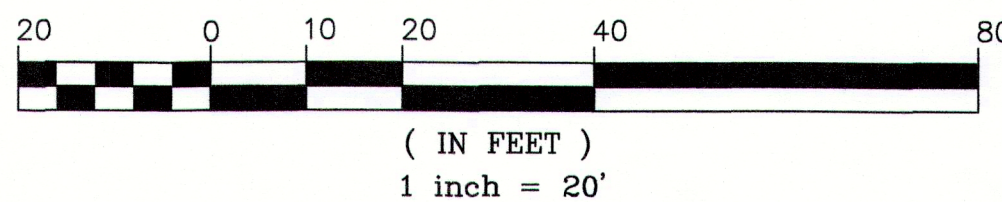
GENERAL NOTES

- ALL WORK SHALL CONFORM TO; THE SALISBURY PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, THE WETLANDS PROTECTION ACT (310 CMR 10.00), THE ORDER OF CONDITIONS ISSUED BY THE SALISBURY CONSERVATION COMMISSION, AND THESE PLANS.
- THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS. ANY PROPOSED REVISIONS TO THE WORK SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND REGULATING MUNICIPAL AND/OR STATE AGENCIES.
- THE LOCATION OF ALL UTILITIES, AS SHOWN ON THESE PLANS, ARE BASED UPON PLANS AND RECORD INFORMATION PROVIDED BY MUNICIPAL AND PRIVATE UTILITY COMPANIES AND ARE CONSIDERED APPROXIMATE BOTH AS TO SIZE AND LOCATION. NO WARRANTY IS MADE TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UTILITIES ARE SHOWN. THE CONTRACTOR SHALL NOT RELY ON THESE PLANS FOR SUCH INFORMATION AND SHALL MAKE EXAMINATIONS IN THE FIELD BY VARIOUS AVAILABLE RECORDS, UTILITY COMPANIES AND INDIVIDUALS, AS TO THE LOCATION OF ALL SUBSURFACE STRUCTURES.
- THE CONTRACTOR SHALL FIELD CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE NEW WORK. HE/SHE SHALL EXCAVATE TO VERIFY PERTINENT DRAINAGE INVERTS AND POTENTIAL UTILITY CONFLICTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
- THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF THE PUBLIC, EMPLOYEES, AND ALL OTHER PERSONS ASSOCIATED WITH THE PROJECT. HE/SHE SHALL COORDINATE AND BE RESPONSIBLE FOR ALL SAFETY SIGNING, BARRIERS AND TEMPORARY PAVEMENT MARKINGS NECESSARY TO PROVIDE A SMOOTH AND PROPER TRANSITION FOR TRAFFIC FLOW.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES BY CONTACTING "DIG-SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION. DIG-SAFE TELEPHONE NUMBER: 1-888-344-7233.
- 14 DAYS PRIOR TO COMMENCING CONSTRUCTION, THE OWNER/DEVELOPER SHALL PRESENT A CONSTRUCTION SCHEDULE TO THE PLANNING DEPARTMENT.
- TWO HARD COPIES OF AS-BUILT DRAWINGS SHALL BE SUBMITTED TO THE PLANNING DEPARTMENT UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL INCLUDE ALL LANDBASE AND UTILITIES INFORMATION.
- ONSITE BURIAL OF STUMPS OR ANY OTHER DEBRIS IS PROHIBITED.
- SNOW SHALL ONLY BE STORED IN THE LOCATIONS DEPICTED ON THE PLANS. DUMPING OF SNOW INTO THE WETLAND RESOURCE AREA IS PROHIBITED.
- THE PROPERTY LIES WITHIN ZONE AE (EL. 9) ACCORDING TO F.I.R.M. COMMUNITY PANEL NUMBER 25009C 0128F.
- ELEVATIONS ARE BASED UPON 1988 NAV DATUM.

LEGEND

—W—	EXISTING WATER MAIN
—S—	EXISTING SEWER MAIN
—W—	PROPOSED WATER SERVICE
—S—	PROPOSED SEWER MAIN
—SS—	PROPOSED SEWER SERVICE
—G—	PROPOSED GAS MAIN
—gs—	PROPOSED GAS SERVICE
—UU—	PROPOSED UNDERGROUND UTILITIES
	PROPOSED WATER GATE
	PROPOSED VERTICAL GRAN. CURB
	PROPOSED SLOPED GRAN. EDGING
	PROPOSED STREET LIGHT
	EXISTING FIRE HYDRANT
	PROPOSED WATER SHUTOFF
	PROPOSED SEWER SERVICE
	PROPOSED BUILDING LIGHT

GRAPHIC SCALE



PREPARED FOR

JAMIL JOURAJ
21 MASON LANE
SALISBURY, MA 01952

NO.	DATE	DESCRIPTION	BY
3	3/17/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
2	2/16/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
1	1/20/22	ADDRESS TOWN COMMENTS	C.M.Y.

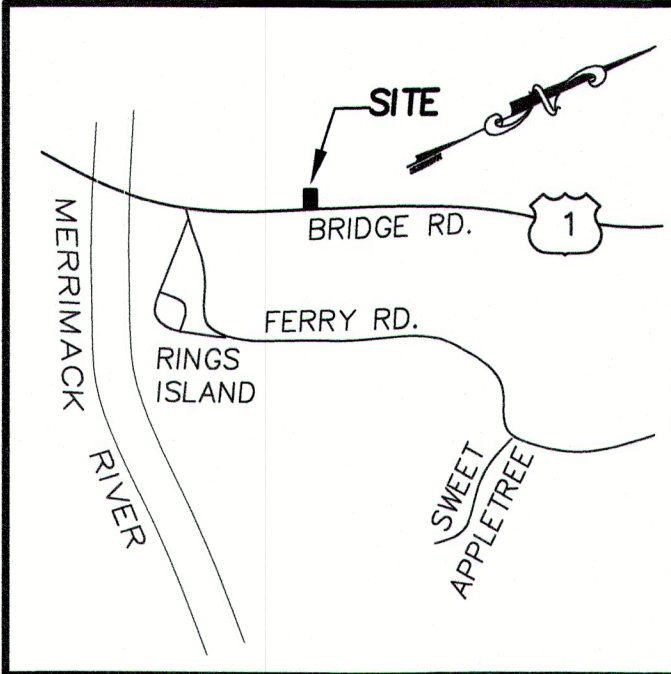
		MILLENNIUM ENGINEERING, INC. ENGINEERING AND LAND SURVEYING 62 ELM ST. SALISBURY, MA 01952 (978) 463-8980 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528	
SCALE: 1"=20'		DESIG. BY: C.M.Y.	PROJECT: M214038
DATE: DEC. 22, 2021		CHKD. BY: E.W.B.	

PLAN OF LAND
IN
SALISBURY, MA

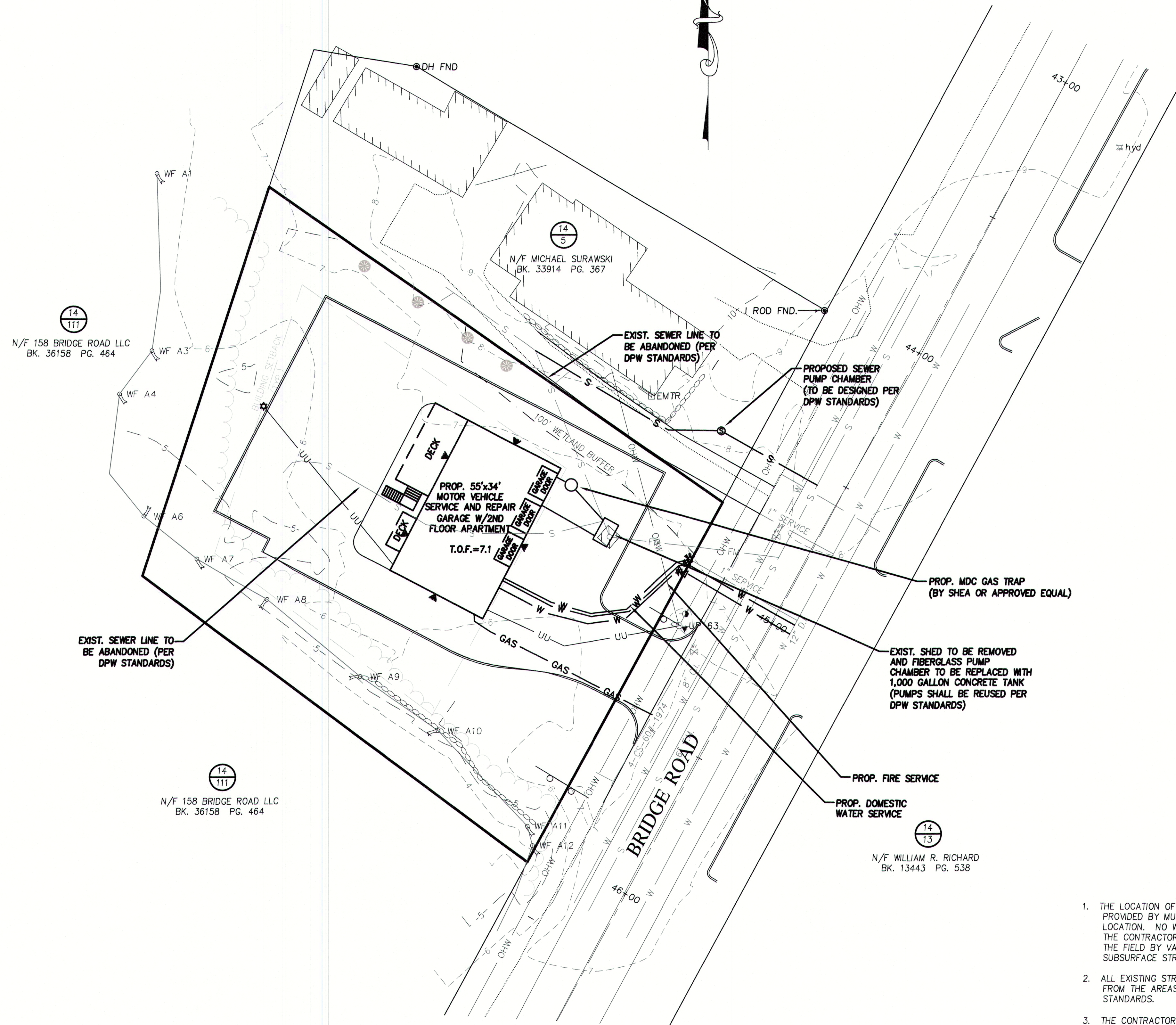
SHOWING
PROPOSED SITE IMPROVEMENTS
AT
156 BRIDGE ROAD

SITE PLAN

SHEET: C-2



LOCUS MAP
N.T.S.

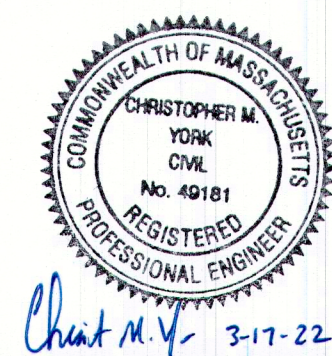
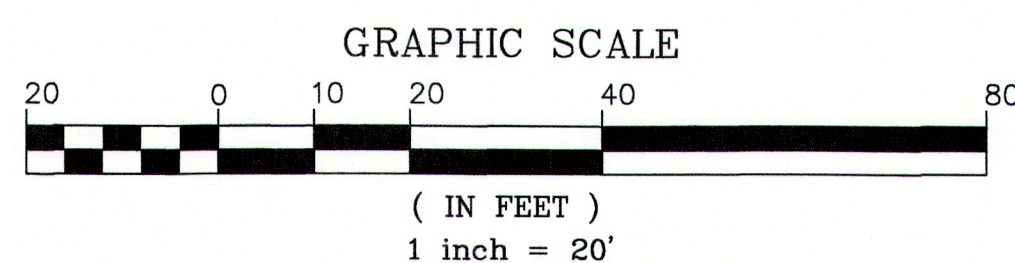


LEGEND

- | | |
|------|--------------------------------|
| —W— | EXISTING WATER MAIN |
| —S— | EXISTING SEWER MAIN |
| —W— | PROPOSED WATER SERVICE |
| —S— | PROPOSED SEWER MAIN |
| —SS— | PROPOSED SEWER SERVICE |
| —G— | PROPOSED GAS MAIN |
| —GS— | PROPOSED GAS SERVICE |
| —UU— | PROPOSED UNDERGROUND UTILITIES |
| ⚡ | PROPOSED WATER GATE |
| ⚡ | EXISTING FIRE HYDRANT |
| ⚡ | PROPOSED VERTICAL GRAN. CURB |
| ⚡ | PROPOSED WATER SHUTOFF |
| ⚡ | PROPOSED SLOPED GRAN. EDGING |
| ⚡ | PROPOSED SEWER SERVICE |
| ⚡ | PROPOSED STREET LIGHT |
| ⚡ | PROPOSED BUILDING LIGHT |

UTILITY NOTES

1. THE LOCATION OF ALL UTILITIES, AS SHOWN ON THESE PLANS, ARE BASED UPON PLANS AND RECORD INFORMATION PROVIDED BY MUNICIPAL AND PRIVATE UTILITY COMPANIES AND ARE CONSIDERED APPROXIMATE BOTH AS TO SIZE AND LOCATION. NO WARRANTY IS MADE TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UTILITIES ARE SHOWN. THE CONTRACTOR SHALL NOT RELY ON THESE PLANS FOR SUCH INFORMATION AND SHALL MAKE EXAMINATIONS IN THE FIELD BY VARIOUS AVAILABLE RECORDS, UTILITY COMPANIES AND INDIVIDUALS, AS TO THE LOCATION OF ALL SUBSURFACE STRUCTURES.
2. ALL EXISTING STRUCTURES AND SURFACES, UNLESS OTHERWISE SHOWN, SHALL BE COMPLETELY REMOVED FROM THE AREAS OF WORK. ALL ABANDONED UTILITIES SHALL BE REMOVED PER APPLICABLE SALISBURY DPW STANDARDS.
3. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES BY CONTACTING "DIG-SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION. DIG-SAFE TELEPHONE NUMBER: 1-888-344-7233.



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SALISBURY, MA 01952

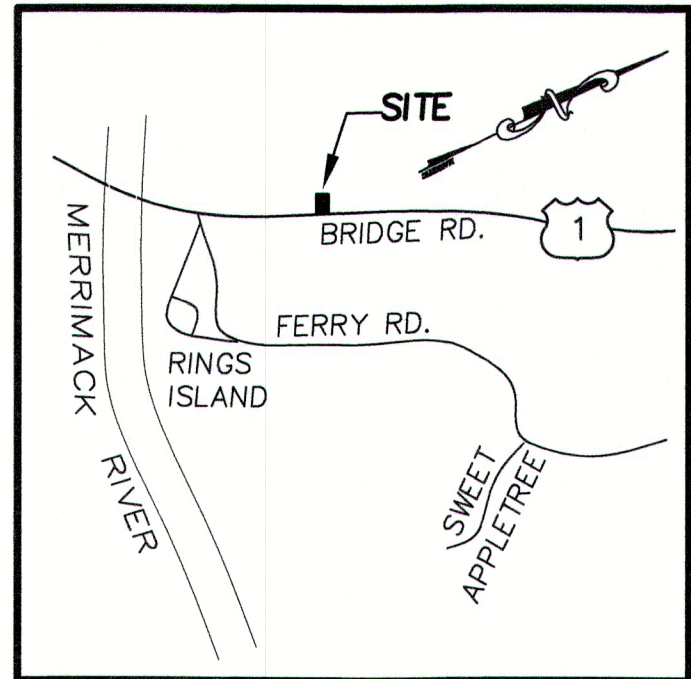
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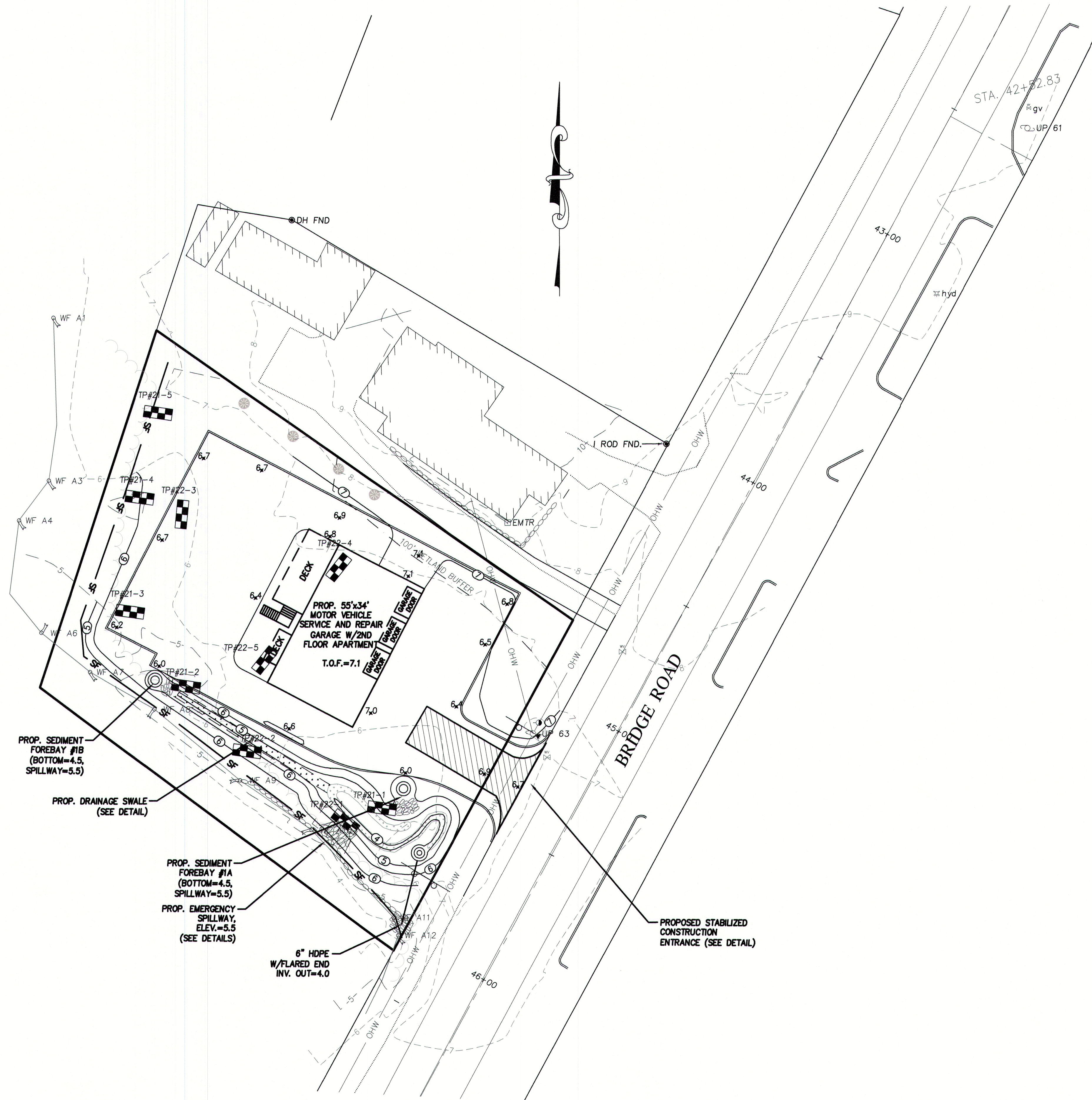
SCALE: 1"=20'	DESIG. BY: C.M.Y.	PROJECT: M214038
DATE: DEC. 22, 2021	CHKD. BY: E.W.B.	

PLAN OF LAND
IN
SALISBURY, MA
SHOWING
PROPOSED SITE IMPROVEMENTS
AT
156 BRIDGE ROAD

UTILITY PLAN
SHEET: C-3



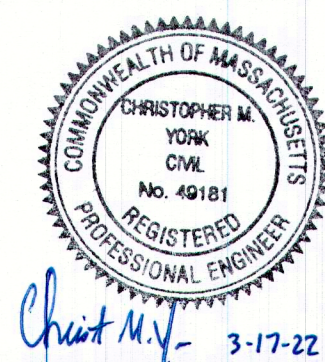
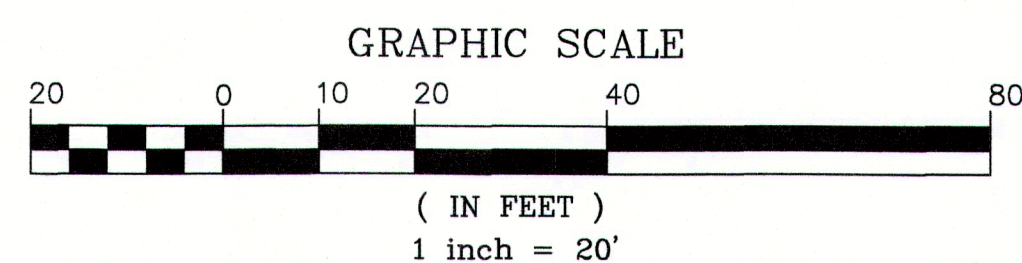
LOCUS MAP
N.T.S.



LEGEND

- 8 ——— EXIST. CONTOUR
- 6 ——— PROP. CONTOUR
- PROP. TREELINE
- PROP. RETAINING WALL
- SF ——— PROP. SILT SOCK

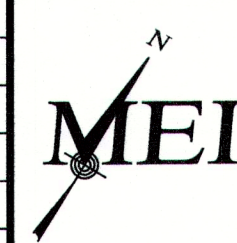
- PROP. CATCH BASIN
- EXIST. CATCH BASIN
- 22.6 PROP. SPOT GRADE
- EXIST. UTILITY POLE
- PROP. OUTLET STRUCTURE
- WETLANDS
- EXIST. TEST PIT



PREPARED FOR

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21 MASON LANE
SALISBURY, MA 01952

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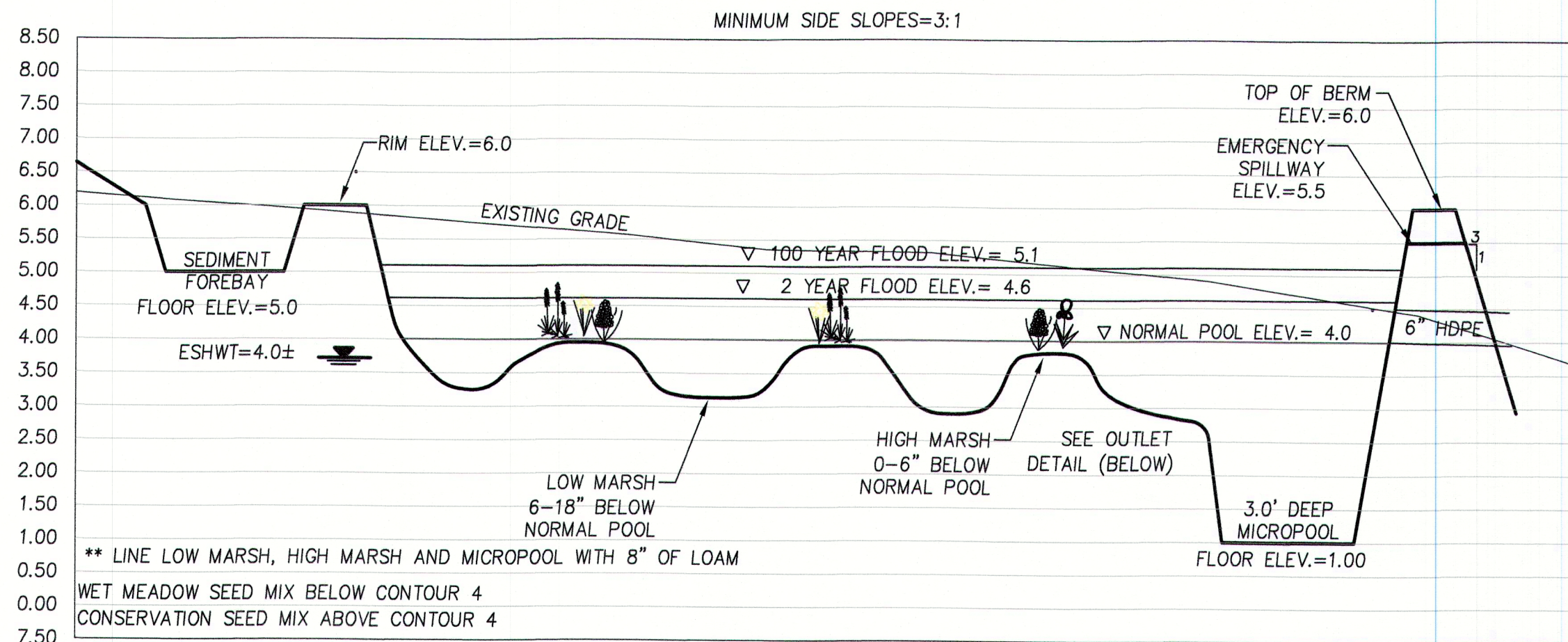
SCALE: 1"=20'	DESIG. BY: C.M.Y.	PROJECT: M214038
DATE: DEC. 22, 2021	CHKD. BY: E.W.B.	

PLAN OF LAND
IN
SALISBURY, MA

SHOWING
PROPOSED SITE IMPROVEMENTS
AT
156 BRIDGE ROAD

**GRADING
PLAN**

SHEET: C-4



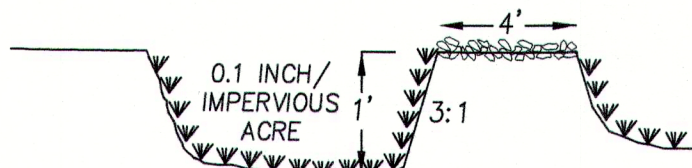
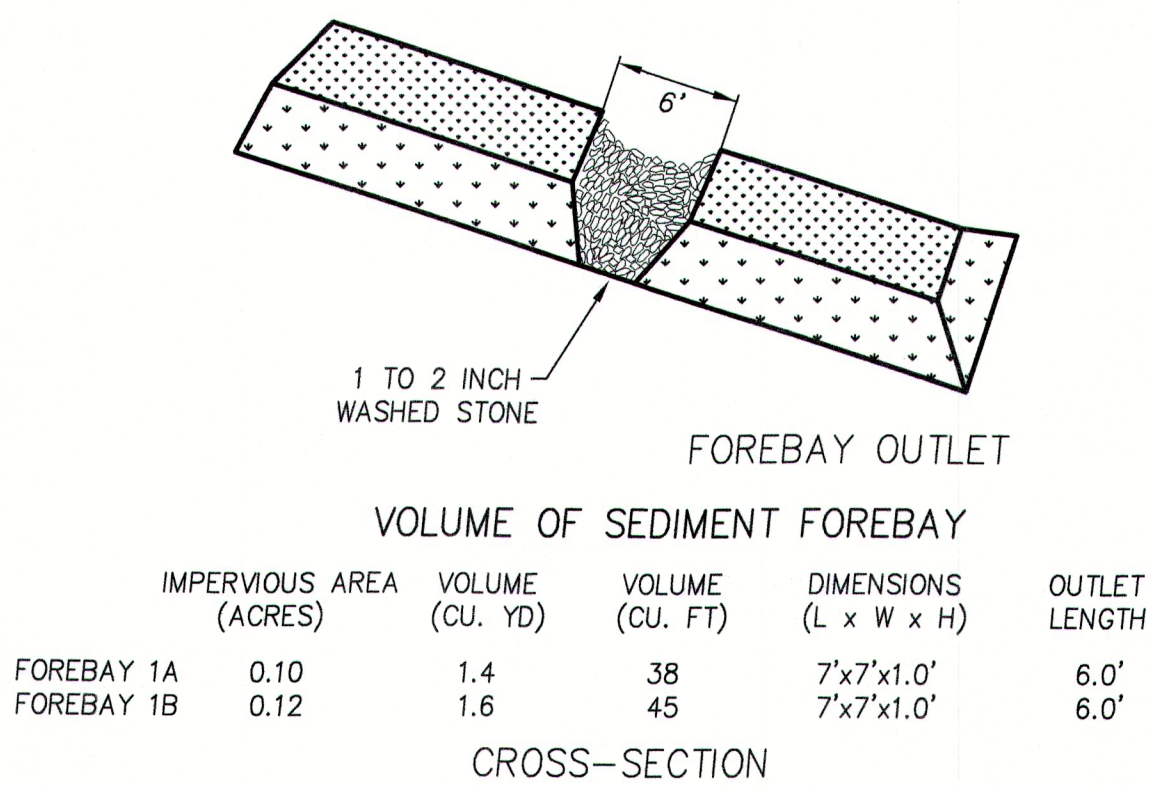
CONSTRUCTED WETLAND
PROFILE VIEW

HORIZ. SCALE: N.T.S.
VERT. SCALE: 1"=2'

GENERAL NOTES FOR
CONSTRUCTED WETLANDS:

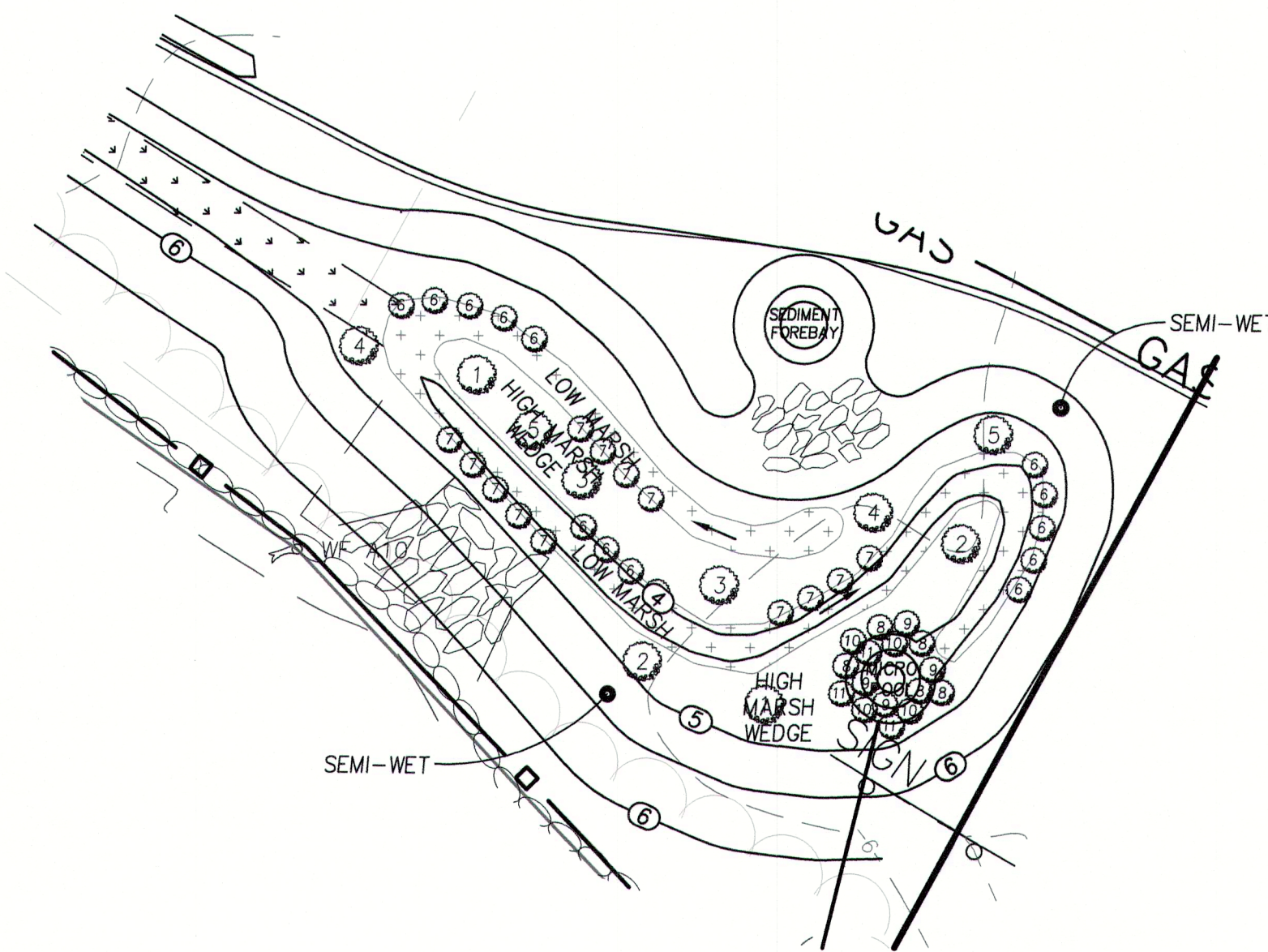
1. WETLAND BERMS SHALL BE CONSTRUCTED OF FILL MATERIAL FREE OF ROOTS, STUMPS, WOOD, RUBBISH, STONES GREATER THAN 6", OR OTHER OBJECTIONABLE MATERIALS. FILL MATERIAL FOR THE CENTER OF THE BERM SHALL CONFORM TO UNIFIED SOIL CLASSIFICATION CC, SC, CH, OR CL AND HAVE AT LEAST 30% PASSING THE #200 SIEVE. MATERIALS USED IN THE OUTER SHELL OF THE BERMS SHALL BE CAPABLE OF SUPPORTING THE VEGETATION SPECIFIED ON THE PLANS.
2. FILL MATERIALS SHALL BE PLACED IN MAXIMUM 8-INCH LIFTS AND COMPACTED WITH A MINIMUM REQUIRED DENSITY OF NOT LESS THAN 95% OF MAXIMUM DRY DENSITY.
3. PRIOR TO FILL MATERIAL INSTALLATION, ALL TOPSOIL, SUBSOIL, AND UNSUITABLE MATERIAL (i.e. LEDGE) SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
4. EROSION CONTROL MATTING SHALL BE INSTALLED ON ALL OUTSIDE SLOPES OF STORMWATER BASINS. MATTING SHALL BE A WOVEN JUTE MESH MANUFACTURED BY MACCAFERRI COMPANY, OR APPROVED EQUAL.
5. ALL PIPING WITHIN CONSTRUCTED WETLAND BERMS SHALL INCLUDE ANTI-SEEPAGE COLLARS.

CONSTRUCTED WETLAND PLANT LIST					
SYMBOL	COMMON NAME	LATIN NAME	HEIGHT	NUMBER	ZONE
1	SWEET PEPPERBUSH	CLETHRA ALNIFOLIA	3-4'	2	HIGH MARSH/SLOPE
2	NORTHERN ARROWWOOD	VIBURNUM DENTATUM	3-4'	2	HIGH MARSH/LOWER SLOPE
3	WINTERBERRY HOLLY	ILEX VERTICILLATA	3-4'	2 (INCL. 1 MALE)	HIGH MARSH
4	HIGHBUSH BLUEBERRY	VACCINIUM CORYMBOSUM	3-4'	2	HIGH MARSH/LOWER SLOPE
5	RED-OSIER DOGWOOD	CORNUS SERICEA	3-4'	2	HIGH MARSH/LOWER SLOPE
6	BLUE FLAG IRIS	IRIS VERSICOLOR	2" PLUGS	10	HI MARSH/LO MARSH BORDER
7	CARDINAL FLOWER	LOBELIA CARDINALIS	2" PLUGS	10	EDGE HI MARSH/LO MARSH INTO HIGH MARSH
8	SOFT-STEM BULRUSH	SCHOENOPLECTUS TABERNAEMONTANI	2" PLUGS	10	LO SLOPE/MICROPOOL EDGE
9	GREEN BULRUSH	SCIRPUS ATROVIRENS	2" PLUGS	10	MID/LOWER MICROPOOL SLOPE
10	CHAIRMAKER'S BULRUSH	SCHOENOPLECTUS (SCIRPUS) AMERICANUS	2" PLUGS	10	MID/LOWER MICROPOOL SLOPE
11	SWEETFLAG	ACORUS AMERICANUS	2" PLUGS	10	MID/LOWER MICROPOOL SLOPE



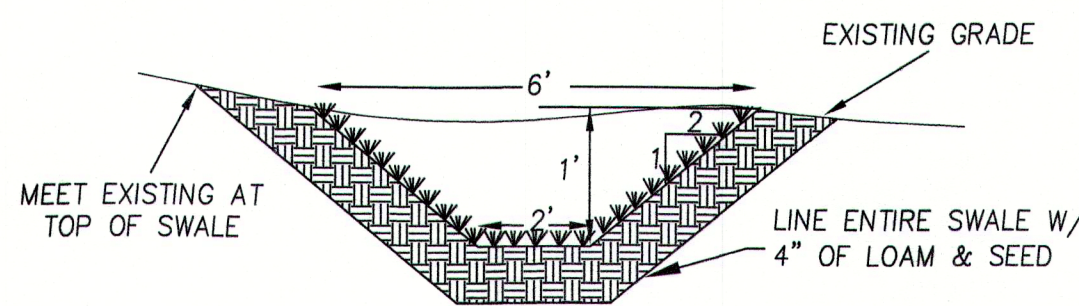
SEDIMENT FOREBAY
DETAIL

N.T.S.



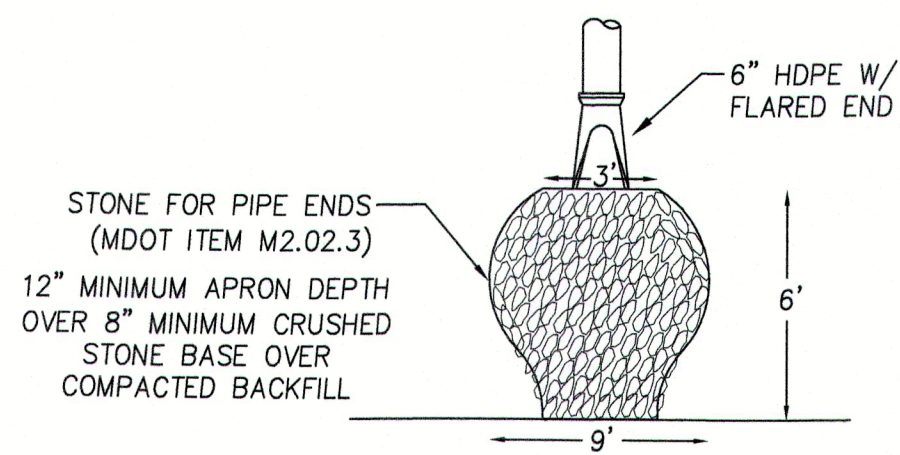
CONSTRUCTED WETLAND
LAYOUT

HORIZ. SCALE: 1"=10'



DRAINAGE
SWALE DETAIL

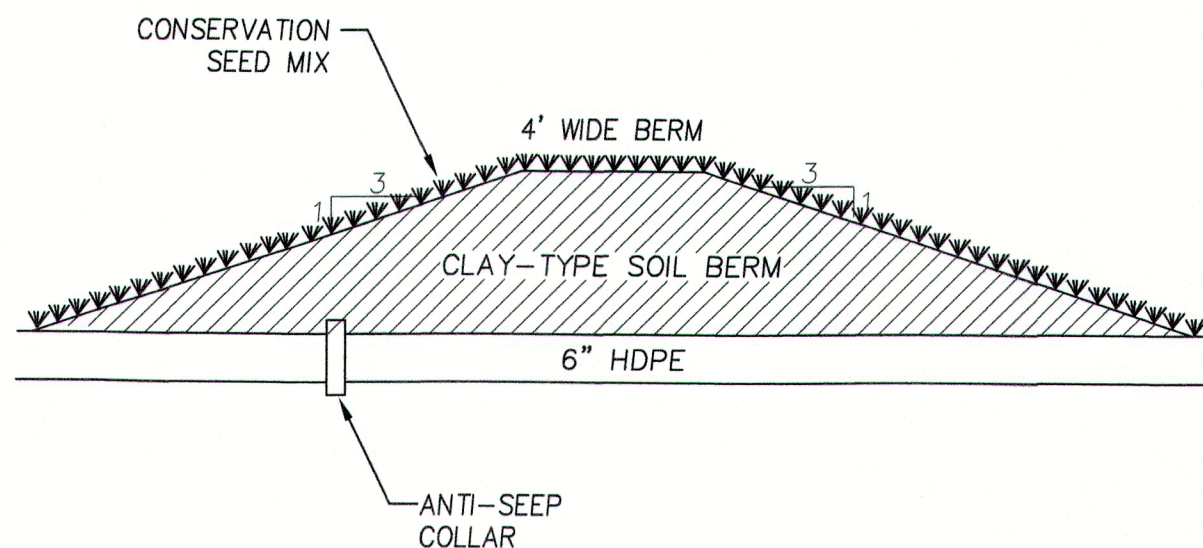
N.T.S.



NOTE: GEOSYNTHETIC EROSION CONTROL MAT SHALL BE UNDER ALL RIP-RAP

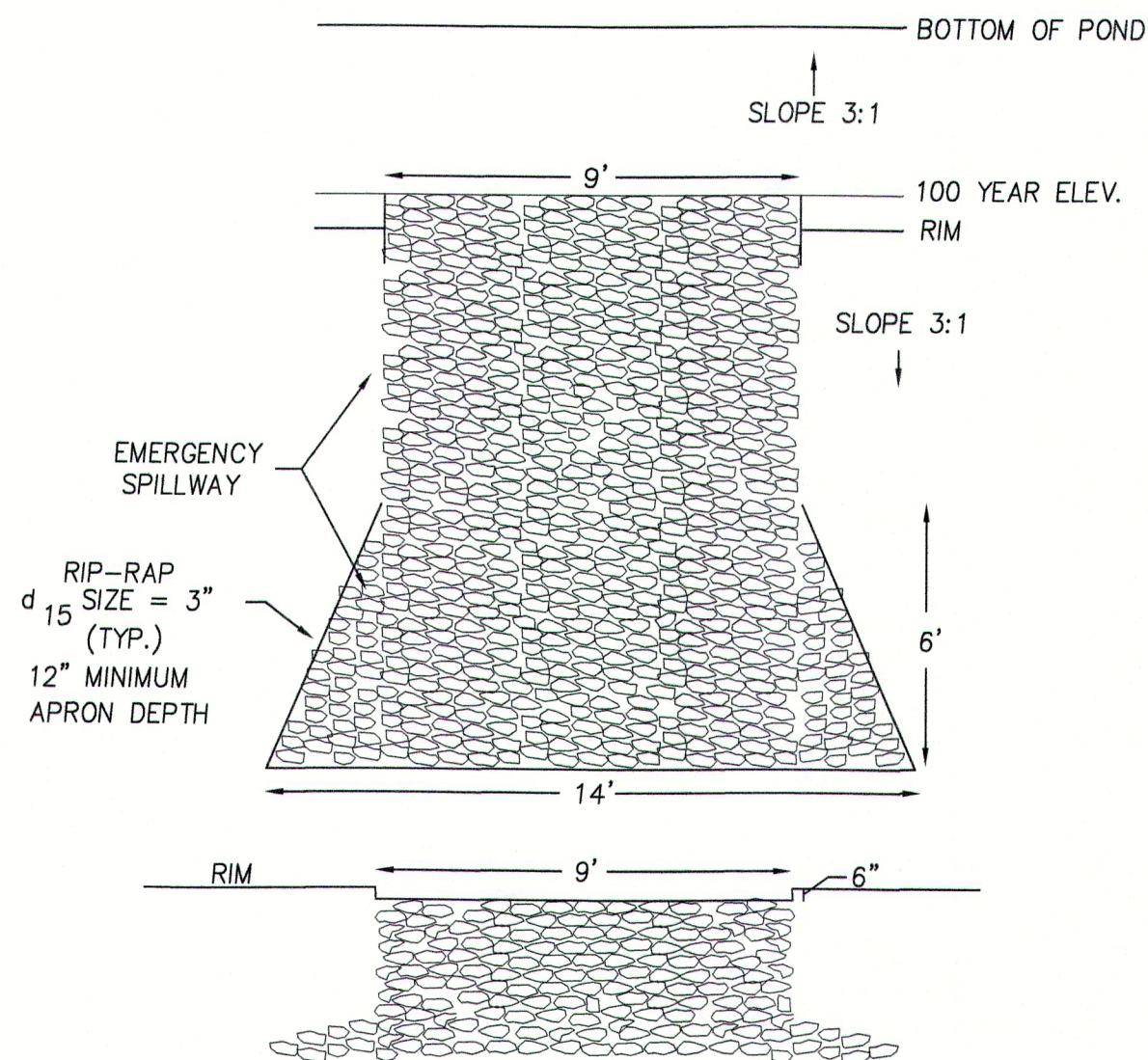
TYPICAL RIP-RAP
APRON DETAIL

N.T.S.



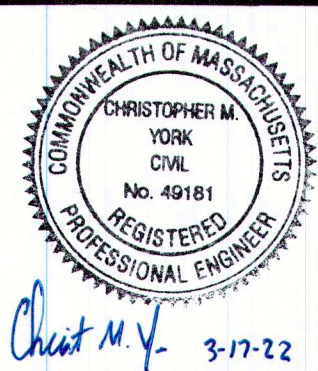
CONSTRUCTED WETLAND
BERM DETAIL

N.T.S.



TYPICAL SPILLWAY
PLAN VIEW

N.T.S.



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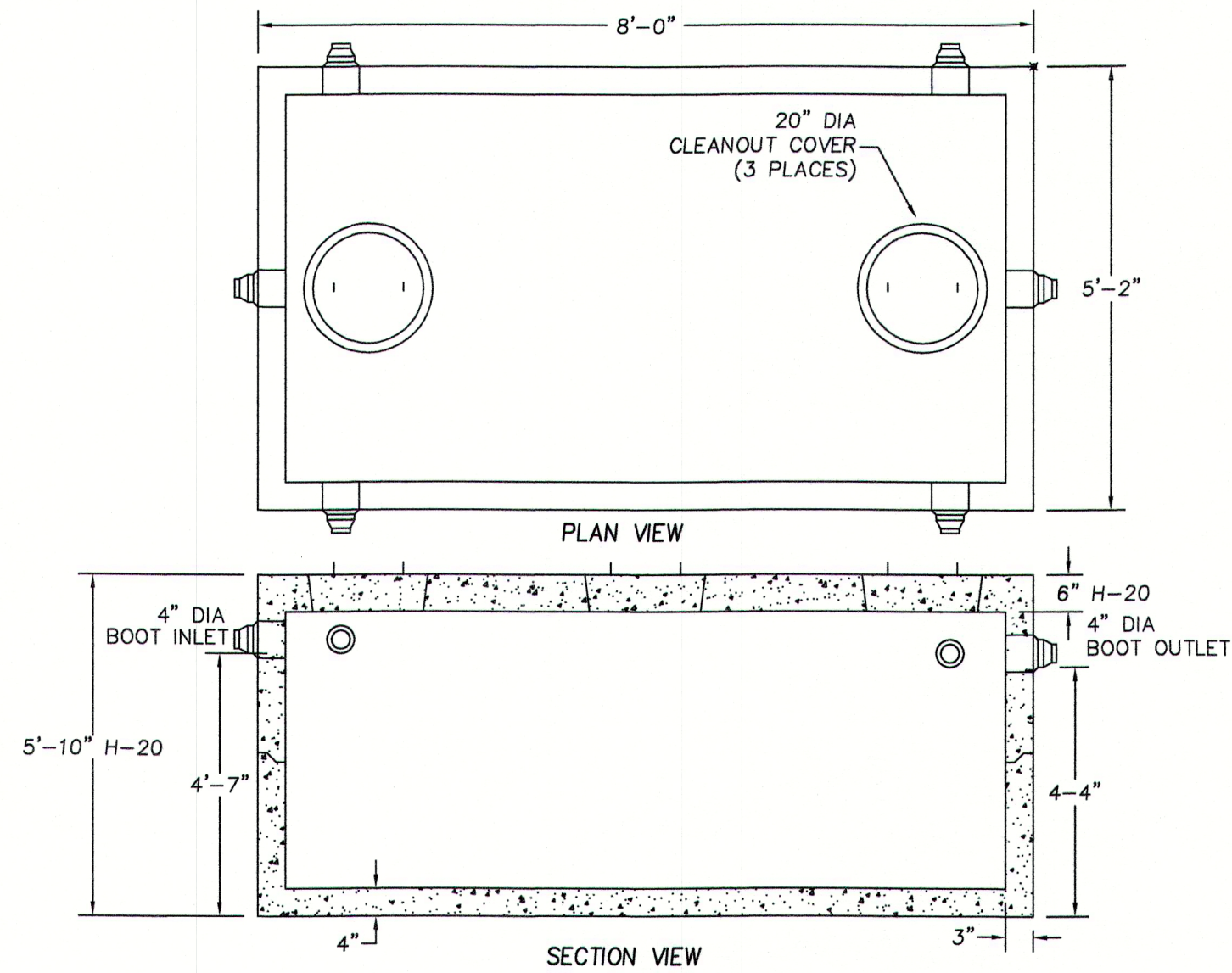
MEI MILLENNIUM ENGINEERING, INC.
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13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: AS NOTED	DESG. BY: C.M.Y.
DATE: DEC. 22, 2021	CHKD. BY: E.W.B.
PROJECT: M214038	

PLAN OF LAND
IN
SALISBURY, MA
SHOWING
PROPOSED SITE IMPROVEMENTS
AT
156 BRIDGE ROAD

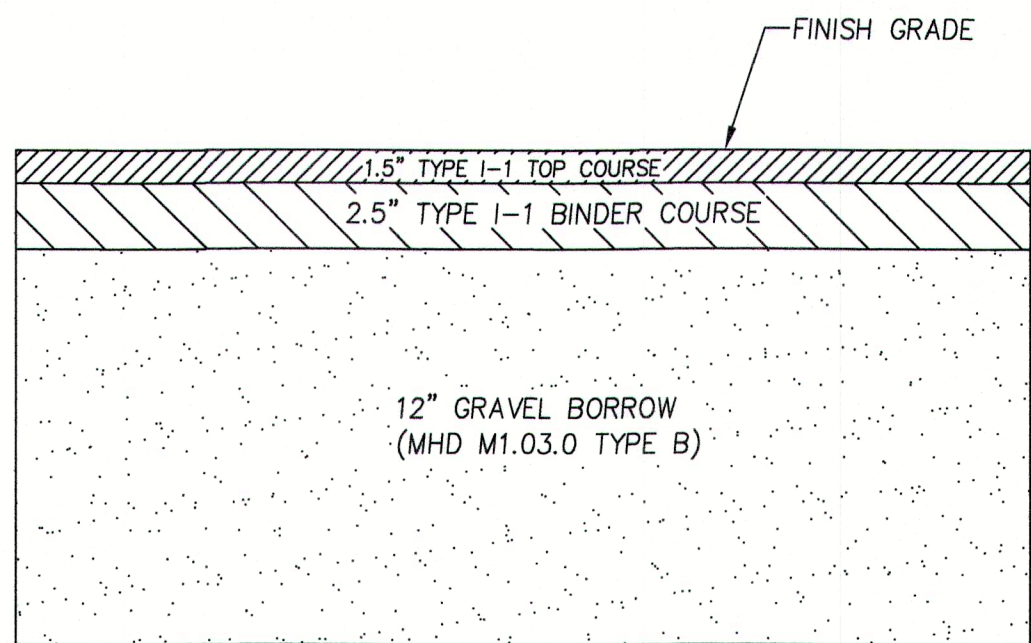
DRAINAGE
DETAILS

SHEET: C-5



- NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. DESIGN CONFORMS WITH 310 CMR 15.00, DEP TITLE 5 REGS, FOR SEPTIC TANKS
 3. ALL REINFORCEMENT PER ASTM C1227.
 4. DESIGNED FOR AASHTO HS-20 LOADING, 1 TO 5 FT COVER.
 5. TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN

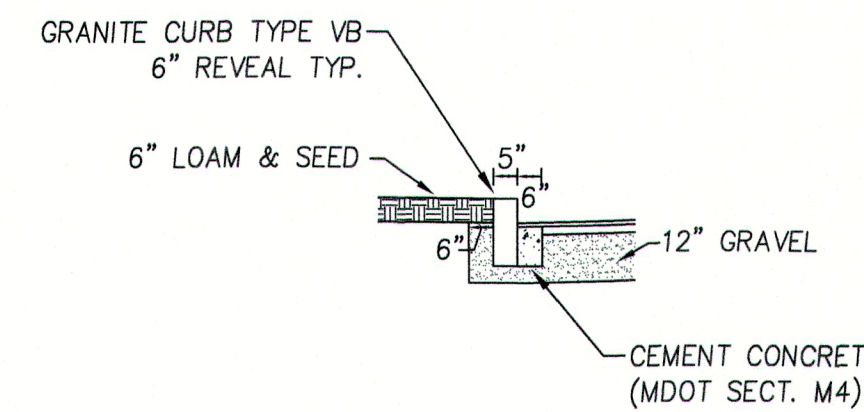
1,000 GALLON TANK
DETAIL N.T.S.



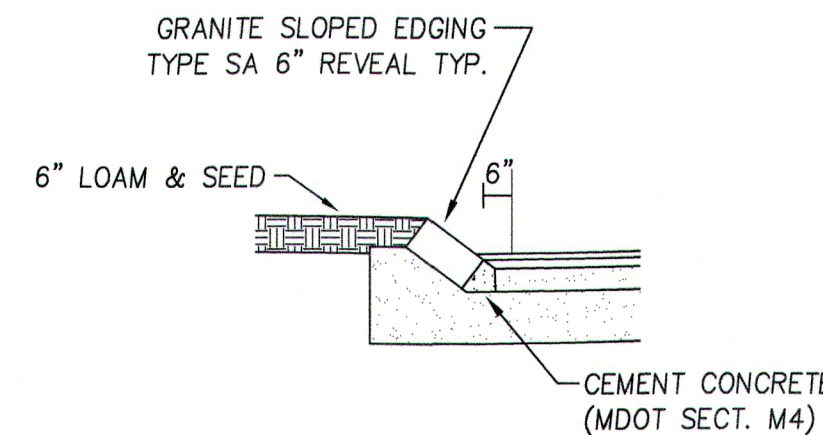
PAVEMENT
DETAIL N.T.S.

PAVEMENT NOTES

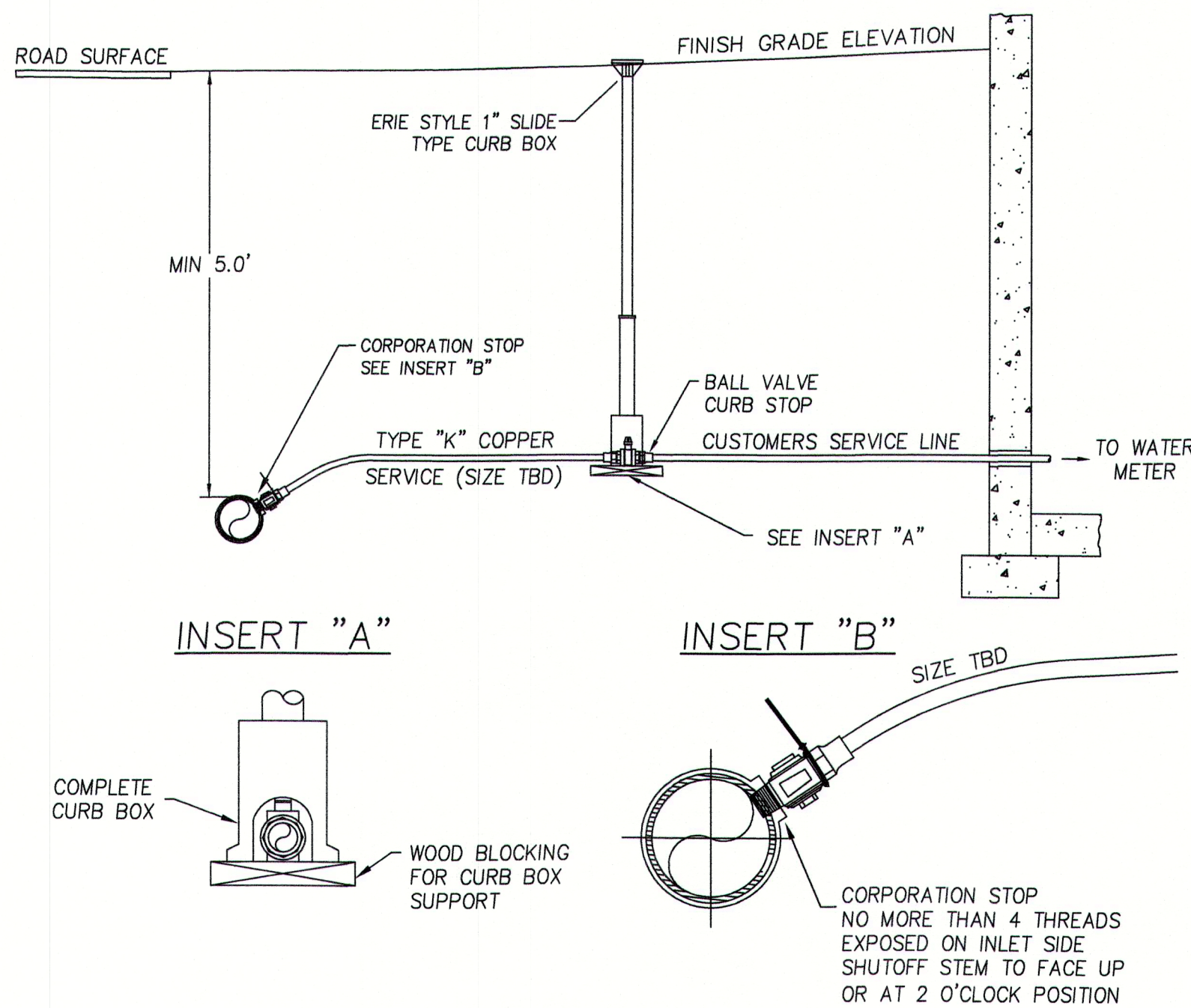
- 1.) ALL STUMPS, ROCKS AND LEDGE WITHIN THE LIMITS OF THE PROPOSED PAVED WAY SHALL BE REMOVED. ALL LEDGE SHALL BE REMOVED TO A MINIMUM DEPTH OF 2' BELOW FINISHED PAVEMENT GRADE.
- 2.) PAVEMENT SHALL NOT BE CONSTRUCTED DURING FREEZING WEATHER OR ON WET OR FROZEN SUBGRADE.
- 3.) GRADING AND ROLLING SHALL BE REQUIRED TO PROVIDE A SMOOTH, EVEN, AND UNIFORM COMPACTED BASE WHICH IS COMPACTED TO A MINIMUM DRY DENSITY OF 95 PERCENT.
- 4.) ALL UNSUITABLE MATERIAL SHALL BE EXCAVATED AND REPLACED WITH SATISFACTORY MATERIAL AND BROUGHT UP TO GRADE WITH GRAVEL BORROW CONTAINING NO STONES GREATER THAN 6" DIAMETER.
- 5.) AT ALL TIMES DURING CONSTRUCTION, THE SUB-GRADE AND ALL DITCHES SHALL BE CONSTRUCTED AND MAINTAINED SO THAT THE TRACK WILL EFFECTIVELY BE DRAINED.
- 6.) THE CONTRACTOR SHALL REFER TO THE SALISBURY PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, SECTIONS I - VII.



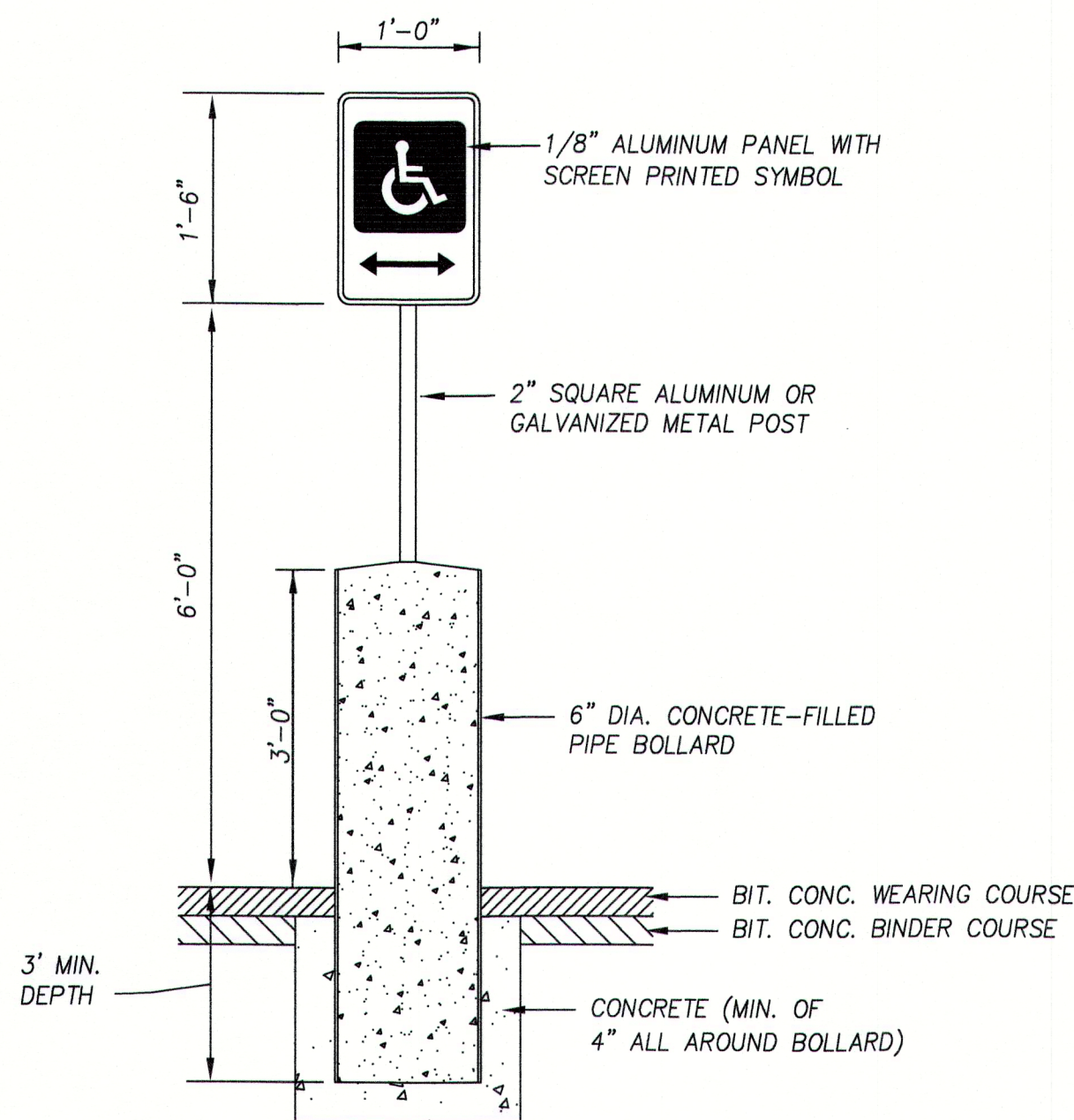
TYPICAL GRANITE CURBING
INSTALLATION DETAIL N.T.S.



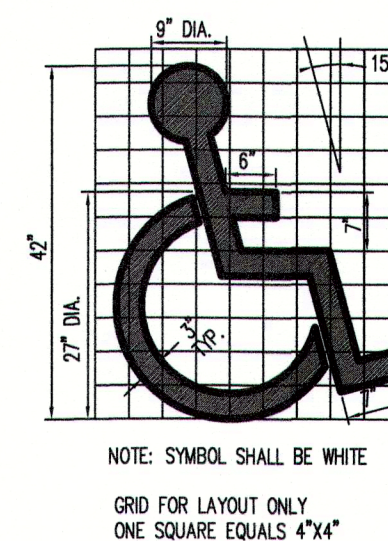
TYPICAL SLOPED
EDGING DETAIL N.T.S.



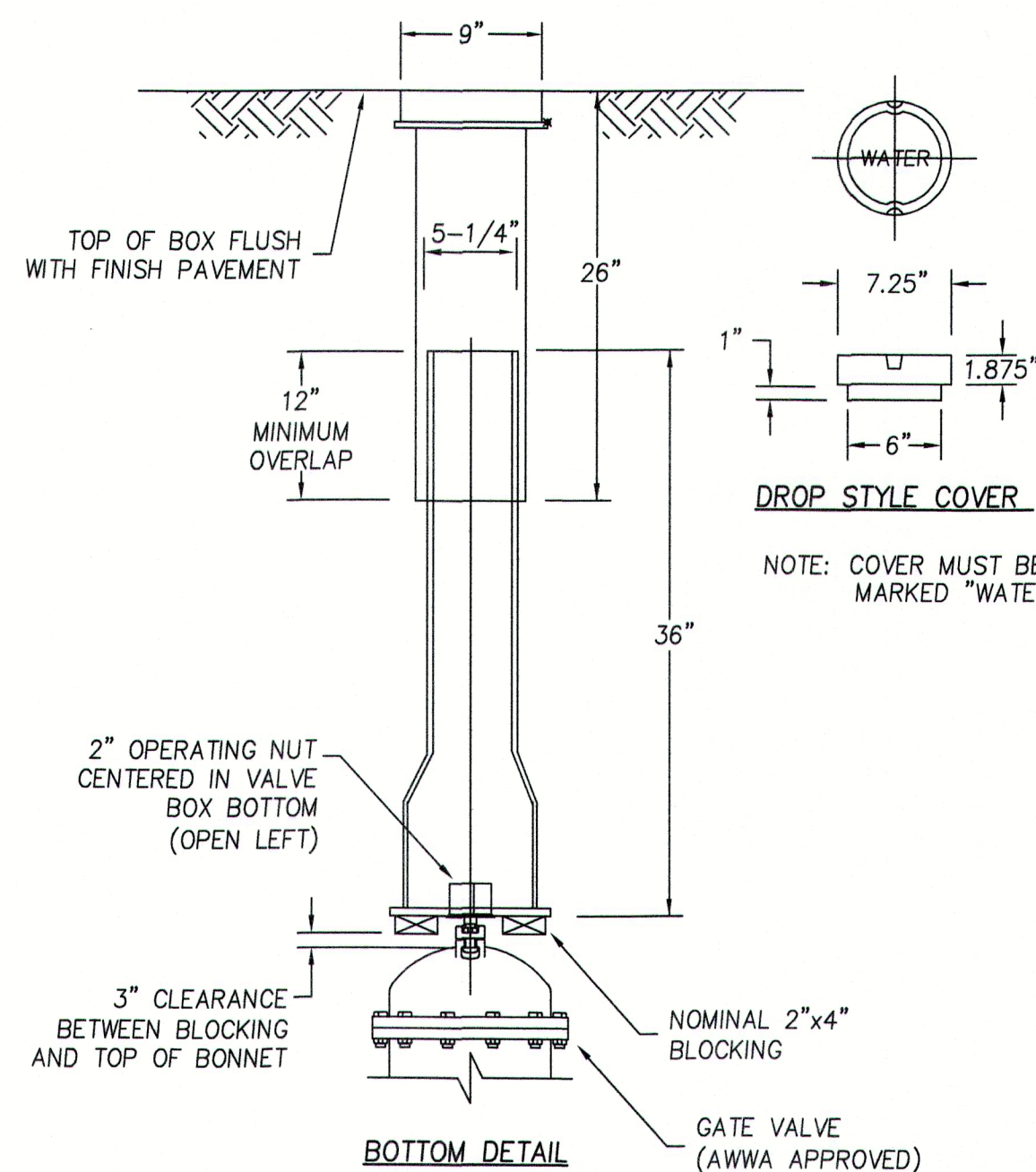
TYPICAL COPPER
SERVICE CONNECTION N.T.S.



HANDICAP PARKING
SIGN DETAIL N.T.S.



PAINTED HANDICAP
PARKING SYMBOL N.T.S.



TYPICAL GATE VALVE
BOX DETAIL N.T.S.



PREPARED FOR
JAMIL JOURAII
21 MASON LANE
SALISBURY, MA 01952

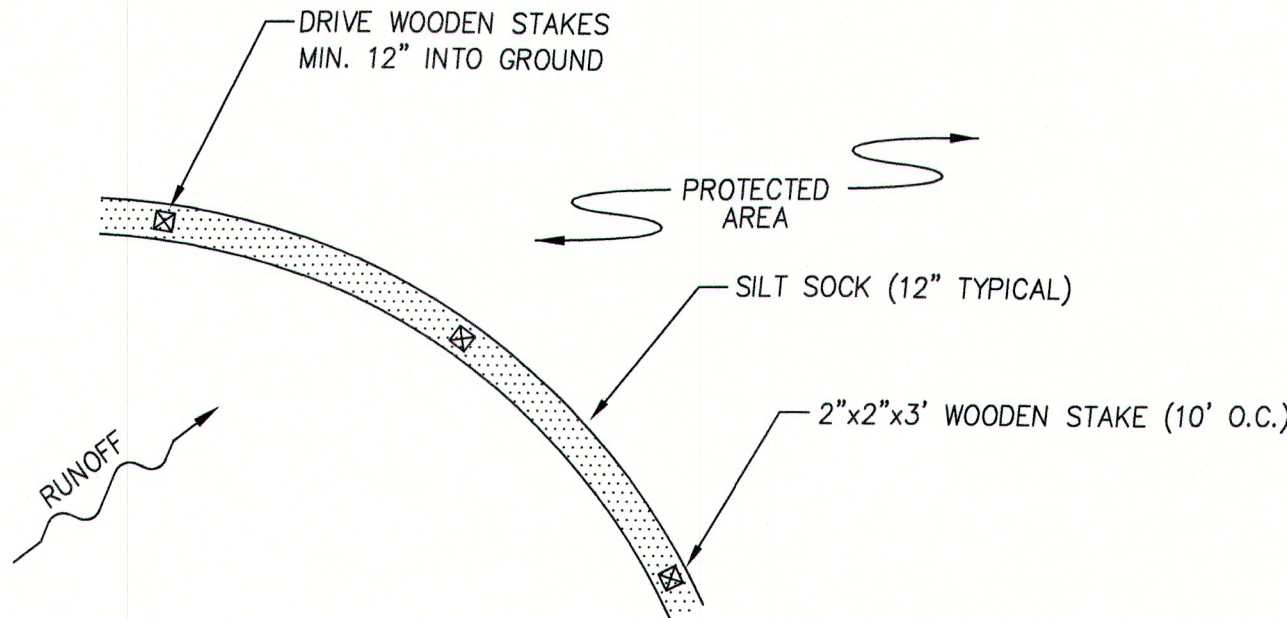
NO.	DATE	DESCRIPTION	BY
3	3/17/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
2	2/16/22	ADDRESS REVIEWER'S COMMENTS	C.M.Y.
1	1/20/22	ADDRESS TOWN COMMENTS	C.M.Y.

MEI MILLENNIUM ENGINEERING, INC. ENGINEERING AND LAND SURVEYING 62 ELM ST. SALISBURY, MA 01952 (978) 463-8980 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528			
SCALE: AS NOTED		DESIG. BY: C.M.Y.	PROJECT: M214038
DATE: DEC. 22, 2021		CHKD. BY: E.W.B.	

PLAN OF LAND
IN
SALISBURY, MA
SHOWING
PROPOSED SITE IMPROVEMENTS
AT
156 BRIDGE ROAD

**SITE
DETAILS**

SHEET: C-6

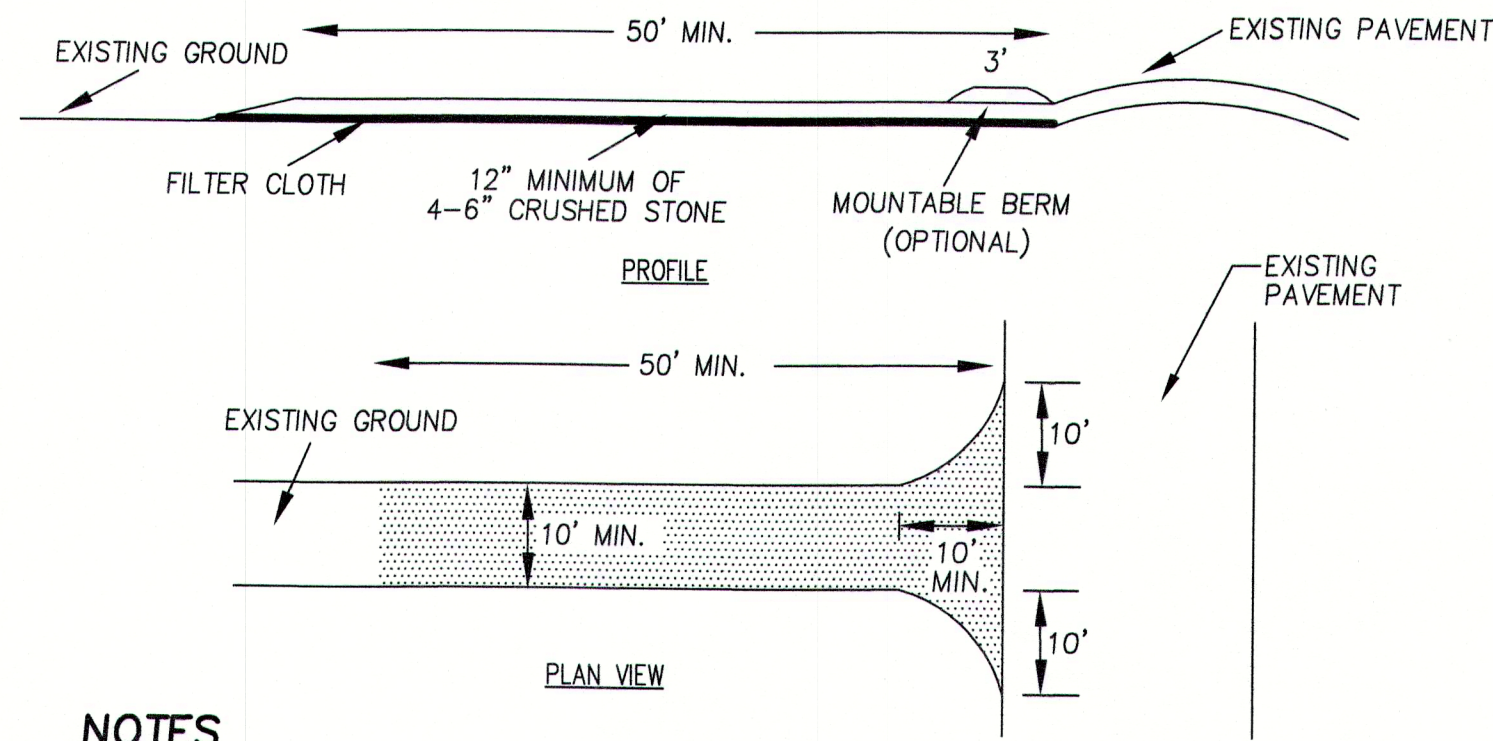


NOTES

- ALL MATERIAL SHALL MEET SPECIFICATIONS BY FILTREXX OR APPROVED EQUAL.
- SILT SOCK SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- THE CONTRACTOR SHALL REMOVE SEDIMENT AT THE BASE OF THE UPSLOPE SIDE OF THE SILT SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE SILT SOCK.
- SILT SOCK SHALL BE MAINTAINED UNTIL DISTURBED AREA ABOVE THE DEVICE HAS BEEN PERMANENTLY STABILIZED AND CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
- SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE SOCK HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

SILT SOCK
INSTALLATION

N.T.S.

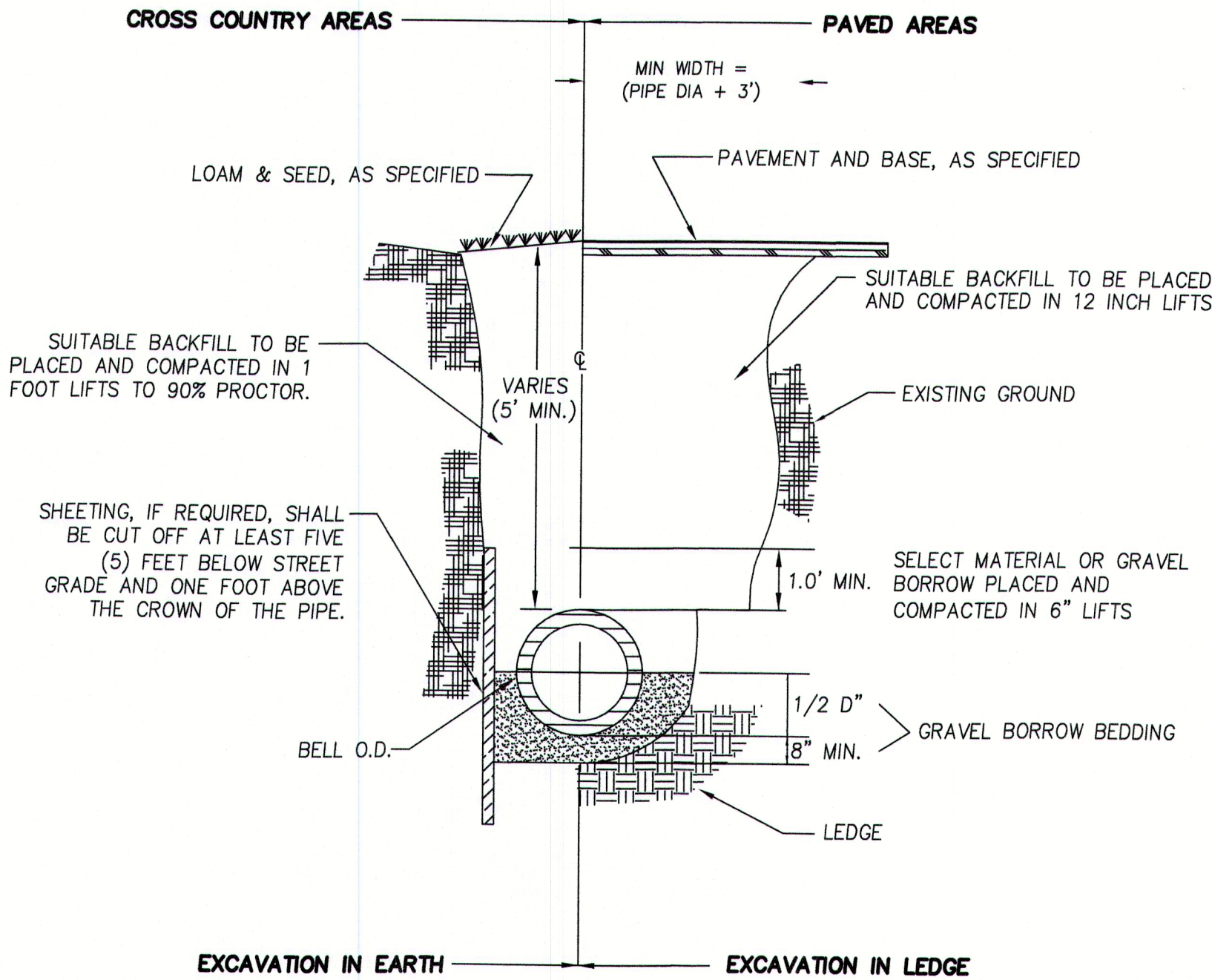


NOTES

- STONE SHALL BE 4-6" STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50'.
- THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 12".
- GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP-DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED PROMPTLY.
- WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

STABILIZED CONSTRUCTION
ENTRANCE

N.T.S.

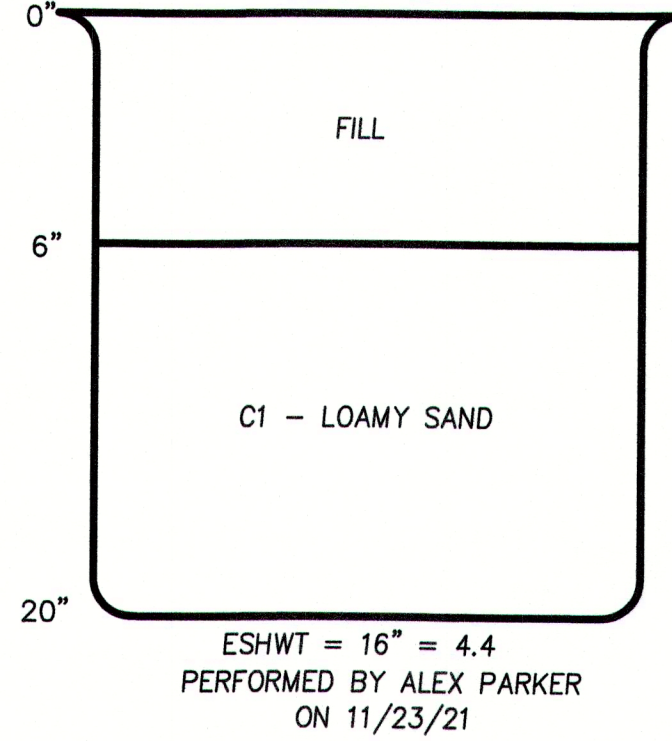


TYPICAL TRENCH
DETAIL

N.T.S.

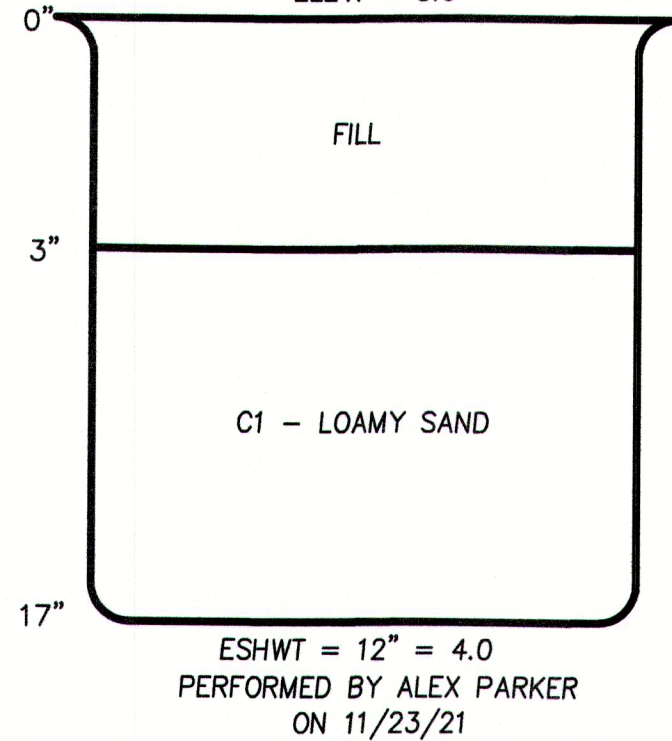
TEST PIT#21-1

ELEV. = 5.7



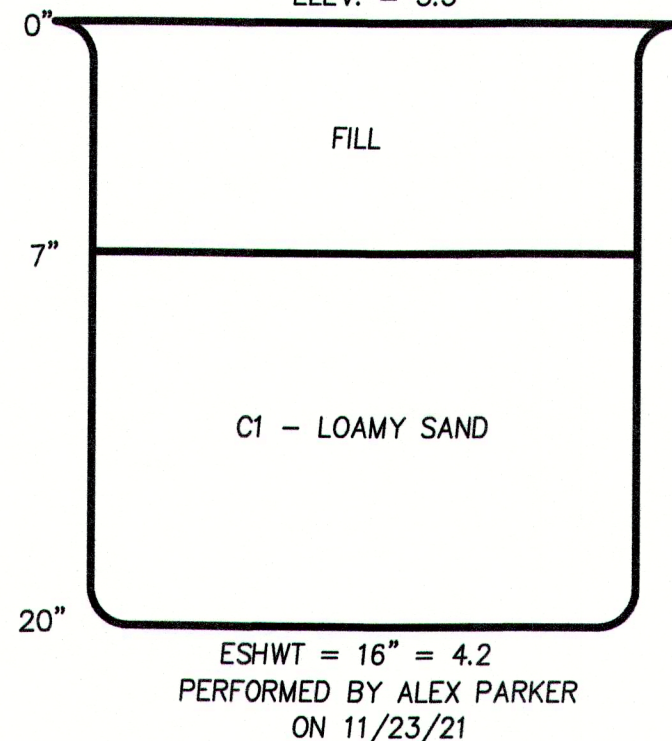
TEST PIT#21-2

ELEV. = 5.0



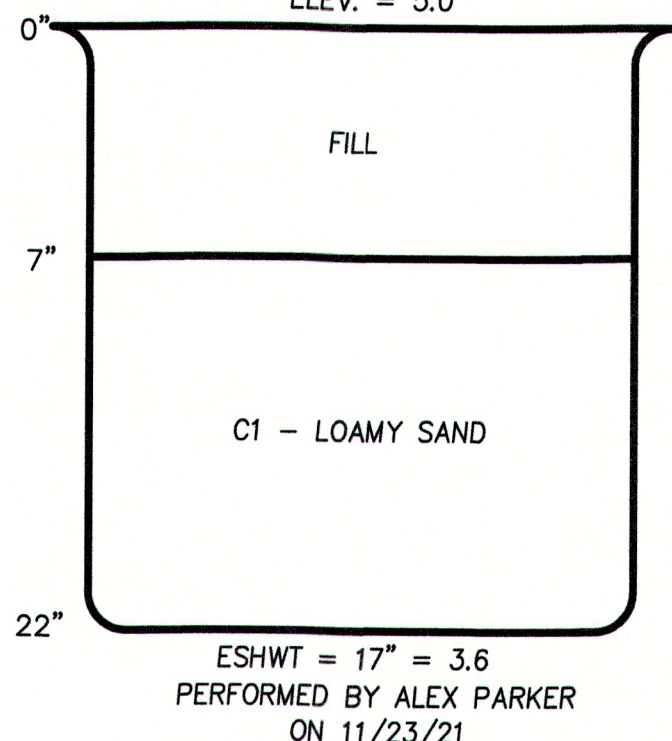
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ELEV. = 5.5



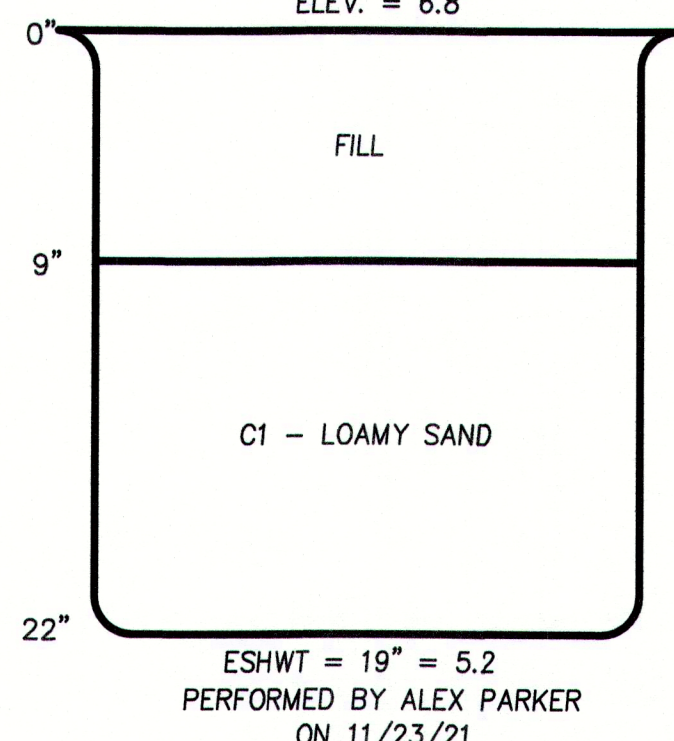
TEST PIT#21-4

ELEV. = 5.0



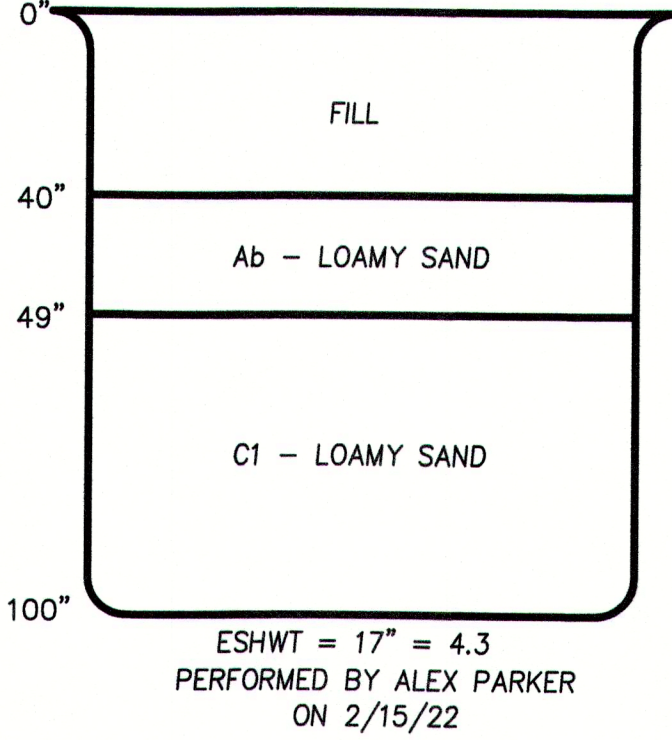
TEST PIT#21-5

ELEV. = 6.8



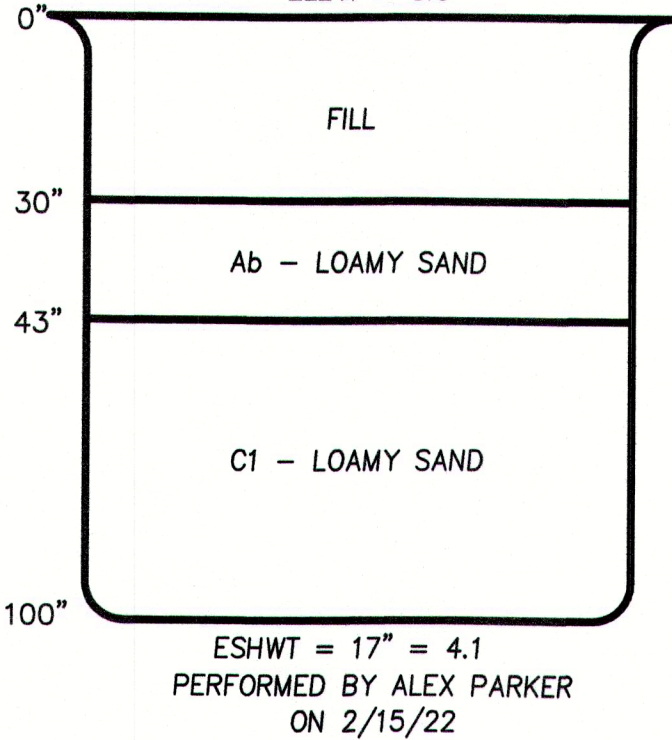
TEST PIT#22-1

ELEV. = 5.7



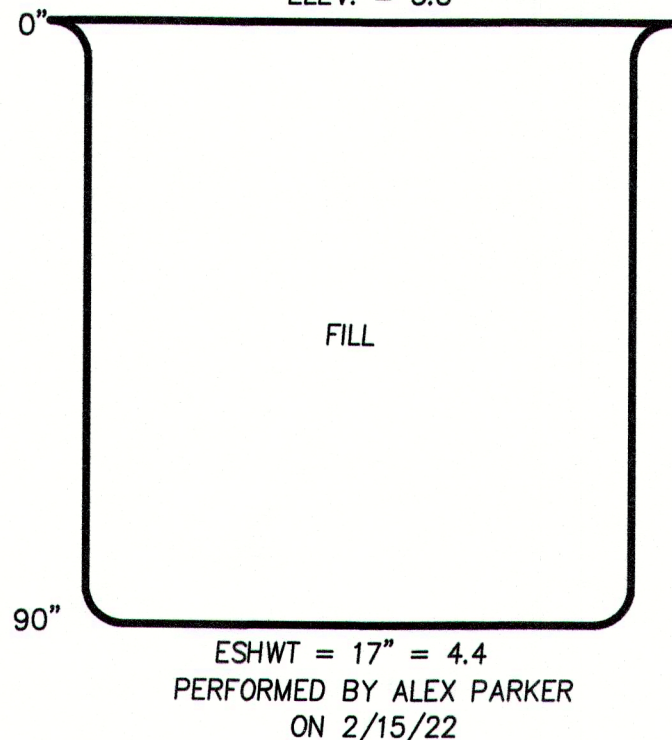
TEST PIT#22-2

ELEV. = 5.5



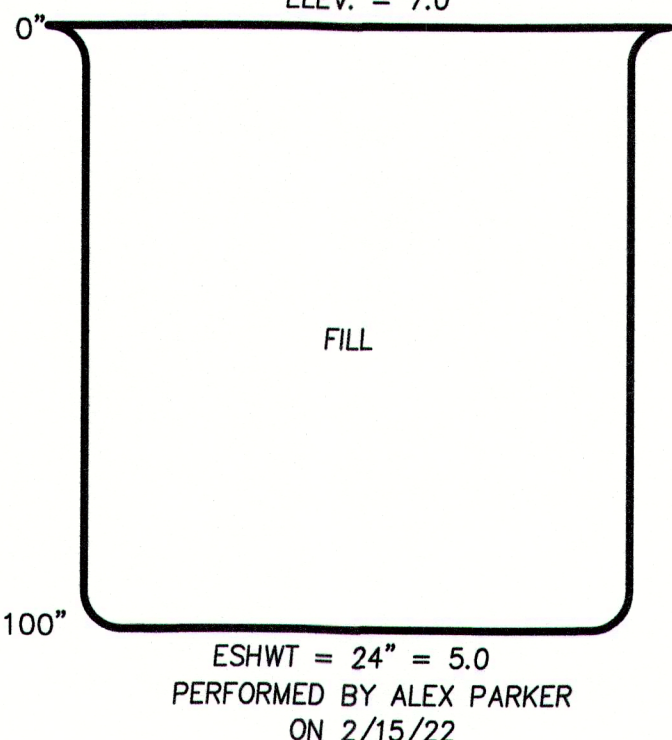
TEST PIT#22-3

ELEV. = 5.8



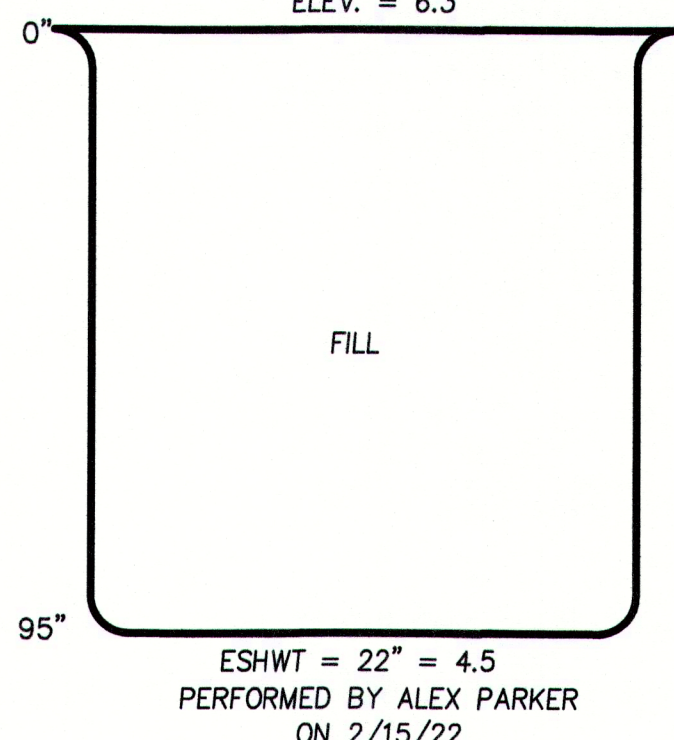
TEST PIT#22-4

ELEV. = 7.0



TEST PIT#22-5

ELEV. = 6.3

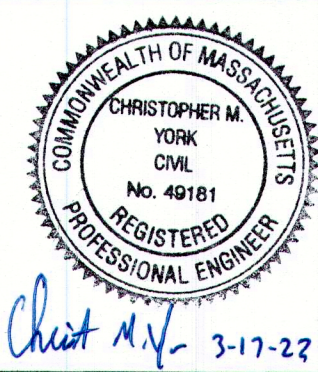


GENERAL EROSION
CONTROL NOTES

- ALL EROSION CONTROL SHALL BE INSTALLED BEFORE THE START OF CONSTRUCTION. EROSION CONTROL SHALL BE REMOVED UPON COMPLETION OF THE PROJECT AND STABILIZATION OF ALL SOIL.
- ALL FILL SHALL BE FREE OF STUMPS AND LARGE STONES.
- ANY STANDING BODIES OF WATER CREATED DURING EXCAVATION SHALL BE ELIMINATED.
- ACCUMULATED SEDIMENT DEPOSITS UPSTREAM OF BARRIERS SHALL BE PROPERLY DISPOSED OF ON A REGULAR BASIS.
- AREAS OUTSIDE THE LIMITS OF WORK (EROSION CONTROL/SILT FENCE LOCATIONS) DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EROSION AND/OR SEDIMENT CONTROLS DURING CONSTRUCTION. HE/SHE SHALL INSPECT CONTROLS WEEKLY AND AFTER EVERY 0.5" OF RAINFALL. REPAIRS, IF REQUIRED, SHALL BE MADE IMMEDIATELY.
- ANY DISTURBED AREAS OF THE SITE NOT USED FOR ROADWAY OR UTILITY CONSTRUCTION SHALL BE STABILIZED WITH LOAM AND SEED UNTIL FURTHER DISTURBANCE IS REQUIRED FOR BUILDING CONSTRUCTION.
- PROVIDE SILT SACK OR APPROVED EQUAL AT ALL CATCH BASINS.
- A MINIMUM OF 6" OF LOAM SHALL BE INSTALLED ON ALL DISTURBED UNPAVED SURFACES.
- PERMANENT SEED MIX SHALL BE MA STATE SLOPE MIXTURE (50% CREEPING RED FESCUE, 30% KENTUCKY 31 TALL FESCUE, 10% ANNUAL RYEGRASS, 5% RED TOP, 5% LADINO CLOVER) AND MA STATE PLOT MIXTURE (50% CREEPING RED FESCUE, 25% 85/80 KENTUCKY BLUEGRASS, 10% ANNUAL RYEGRASS, 10% RED TOP, 5% LADINO CLOVER).
- ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- WHERE PLACEMENT OF FILL IS REQUIRED FOR STORM WATER CONTROL, FILL SHALL BE PLACED IN AN UNFROZEN STATE UPON UNFROZEN GROUND. UNDER NO CIRCUMSTANCES SHALL FILL BE PLACED FROM NOVEMBER THROUGH JANUARY.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED: BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED; A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED; A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCT. 15TH, OR WHICH ARE DISTURBED AFTER OCT. 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCT. 15TH, OR WHICH ARE DISTURBED AFTER OCT. 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

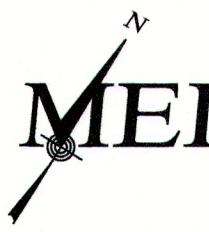
CONSTRUCTION
SEQUENCE

- INSTALL EROSION CONTROL AT LIMIT OF WORK & STAKE OUT STORMWATER AREA.
- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AS DEPICTED.
- CLEAR AND GRUB DEBRIS AND DISPOSE OF PROPERLY.
- STRIP, SCREEN AND STOCKPILE TOPSOIL. TOPSOIL CAN BE TEMPORARILY STOCKPILED ON SITE PROVIDING THAT THE PERIMETER OF THE STOCKPILES ARE PROPERLY STAKED WITH EROSION CONTROL AT THE TOE OF SLOPE.
- ROUGH GRADE CONSTRUCTED WETLAND.
- CLEAR AND EXCAVATE FOR BUILDING FOUNDATION.
- BEGIN BUILDING CONSTRUCTION.
- INSTALL PROPOSED UTILITIES TO BUILDING FOOTPRINT INCLUDING DRAINAGE SYSTEM, WATER/SEWER SERVICES AND PRIVATE UTILITIES.
- GRADE PAVEMENT TO TOP OF SUBGRADE ELEVATIONS. ALL ROADWAYS MUST BE STABILIZED IMMEDIATELY AFTER GRADING.
- COMPLETE CONSTRUCTED WETLAND GRADING. PLACE RIPRAP WHERE SHOWN ON PLANS. LOAM AND SEED SIDESLOPES WITH CONSERVATION SEED MIX.
- SPREAD, SHAPE, AND COMPACT PAVEMENT SUBBASE AS PER TYPICAL ROADWAY SECTION TO ATTAIN FINAL DESIGN ELEVATIONS.
- INSTALL CURBING AND PROPOSED PAVEMENT TO BINDER GRADE.
- ADD PLANTINGS TO CONSTRUCTED WETLAND.
- INSTALL TOP COURSE PAVEMENT.
- INSTALL LANDSCAPING AND LOAM AND HYDROSEED ANY DISTURBED SURFACES ALONG EDGES OF PAVEMENT AS REQUIRED.
- REMOVE EROSION CONTROL.



PREPARED FOR

JAMIL JOURAII
21 MASON LANE
SALISBURY, MA 01952



MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: AS NOTED
DESC. BY: C.M.Y.
DATE: DEC. 22, 2021
CHKD. BY: E.W.B.
PROJECT: M214038

PLAN OF LAND
IN
SALISBURY, MA

SHOWING
PROPOSED SITE IMPROVEMENTS
AT
156 BRIDGE ROAD

EROSION
CONTROL
DETAILS

SHEET: C-7



D-Series Size 0 LED Area Luminaire



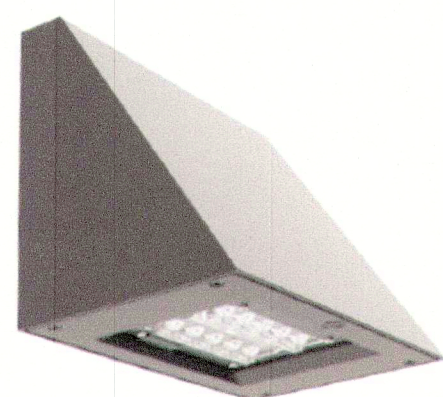
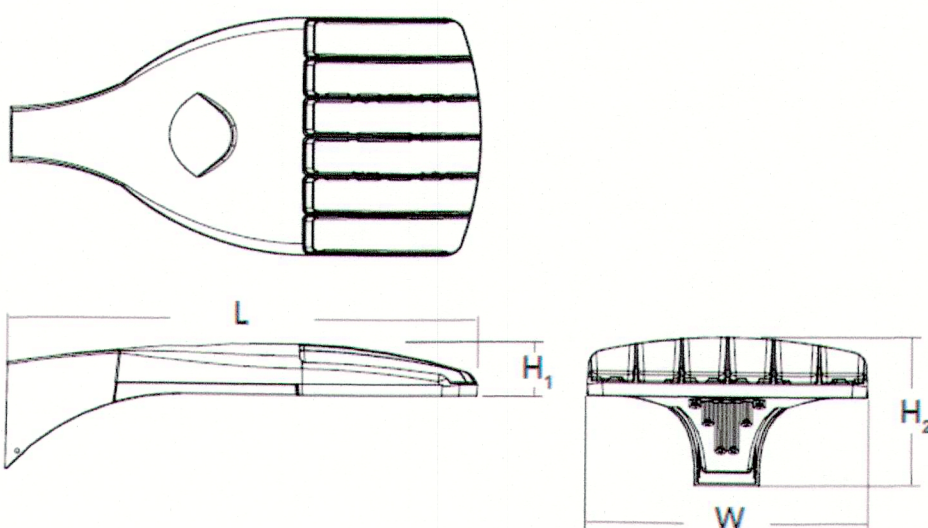
Catalog Number	
Notes	
Type	

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

Specifications

EPA: 0.95 ft²
(.09 m²)
Length: 26"
(66.0 cm)
Width: 13"
(33.0 cm)
Height: 3"
(7.62 cm)
Height: 7"
(17.8 cm)
Weight (max): 16 lbs
(7.25 kg)



WDGE2 LED Architectural Wall Sconce Precision Refractive Optic



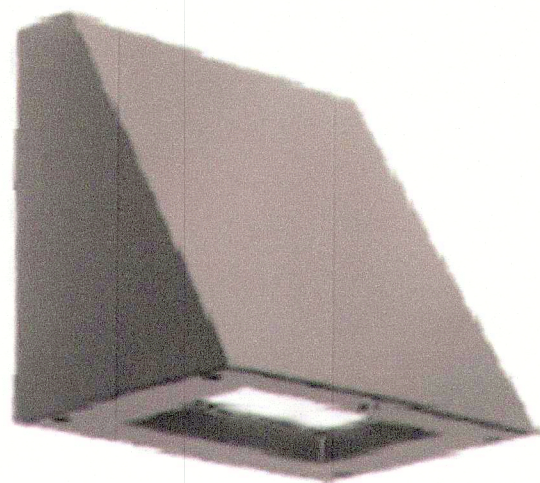
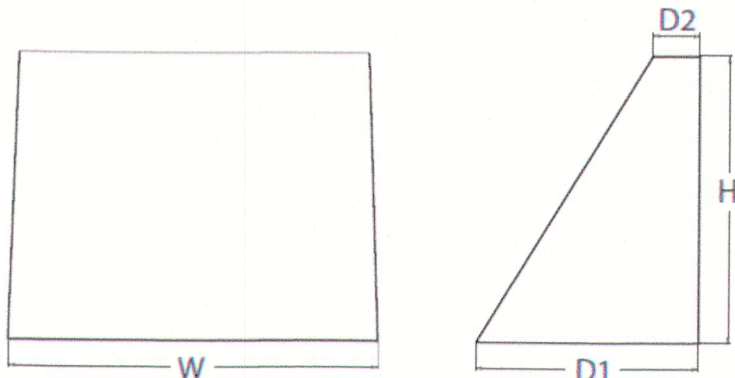
Catalog Number	
Notes	
Type	

Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE family provides additional energy savings and code compliance.

WDGE2 with industry leading precision refractive optics provides great uniform distribution and optical control. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

Specifications
Depth (D1): 7"
Depth (D2): 1.5"
Height: 9"
Width: 11.5"
Weight: 13.5 lbs
(without options)



WDGE1 LED Architectural Wall Sconce



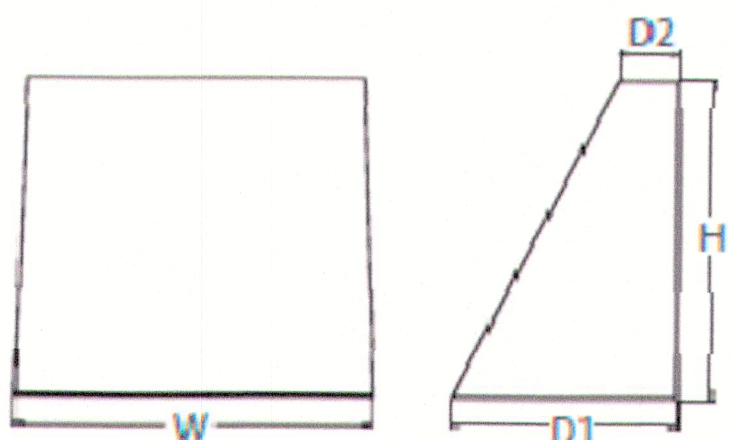
Catalog Number	
Notes	
Type	

Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

WDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

Specifications
Depth (D1): 5.5"
Depth (D2): 1.5"
Height: 8"
Width: 9"
Weight: 9 lbs
(without options)



BASELITE - SHALLOW SHADE - LED - SPEC SHEET



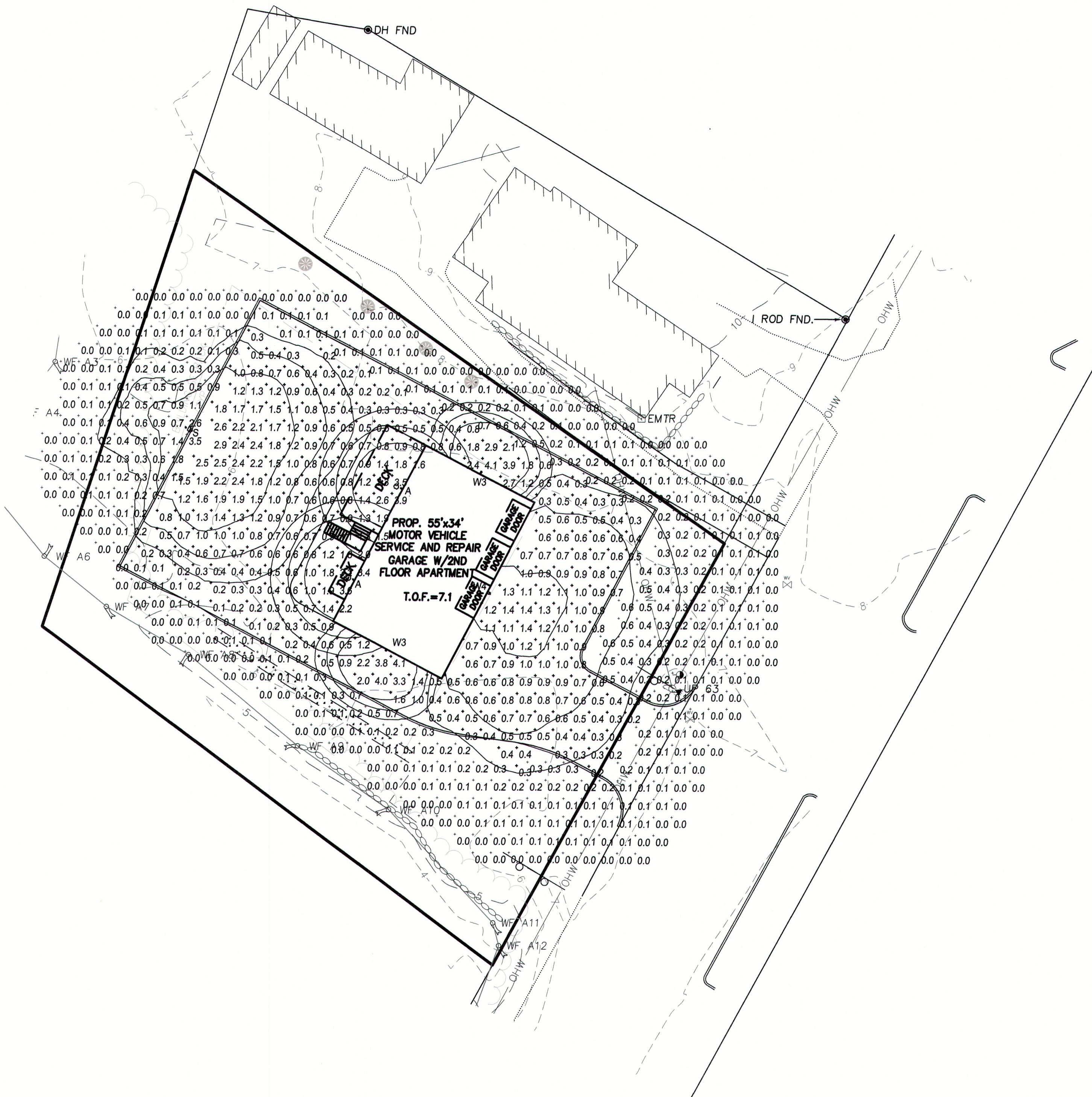
PROJECT NAME: PROJECT TYPE:

MODEL #	A	B	C	D	E	F	G	H	I	J	K
EXAMPLE:	S312	41	E16	503/5"	43	45W	3K	LDM120	PR3	GR12	44

NOTES:



S312/40/E1/40/100INC

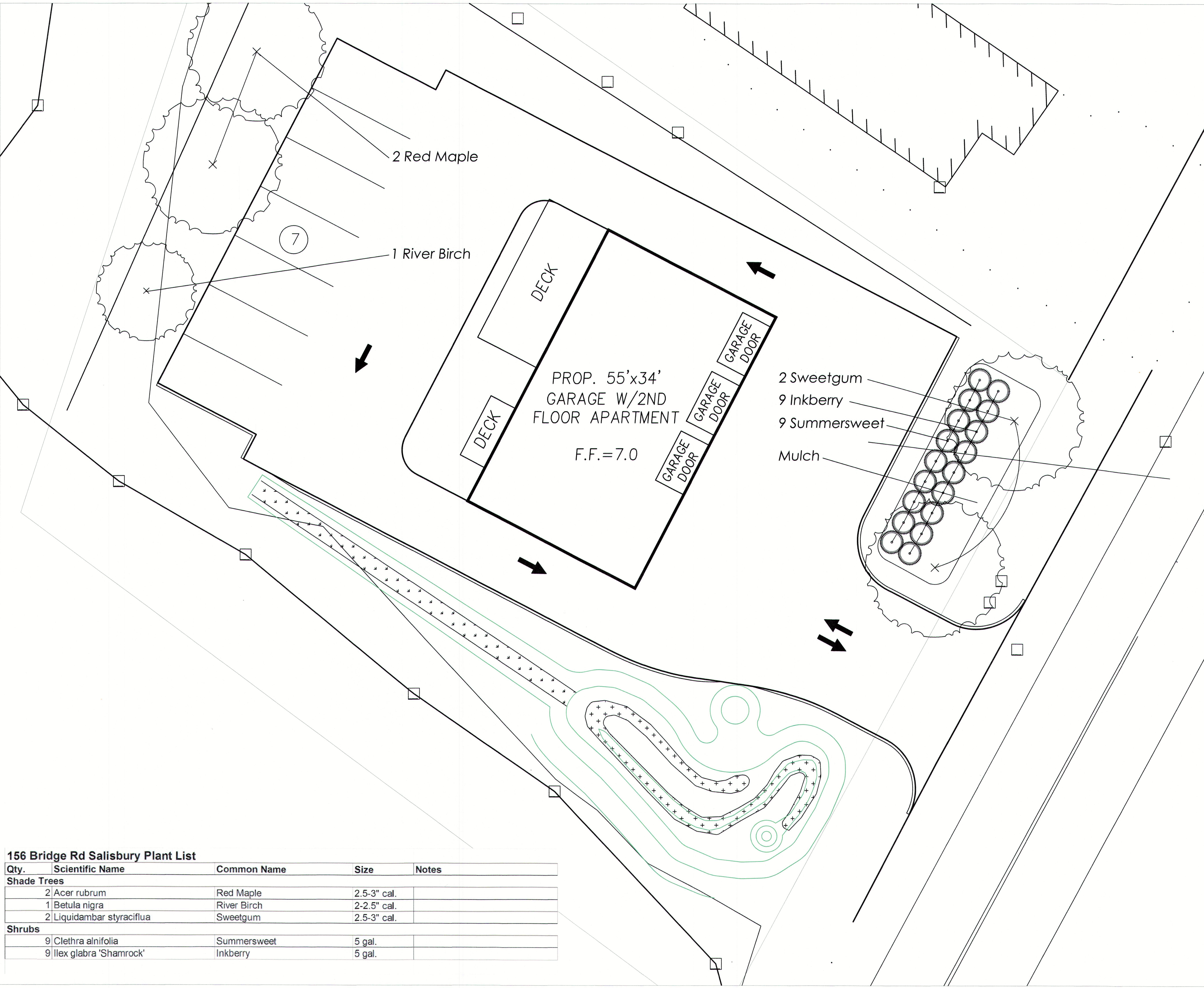


Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens per Lamp	LLF	Distribution
○	A	2	Baselite Corp	S318 E1 LVMTM 25WLED 3K LDM-10 120/277	Shallow Shade LED Wall Sconce, mounted at 20 ft	LED	LED25W-3K-1260984.ies	1820	1819 715	
□	S	1	Lithonia Lighting	DSX0 LED P1 30K TFTM MVOLT	DSX0 Area Fixture, mounted at 12ft	LED	DSX0_LED_P1_30K_TFTM_M VOLT.ies	4373	4373 052	TYPE IV, SHORT, BUG RATING: B1 - U0 - G1
□	W3	2	Lithonia Lighting	WDGE1 LED P1 30K 80CRI VW SRM DDBXD	WDGE1 LED Wall pack, mounted at 10ft	LED	WDGE1_LED_P 1_30K_80CRI_ VW.ies	1163	1163 101	TYPE II, VERY SHORT, BUG RATING: B0 - U0 - G0
□	W4	1	Lithonia Lighting	WDGE2 LED P4 30K 80CRI TFTM SRM DDBXD	WDGE2 LED Area Fixture, mounted at 18ft	LED	WDGE2_LED_P 4_30K_80CRI_ TFTM.ies	4002	4002 034	TYPE IV, SHORT, BUG RATING: B1 - U0 - G1

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Outside of Parking Lot	+	0.1 fc	3.5 fc	0.0 fc	N/A	N/A
Parking Lot	+	1.0 fc	4.1 fc	0.1 fc	41.0:1	10.0:1

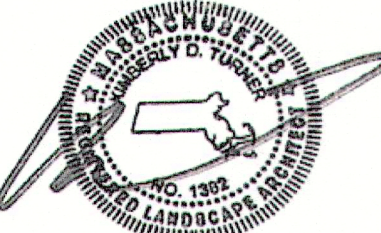
Site Lighting Layout
At
156 BRIDGE ROAD

Designer
Heidi G. Connors
Visible Light, Inc.
24 Stickney Terrace
Suite 6
Hampton, NH 03842
Date
3/17/2022
Scale
1"=20'
Drawing No.
Summary



156 Bridge Rd Salisbury Plant List

Qty.	Scientific Name	Common Name	Size	Notes
Shade Trees				
2	Acer rubrum	Red Maple	2.5-3" cal.	
1	Betula nigra	River Birch	2-2.5" cal.	
2	Liquidambar styraciflua	Sweetgum	2.5-3" cal.	
Shrubs				
9	Clethra alnifolia	Summersweet	5 gal.	
9	Ilex glabra 'Shamrock'	Inkberry	5 gal.	



Issued:	1	2	3	4	5	6	7
	12-21-21	2-10-22					
	For review	For review					

LANDSCAPE PLAN

Scale: 1"=10'-0"

156 Bridge Rd.
Salisbury, MA

KD Turner Design
landscape architecture
27 High St.
Newburyport, MA 01950
ph) 781.632.6004

L-1