

LOCUS MAP
N.T.S.

OWNER OF RECORD

FJ REALTY INVESTMENTS, LLC
156 BRIDGE ROAD
SALISBURY, MA 01952
BK. 39604 PG. 498

BASIS OF BEARINGS

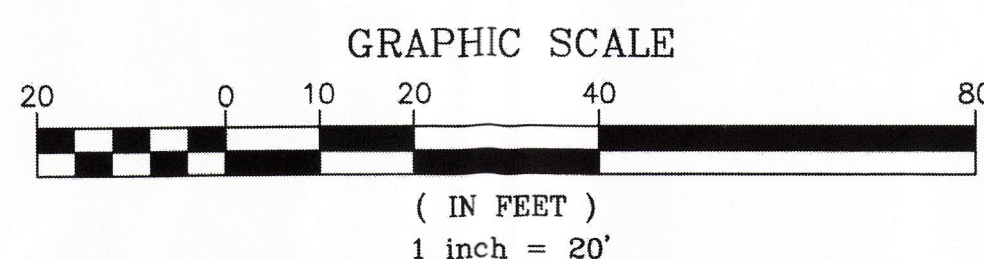
MSPCS-NAD83

NOTES:

- 1.) SUBJECT LOT IS IN ZONE AE AS SHOWN ON FEMA MAP #25009C0128F WITH AN EFFECTIVE DATE OF JULY 3, 2012. THE BASE FLOOD ELEVATION IS ELEVATION 9 (NAD 88).
- 2.) VERTICAL DATUM IS NAVD 1988

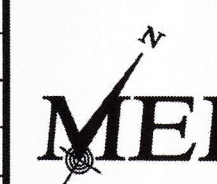
LEGEND

■ E.C.B.	ESSEX COUNTY BOUND	⊙	SEWER MAN HOLE
● D.H.	DRILL HOLE	⊙	DRAIN MAN HOLE
● I ROD	IRON ROD	□	CATCH BASIN
○ FND.	FOUND	⊙	WELL
— WF A-29	WET FLAG DESIGNATION	⊙ UP 7	UTILITY POLE
—	WETLAND AREA	— D —	DRAINAGE
— 22 —	EXISTING ELEVATION CONTOUR	— W —	WATER
⊙	ASSESSORS MAP	— S —	SEWER
⊙	ASSESSORS PARCEL	— C —	GAS
		— OHW —	OVERHEAD WIRE



PREPARED FOR

JAMIL JOURAJ
21 MASON LANE
SALISBURY, MA 01952



MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=20'

DATE: DEC. 20, 2021

CALC. BY: P.D.B.

CHKD. BY: J.S.H.

PROJECT: M214038

PLAN OF LAND
IN
SALISBURY, MA
SHOWING
PROPOSED SITE IMPROVEMENTS
AT
156 BRIDGE ROAD

EXISTING
CONDITIONS

SHEET: C-1

WETLAND DELINEATED BY:
SEEKAMP ENVIRONMENTAL CONSULTING, INC.
(DELINEATED: MARCH 2021)

ZONING TABLE

156 BRIDGE ROAD - ASSESSORS MAP 14 LOT 4 ZONING DISTRICT COMMERCIAL C		
	REQUIRED	EXISTING
LOT AREA:	½ AC.	0.50 AC.
LOT FRONTAGE:	100 FT.	133.00 FT
FRONT SETBACK:	50 FT	**
SIDE SETBACK:	20 FT.	**
REAR SETBACK:	20 FT.	**
LOT COVERAGE:	25% MAX	**
OPEN SPACE:	**	**
BLDG HEIGHT:	35 FT.	**

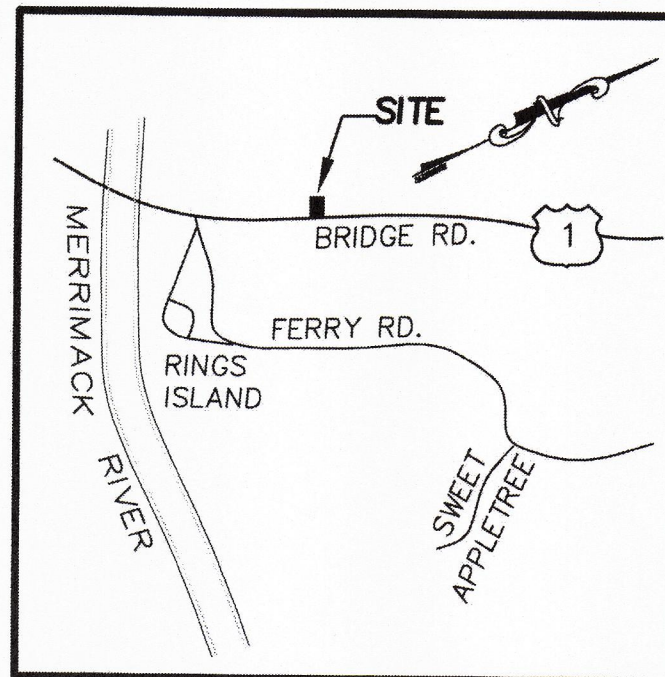
THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN/CITY ASSESSORS RECORDS.

I CERTIFY:
THAT THE PROPERTY LINES SHOWN ARE THE LINES OF EXISTING OWNERSHIP AND THE LINES OF STREETS AND WAYS SHOWN ARE THE LINES OF STREETS AND WAYS ALREADY EXISTING AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW STREETS OR WAYS ARE SHOWN.

I CERTIFY:
THAT THIS ACTUAL SURVEY WAS MADE ON THE GROUND IN NOVEMBER 2021.

THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

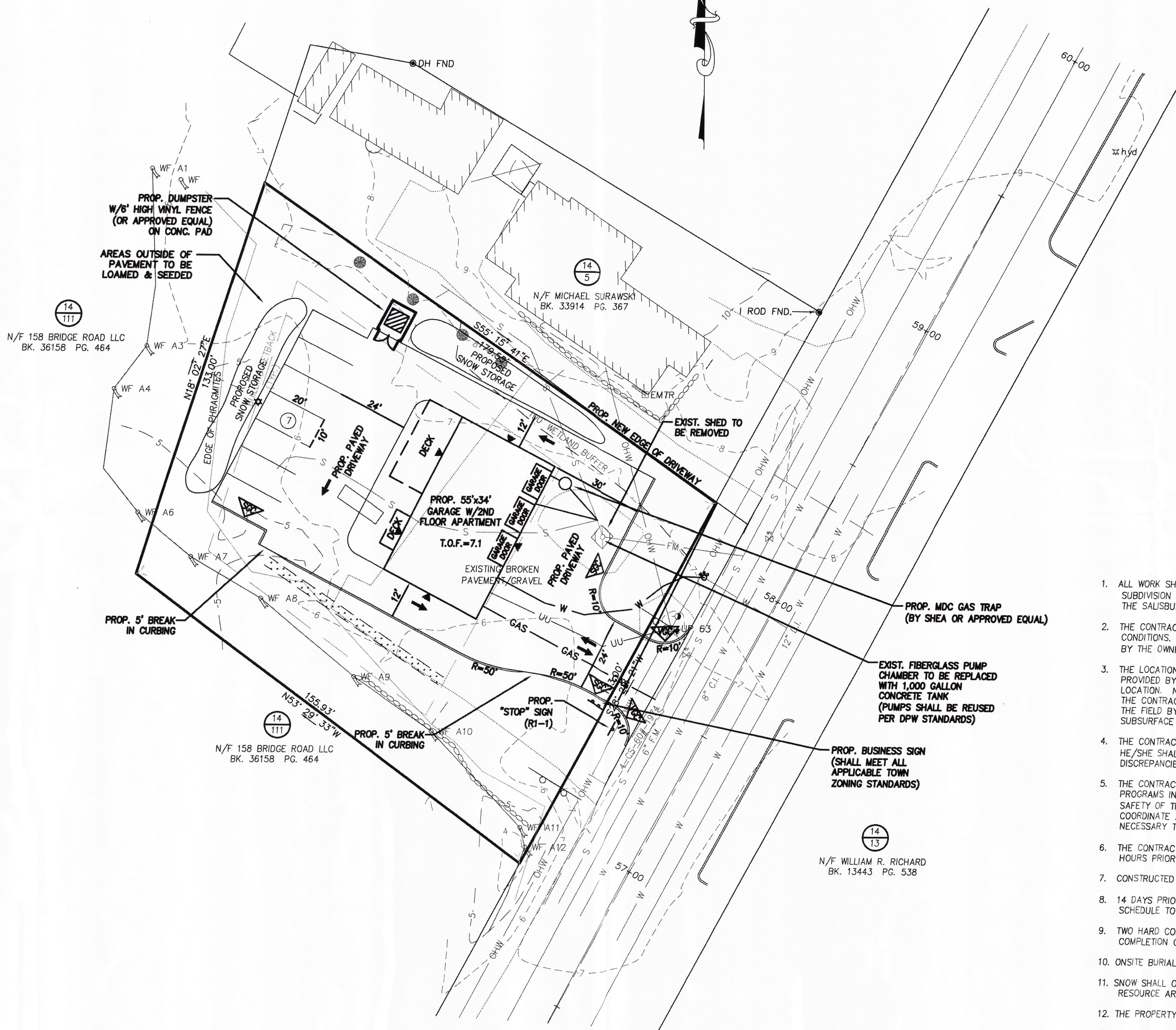
PROFESSIONAL LAND SURVEYOR DATE



LOCUS MAP
N.T.S.

ZONING TABLE

156 BRIDGE ROAD - ASSESSORS MAP 14 LOT 4 ZONING DISTRICT COMMERCIAL C			
	REQUIRED	EXISTING	PROPOSED
LOT AREA:	1/2 AC.	0.50 AC.	0.50 AC.
LOT FRONTAGE:	100 FT.	133.00 FT	133.00 FT
FRONT SETBACK:	50 FT	**	50.6 FT
SIDE SETBACK:	20 FT.	**	21.0 FT
REAR SETBACK:	20 FT.	**	75.9 FT
LOT COVERAGE:	25% MAX	**	8.6%
OPEN SPACE:	**	**	**
BLDG HEIGHT:	35 FT.	**	32.5 FT

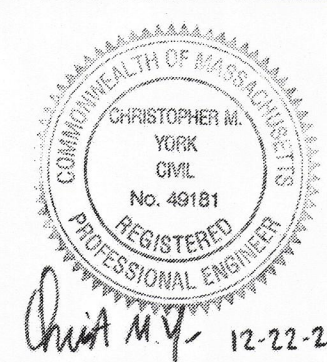
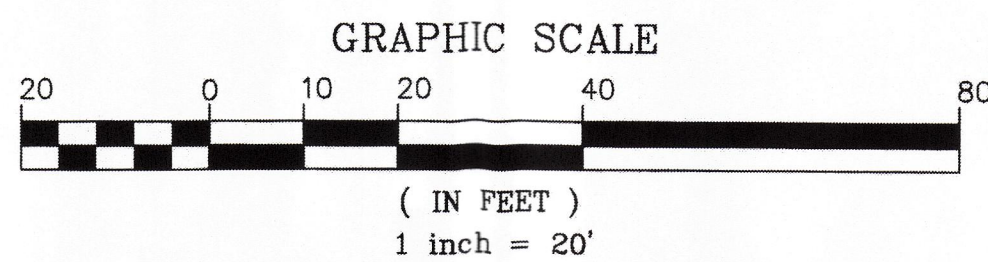


GENERAL NOTES

- ALL WORK SHALL CONFORM TO; THE SALISBURY PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, THE WETLANDS PROTECTION ACT (310 CMR 10.00), THE ORDER OF CONDITIONS ISSUED BY THE SALISBURY CONSERVATION COMMISSION, AND THESE PLANS.
- THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS. ANY PROPOSED REVISIONS TO THE WORK SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND REGULATING MUNICIPAL AND/OR STATE AGENCIES.
- THE LOCATION OF ALL UTILITIES, AS SHOWN ON THESE PLANS, ARE BASED UPON PLANS AND RECORD INFORMATION PROVIDED BY MUNICIPAL AND PRIVATE UTILITY COMPANIES AND ARE CONSIDERED APPROXIMATE BOTH AS TO SIZE AND LOCATION. NO WARRANTY IS MADE TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UTILITIES ARE SHOWN. THE CONTRACTOR SHALL NOT RELY ON THESE PLANS FOR SUCH INFORMATION AND SHALL MAKE EXAMINATIONS IN THE FIELD BY VARIOUS AVAILABLE RECORDS, UTILITY COMPANIES AND INDIVIDUALS, AS TO THE LOCATION OF ALL SUBSURFACE STRUCTURES.
- THE CONTRACTOR SHALL FIELD CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE NEW WORK. HE/SHE SHALL EXCAVATE TO VERIFY PERTINENT DRAINAGE INVERTS AND POTENTIAL UTILITY CONFLICTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
- THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF THE PUBLIC, EMPLOYEES, AND ALL OTHER PERSONS ASSOCIATED WITH THE PROJECT. HE/SHE SHALL COORDINATE AND BE RESPONSIBLE FOR ALL SAFETY SIGNING, BARRIERS AND TEMPORARY PAVEMENT MARKINGS NECESSARY TO PROVIDE A SMOOTH AND PROPER TRANSITION FOR TRAFFIC FLOW.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES BY CONTACTING "DIG-SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION. DIG-SAFE TELEPHONE NUMBER: 1-888-344-7233.
- CONSTRUCTED WETLAND SHALL BE INSTALLED AND FUNCTIONING PRIOR TO BINDER INSTALLATION.
- 14 DAYS PRIOR TO COMMENCING CONSTRUCTION, THE OWNER/DEVELOPER SHALL PRESENT A CONSTRUCTION SCHEDULE TO THE PLANNING DEPARTMENT.
- TWO HARD COPIES OF AS-BUILT DRAWINGS SHALL BE SUBMITTED TO THE PLANNING DEPARTMENT UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL INCLUDE ALL LANDBASE AND UTILITIES INFORMATION.
- ONSITE BURIAL OF STUMPS OR ANY OTHER DEBRIS IS PROHIBITED.
- SNOW SHALL ONLY BE STORED IN THE LOCATIONS DEPICTED ON THE PLANS. DUMPING OF SNOW INTO THE WETLAND RESOURCE AREA IS PROHIBITED.
- THE PROPERTY LIES WITHIN ZONE AE ACCORDING TO F.I.R.M. COMMUNITY PANEL NUMBER 25009C 0128F.
- ELEVATIONS ARE BASED UPON 1988 NAV DATUM.

LEGEND

- | | | | |
|------|---------------------------|------|--------------------------------|
| —W— | EXISTING WATER MAIN | —S— | EXISTING SEWER MAIN |
| —W— | PROPOSED WATER SERVICE | —S— | PROPOSED SEWER MAIN |
| —SS— | PROPOSED SEWER SERVICE | —G— | PROPOSED GAS MAIN |
| —GS— | PROPOSED GAS SERVICE | —UU— | PROPOSED UNDERGROUND UTILITIES |
| ⊠ | PROPOSED WATER GATE | ⊠ | EXISTING FIRE HYDRANT |
| ⊠ | PROP. VERTICAL GRAN. CURB | ⊠ | PROPOSED WATER SHUTOFF |
| ⊠ | PROP. SLOPED GRAN. EDGING | ⊠ | PROPOSED SEWER SERVICE |
| ⊠ | PROPOSED STREET LIGHT | ⊠ | PROPOSED BUILDING LIGHT |



PREPARED FOR

JAMIL JOURAJ
21 MASON LANE
SALISBURY, MA 01952



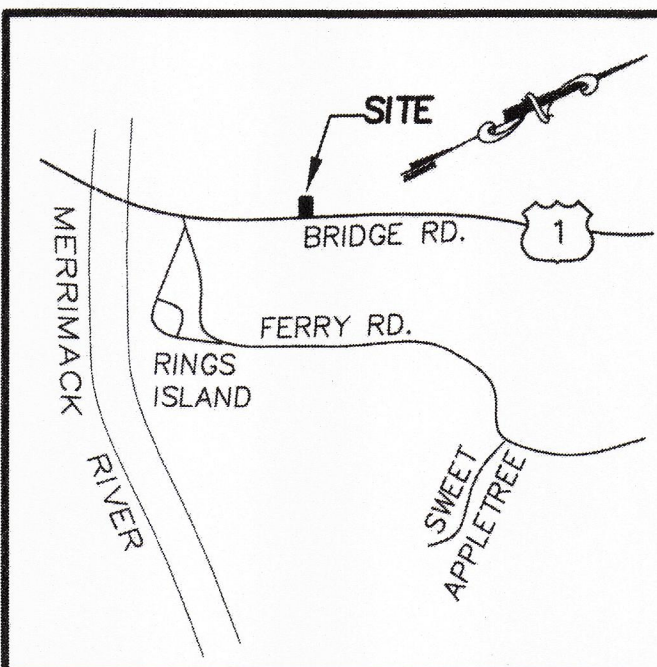
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PLAN OF LAND
IN
SALISBURY, MA

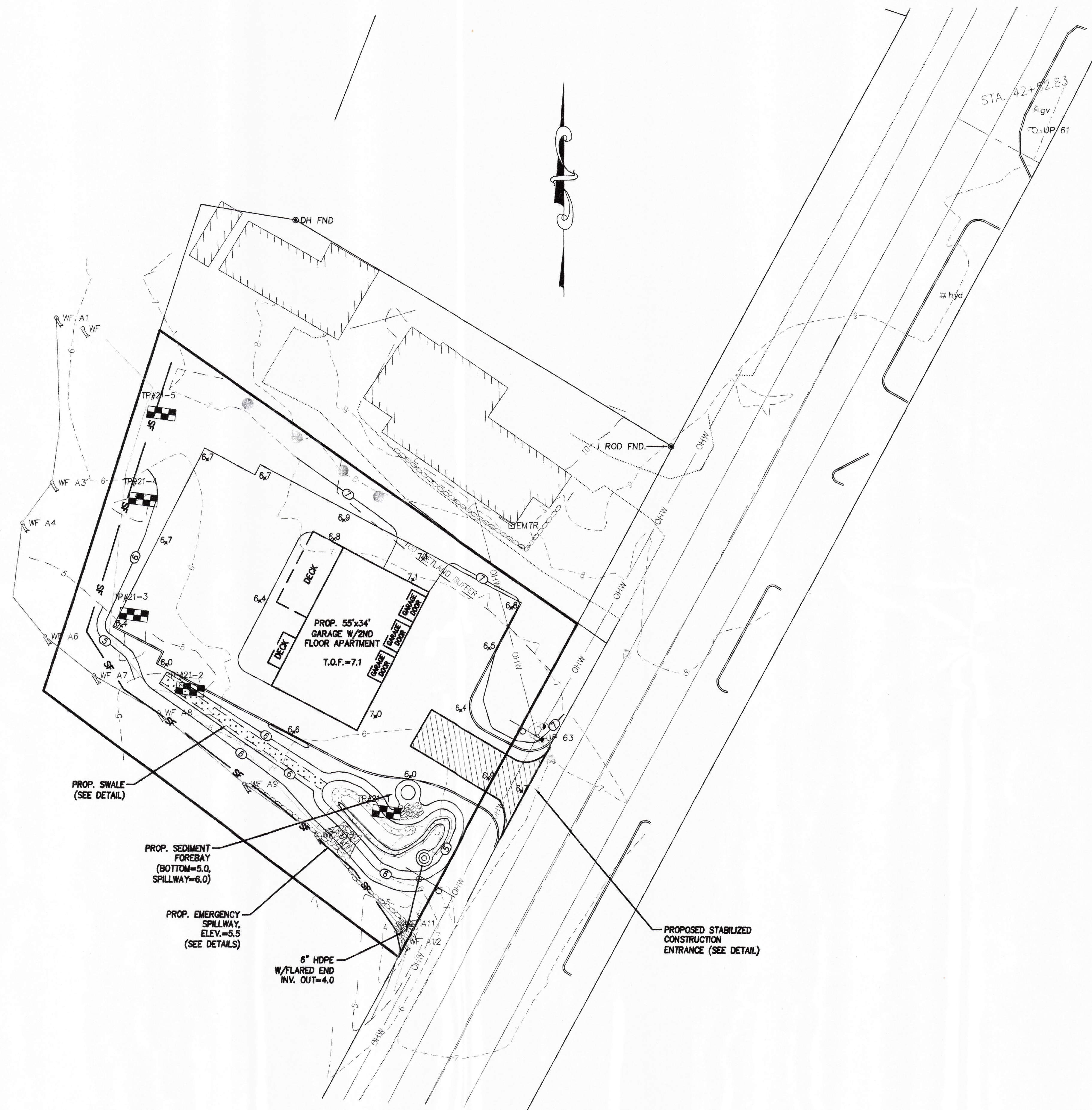
SHOWING
PROPOSED SITE IMPROVEMENTS
AT
156 BRIDGE ROAD

SITE PLAN

SHEET: C-2



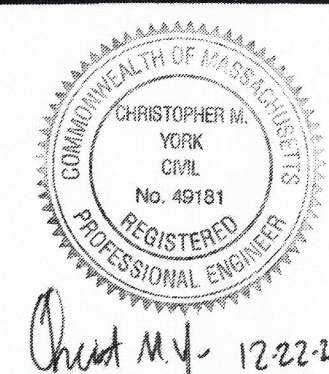
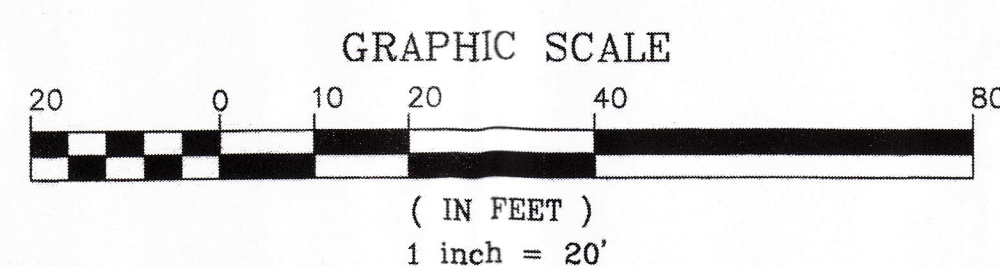
LOCUS MAP
N.T.S.



LEGEND

- 8 ——— EXIST. CONTOUR
- 6 ——— PROP. CONTOUR
- PROP. TREELINE
- PROP. RETAINING WALL
- SF ——— PROP. SILT SOCK

- PROP. CATCH BASIN
- EXIST. CATCH BASIN
- 22.6 PROP. SPOT GRADE
- EXIST. UTILITY POLE
- PROP. OUTLET STRUCTURE
- WETLANDS
- EXIST. TEST PIT



PREPARED FOR
JAMIL JOURAJ
21 MASON LANE
SALISBURY, MA 01952

NO.	DATE	DESCRIPTION	BY

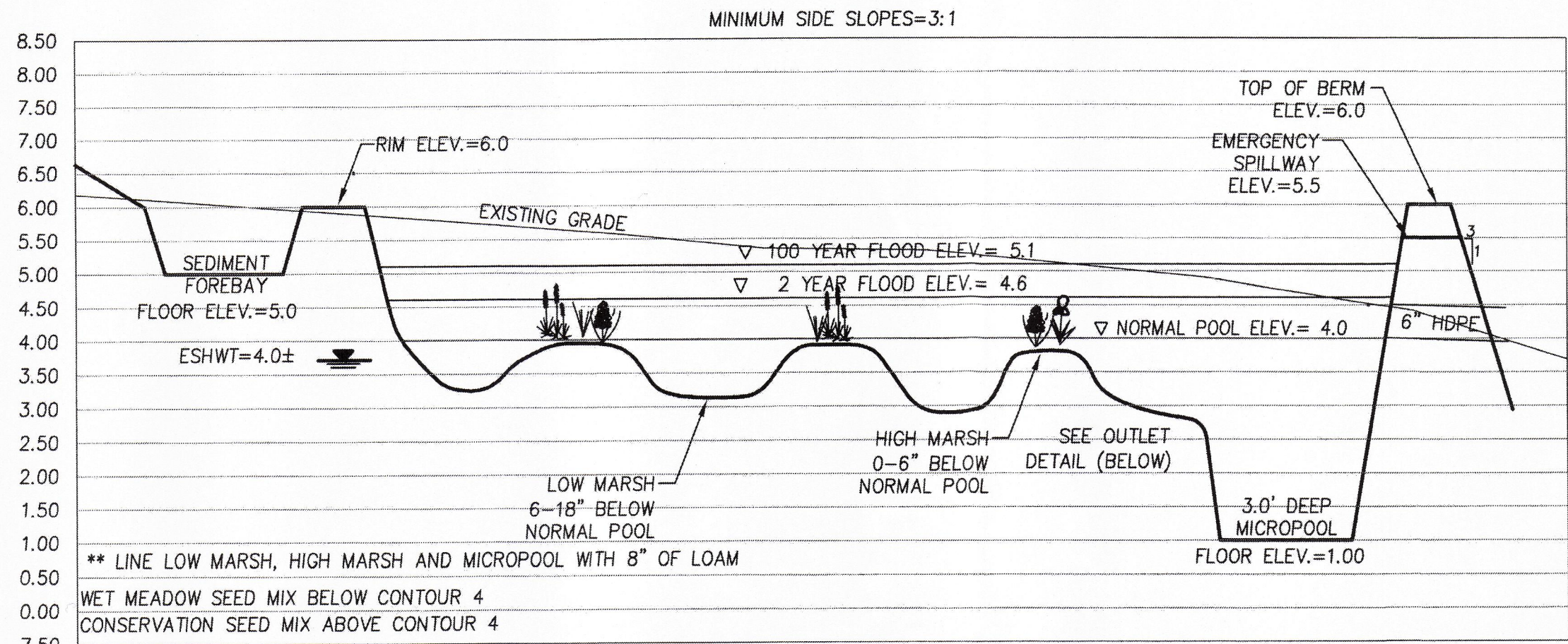


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SCALE: 1"=20'	DESIG. BY: C.M.Y.	PROJECT: M214038
DATE: DEC. 22, 2021	CHKD. BY: E.W.B.	

PLAN OF LAND
IN
SALISBURY, MA
SHOWING
PROPOSED SITE IMPROVEMENTS
AT
156 BRIDGE ROAD

GRADING PLAN
SHEET: C-3

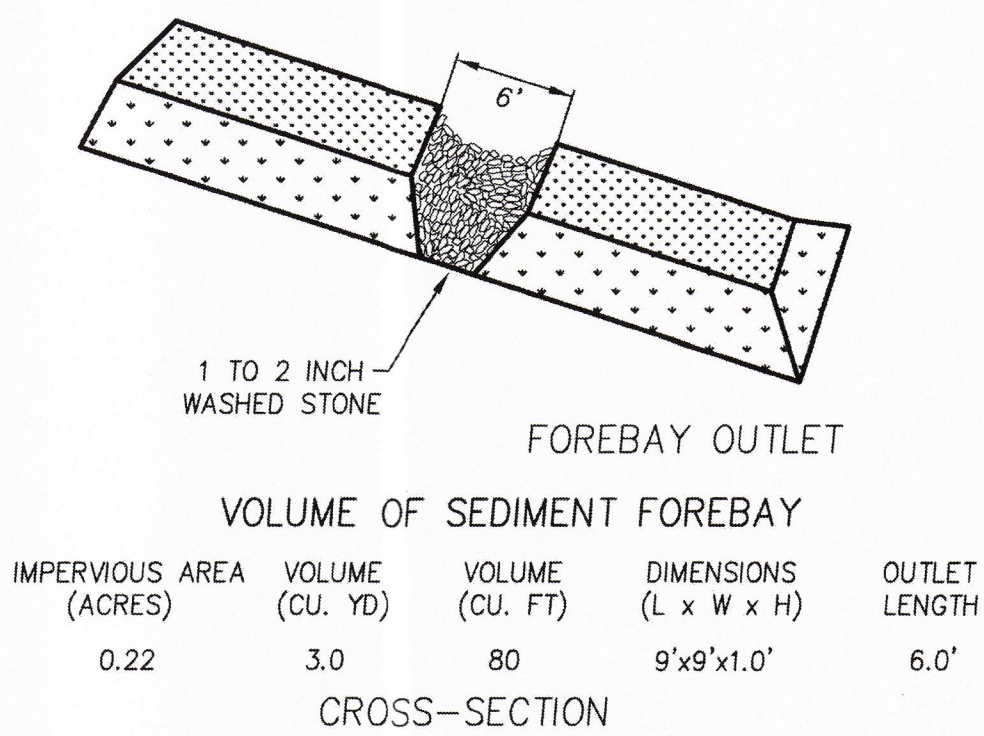


CONSTRUCTED WETLAND
PROFILE VIEW

HORIZ. SCALE: N.T.S.
VERT. SCALE: 1"=2'

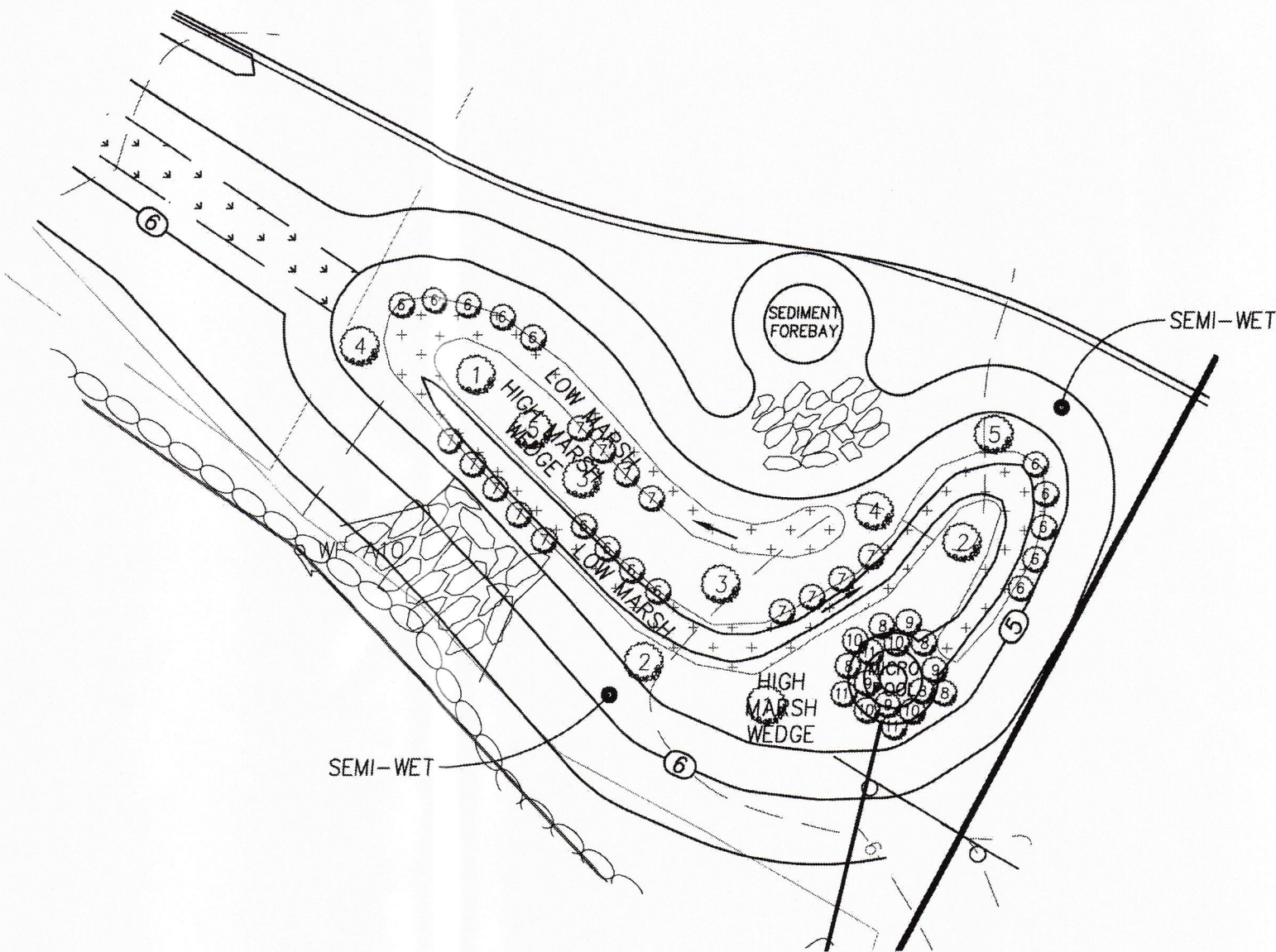
GENERAL NOTES FOR
CONSTRUCTED WETLANDS:

1. WETLAND BERMS SHALL BE CONSTRUCTED OF FILL MATERIAL FREE OF ROOTS, STUMPS, WOOD, RUBBISH, STONES GREATER THAN 6", OR OTHER OBJECTIONABLE MATERIALS. FILL MATERIAL FOR THE CENTER OF THE BERM SHALL CONFORM TO UNIFIED SOIL CLASSIFICATION GC, SC, CH, OR CL AND HAVE AT LEAST 30% PASSING THE #200 SIEVE. MATERIALS USED IN THE OUTER SHELL OF THE BERMS SHALL BE CAPABLE OF SUPPORTING THE VEGETATION SPECIFIED ON THE PLANS.
2. FILL MATERIALS SHALL BE PLACED IN MAXIMUM 8-INCH LIFTS AND COMPACTED WITH A MINIMUM REQUIRED DENSITY OF NOT LESS THAN 95% OF MAXIMUM DRY DENSITY.
3. PRIOR TO FILL MATERIAL INSTALLATION, ALL TOPSOIL, SUBSOIL, AND UNSUITABLE MATERIAL (i.e. LEDGE) SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
4. EROSION CONTROL MATTING SHALL BE INSTALLED ON ALL OUTSIDE SLOPES OF STORMWATER BASINS. MATTING SHALL BE A WOVEN JUTE MESH MANUFACTURED BY MACCAFERRI COMPANY, OR APPROVED EQUAL.
5. ALL PIPING WITHIN CONSTRUCTED WETLAND BERMS SHALL INCLUDE ANTI-SEEPAGE COLLARS.



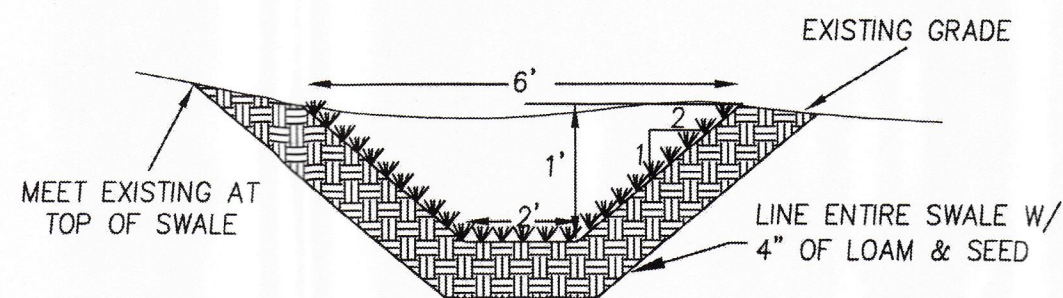
SEDIMENT FOREBAY
DETAIL

N.T.S.



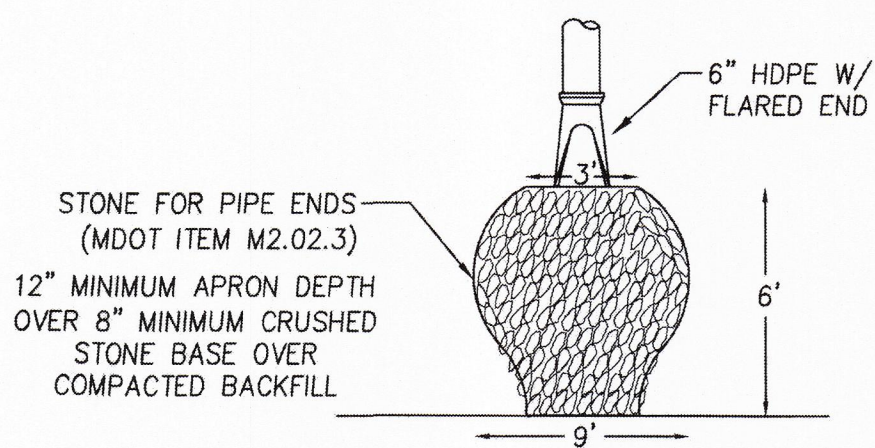
CONSTRUCTED WETLAND
LAYOUT

HORIZ. SCALE: 1"=10'



WATER QUALITY
SWALE DETAIL

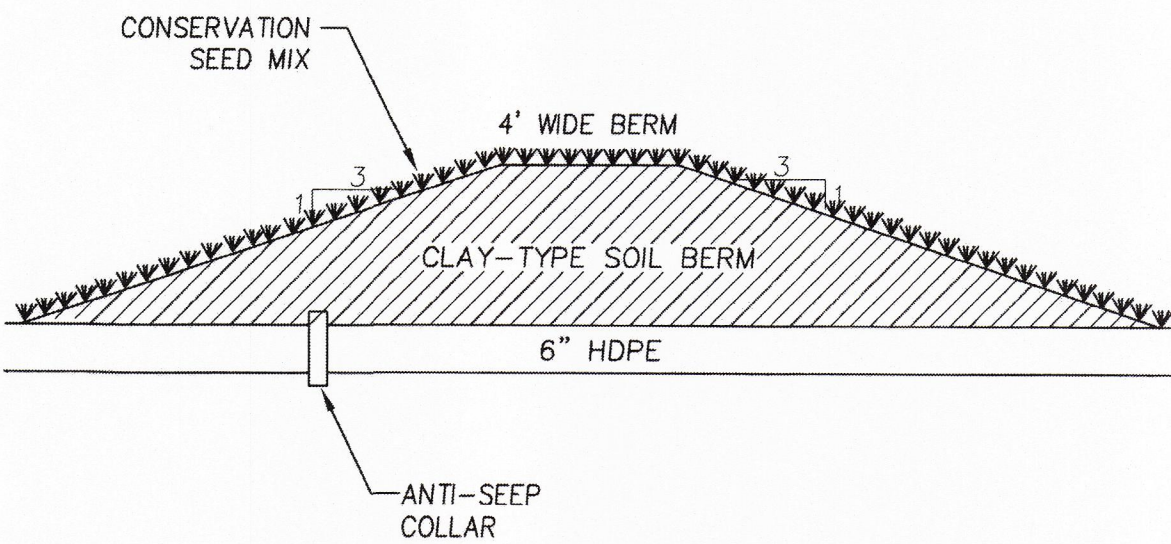
N.T.S.



NOTE: GEOSYNTHETIC EROSION CONTROL MAT SHALL BE UNDER ALL RIP-RAP

TYPICAL RIP-RAP
APRON DETAIL

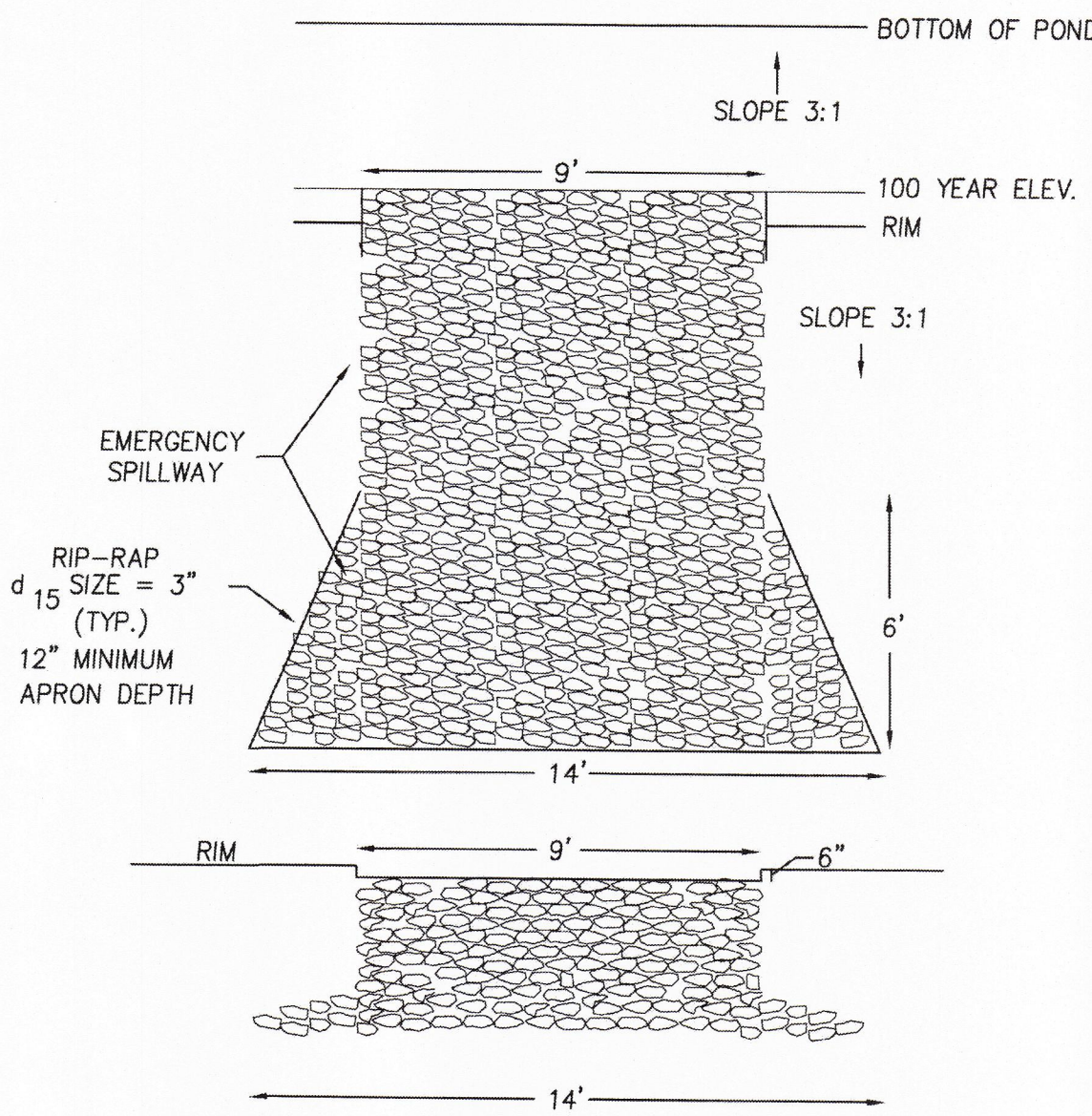
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CONSTRUCTED WETLAND
BERM DETAIL

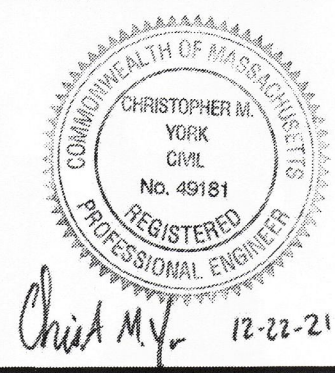
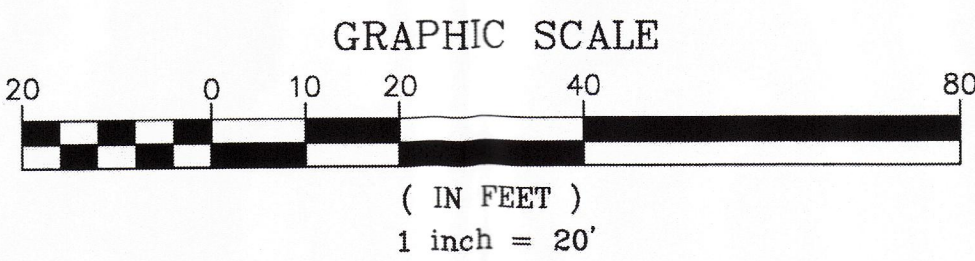
N.T.S.

CONSTRUCTED WETLAND PLANT LIST					
SYMBOL	COMMON NAME	LATIN NAME	HEIGHT	NUMBER	ZONE
1	SWEET PEPPERBUSH	CLETHRA ALNIFOLIA	3-4'	2	HIGH MARSH/SLOPE
2	NORTHERN ARROWWOOD	VIBURNUM DENTATUM	3-4'	2	HIGH MARSH/LOWER SLOPE
3	WINTERBERRY HOLLY	ILEX VERTICILLATA	3-4'	2 (INCL. 1 MALE)	HIGH MARSH
4	HIGHBUSH BLUEBERRY	VACCINIUM CORYMBOSUM	3-4'	2	HIGH MARSH/LOWER SLOPE
5	RED-OSIER DOGWOOD	CORNUS SERICEA	3-4'	2	HIGH MARSH/LOWER SLOPE
6	BLUE FLAG IRIS	IRIS VERSICOLOR	2" PLUGS	10	HI MARSH/LO MARSH BORDER
7	CARDINAL FLOWER	LOBELIA CARDINALIS	2" PLUGS	10	EDGE HI MARSH/LO MARSH INTO HIGH MARSH
8	SOFT-STEM BULRUSH	SCHOENOPLECTUS TABERNAEMONTANI	2" PLUGS	10	LO SLOPE/MICROPOOL EDGE
9	GREEN BULRUSH	SCIRPUS ATROVIRENS	2" PLUGS	10	MID/LOWER MICROPOOL SLOPE
10	CHAIRMAKER'S BULRUSH	SCHOENOPLECTUS (SCIRPUS) AMERICANUS	2" PLUGS	10	MID/LOWER MICROPOOL SLOPE
11	SWEETFLAG	ACORUS AMERICANUS	2" PLUGS	10	MID/LOWER MICROPOOL SLOPE

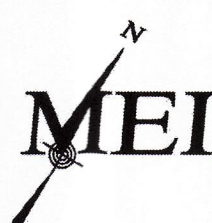


TYPICAL SPILLWAY
PLAN VIEW

N.T.S.



PREPARED FOR
JAMIL JOURAW
21 MASON LANE
SALISBURY, MA 01952



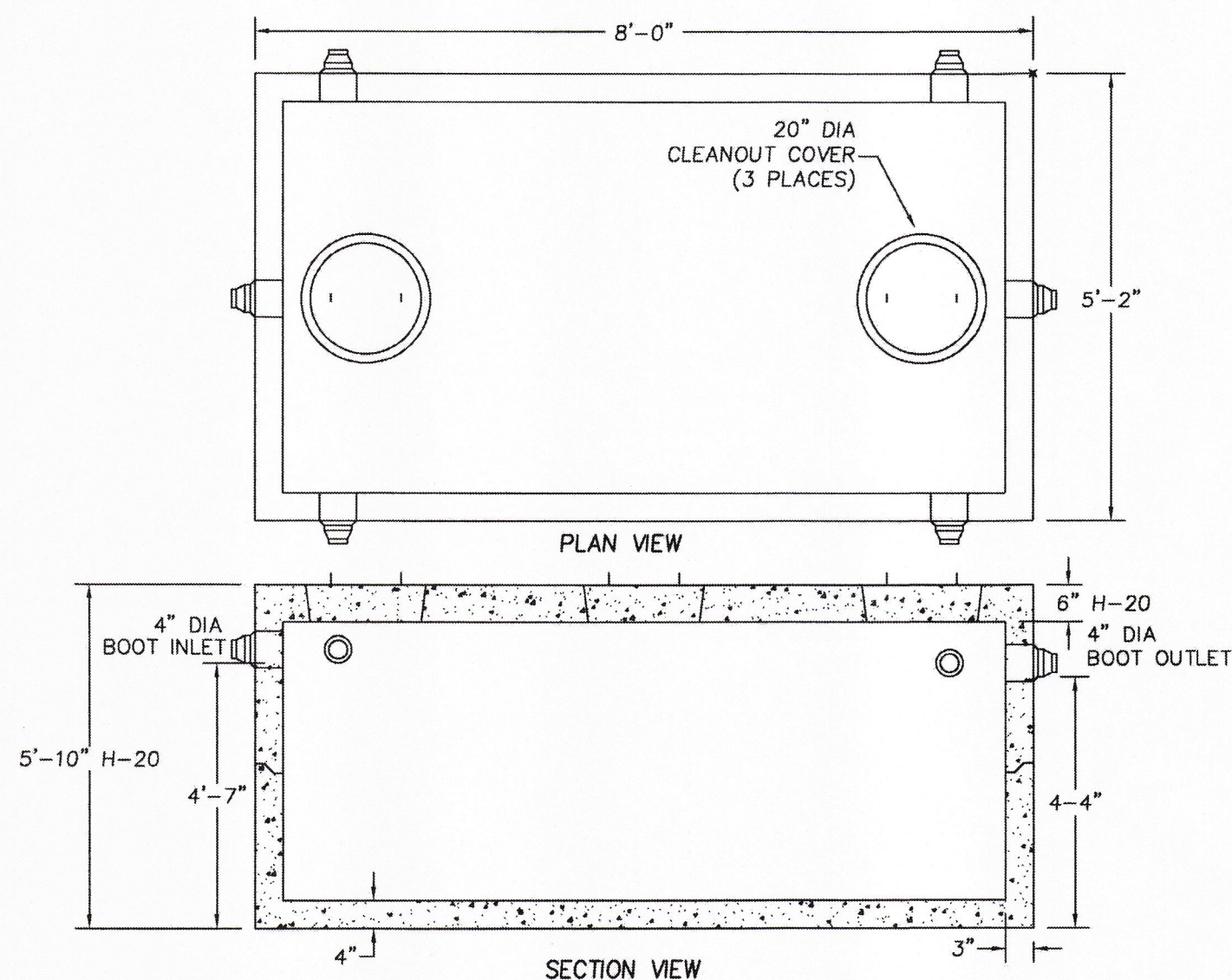
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DATE: DEC. 22, 2021
DESIG. BY: C.M.Y.
CHKD. BY: E.W.B.
PROJECT: M214038

PLAN OF LAND
IN
SALISBURY, MA
SHOWING
PROPOSED SITE IMPROVEMENTS
AT
156 BRIDGE ROAD

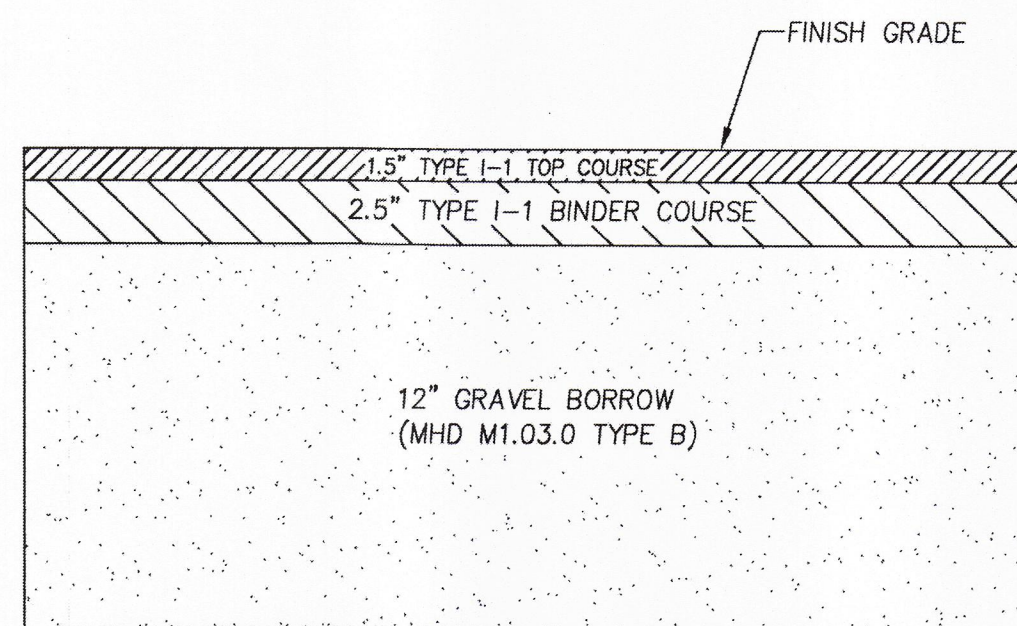
**DRAINAGE
DETAILS**

SHEET: C-4



- NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. DESIGN CONFORMS WITH 310 CMR 15.00, DEP TITLE 5 REGS, FOR SEPTIC TANKS
 3. ALL REINFORCEMENT PER ASTM C1227.
 4. DESIGNED FOR AASHTO HS-20 LOADING, 1 TO 5 FT COVER.
 5. TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN

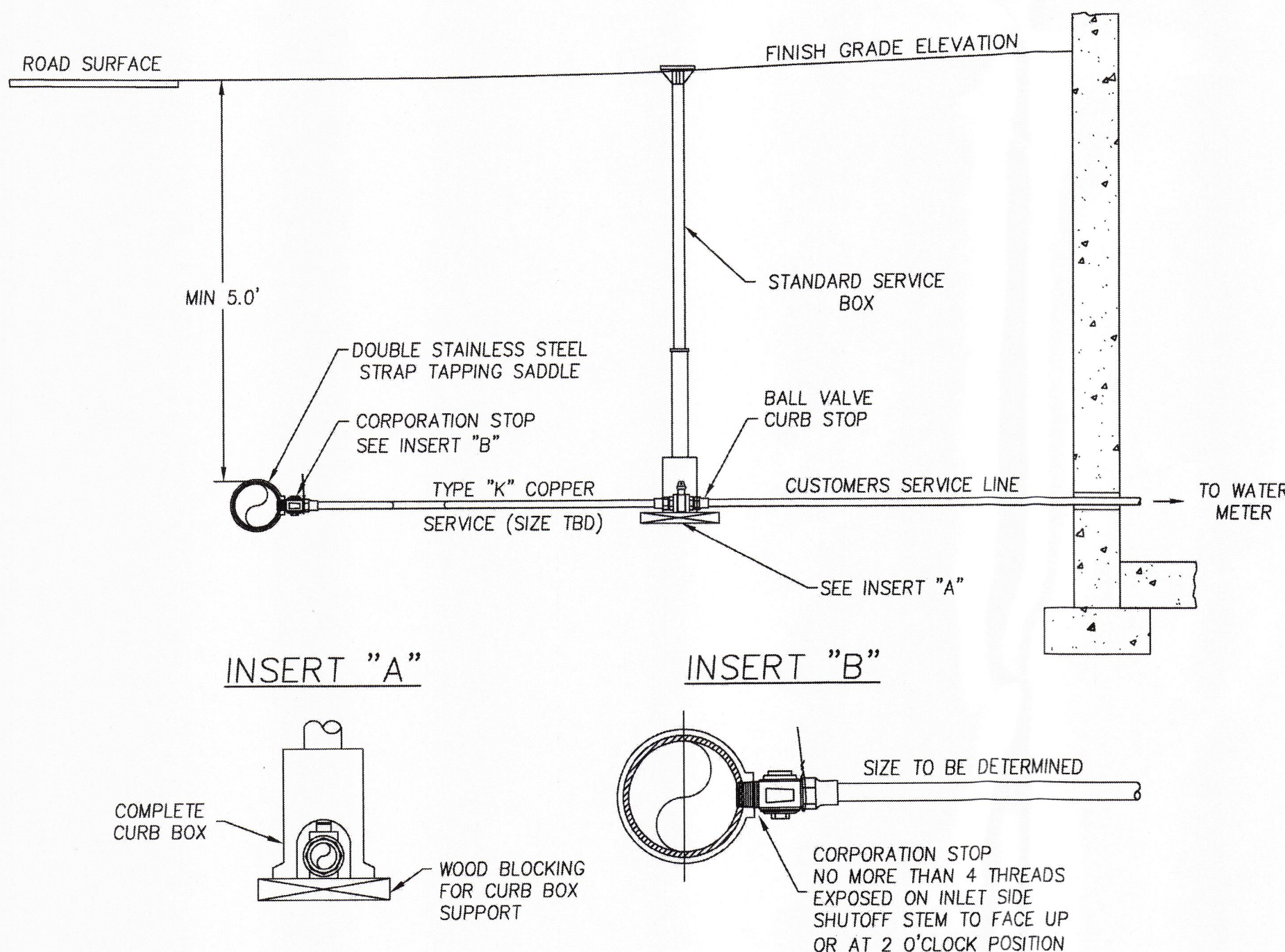
1,000 GALLON TANK
DETAIL N.T.S.



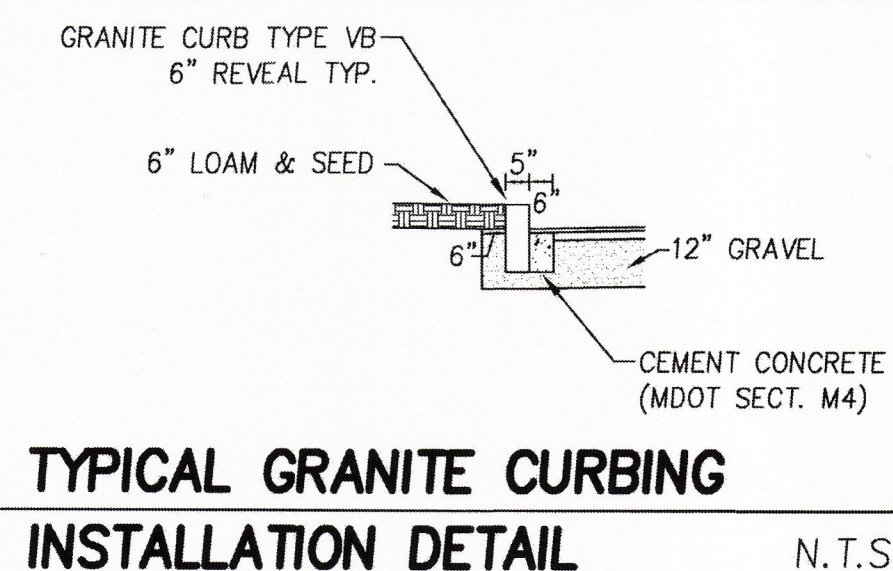
PAVEMENT
DETAIL N.T.S.

PAVEMENT NOTES

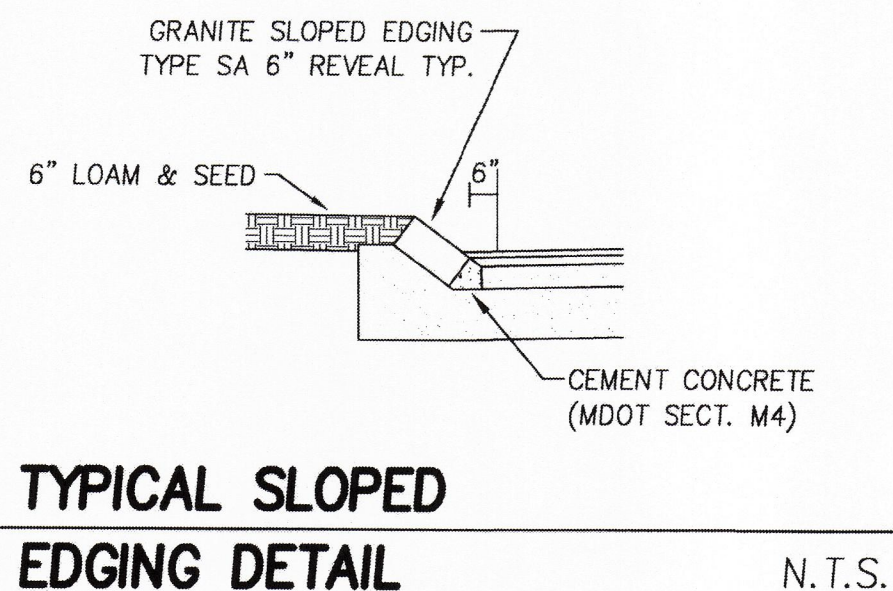
- 1.) ALL STUMPS, ROCKS AND LEDGE WITHIN THE LIMITS OF THE PROPOSED PAVED WAY SHALL BE REMOVED. ALL LEDGE SHALL BE REMOVED TO A MINIMUM DEPTH OF 2' BELOW FINISHED PAVEMENT GRADE.
- 2.) PAVEMENT SHALL NOT BE CONSTRUCTED DURING FREEZING WEATHER OR ON WET OR FROZEN SUBGRADE.
- 3.) GRADING AND ROLLING SHALL BE REQUIRED TO PROVIDE A SMOOTH, EVEN, AND UNIFORM COMPACTED BASE WHICH IS COMPACTED TO A MINIMUM DRY DENSITY OF 95 PERCENT.
- 4.) ALL UNSUITABLE MATERIAL SHALL BE EXCAVATED AND REPLACED WITH SATISFACTORY MATERIAL AND BROUGHT UP TO GRADE WITH GRAVEL BORROW CONTAINING NO STONES GREATER THAN 6" DIAMETER.
- 5.) AT ALL TIMES DURING CONSTRUCTION, THE SUB-GRADE AND ALL DITCHES SHALL BE CONSTRUCTED AND MAINTAINED SO THAT THE TRACK WILL EFFECTIVELY BE DRAINED.
- 6.) THE CONTRACTOR SHALL REFER TO THE SALISBURY PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, SECTIONS 1 - VII.



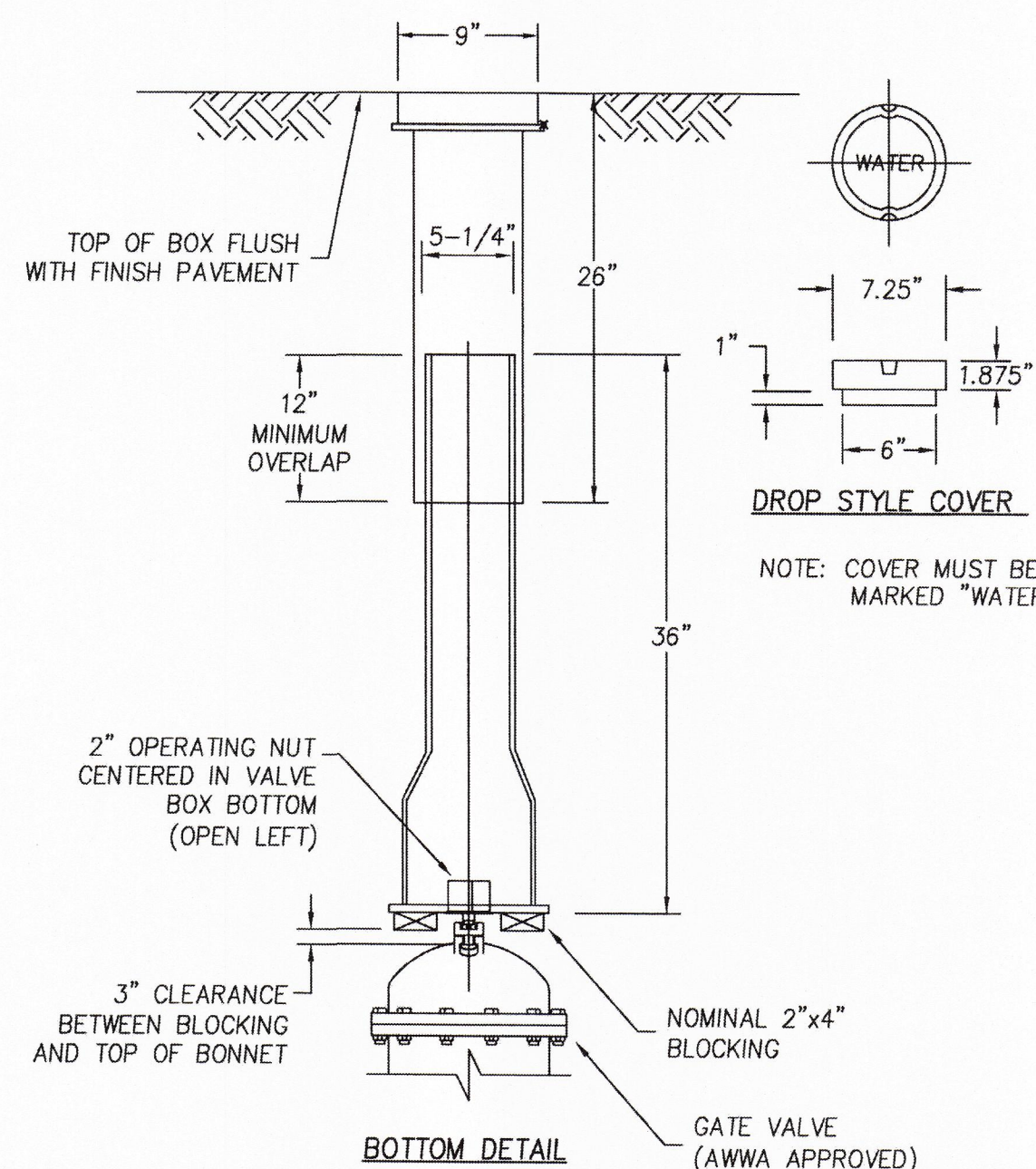
TYPICAL COPPER
SERVICE CONNECTION N.T.S.



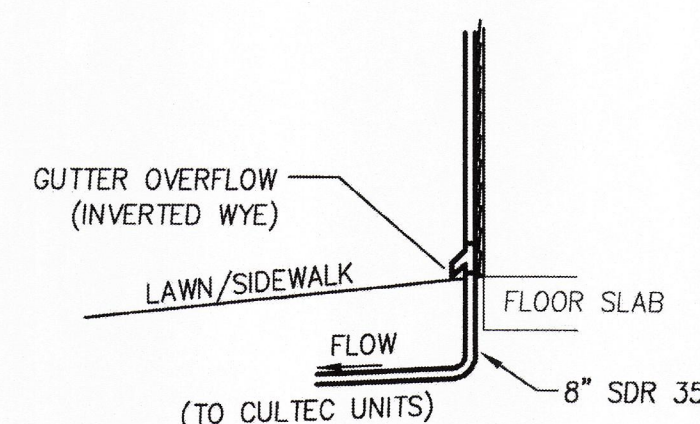
TYPICAL GRANITE CURBING
INSTALLATION DETAIL N.T.S.



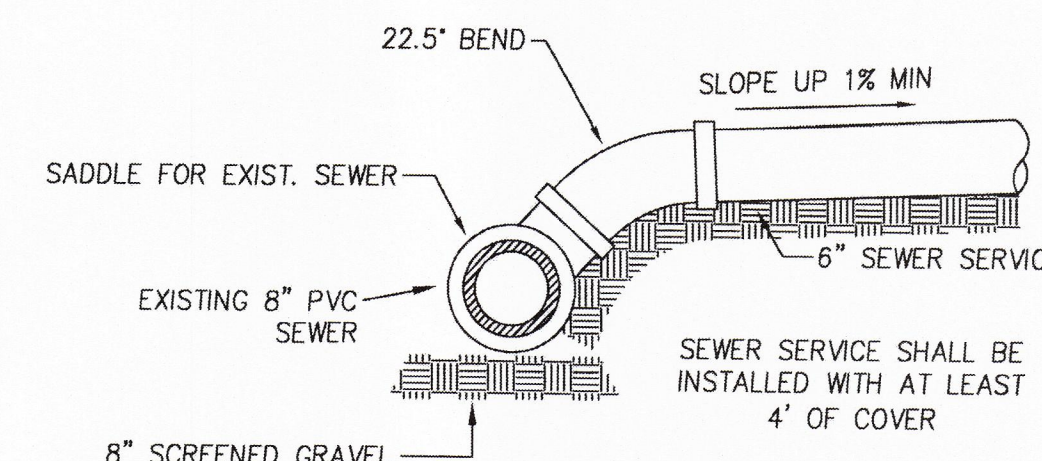
TYPICAL SLOPED
EDGING DETAIL N.T.S.



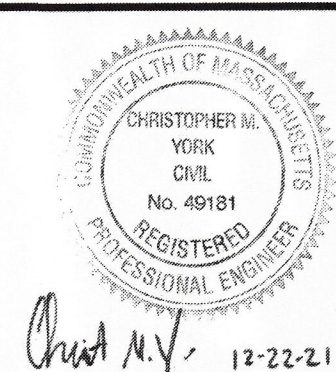
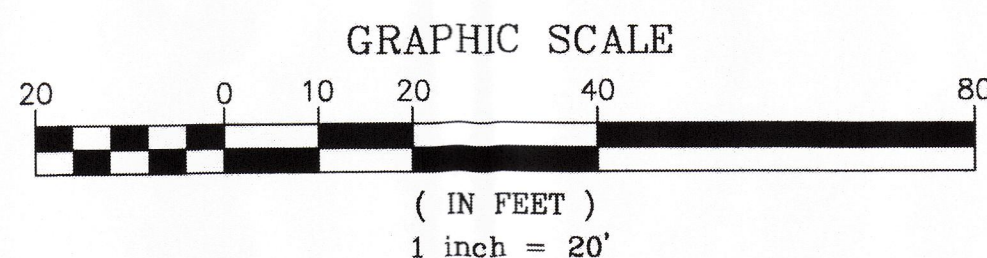
TYPICAL GATE VALVE
BOX DETAIL N.T.S.



GUTTER DOWN
SPOUT DETAIL N.T.S.



SEWER SERVICE
DETAIL N.T.S.



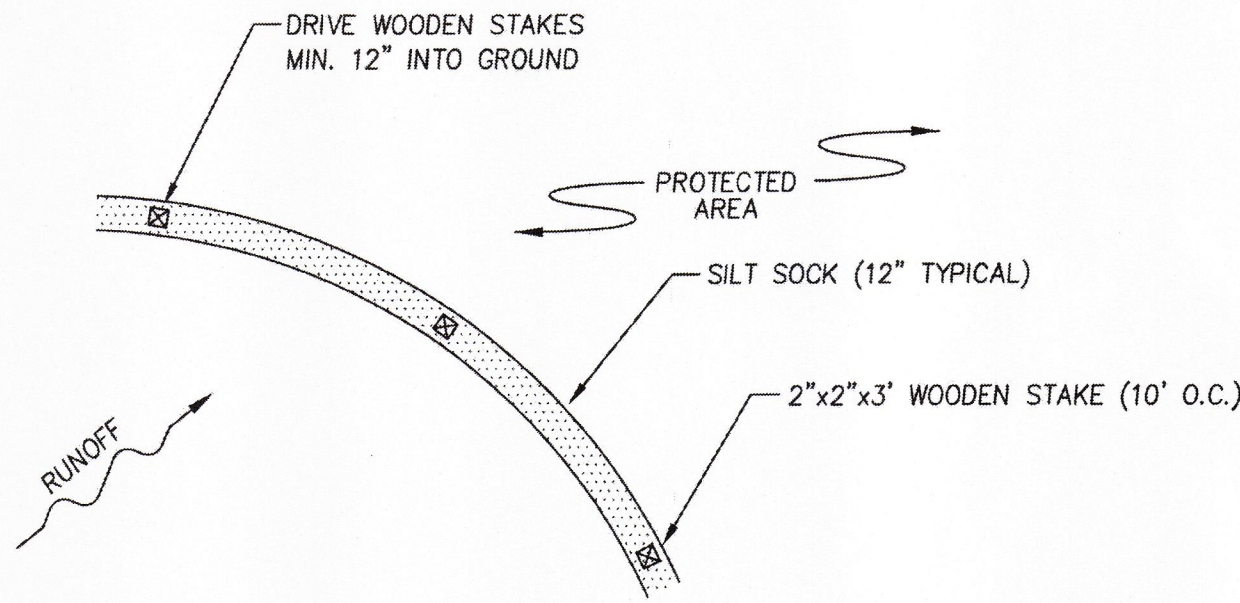
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PLAN OF LAND
IN
SALISBURY, MA
SHOWING
PROPOSED SITE IMPROVEMENTS
AT
156 BRIDGE ROAD

SITE
DETAILS
SHEET: C-5

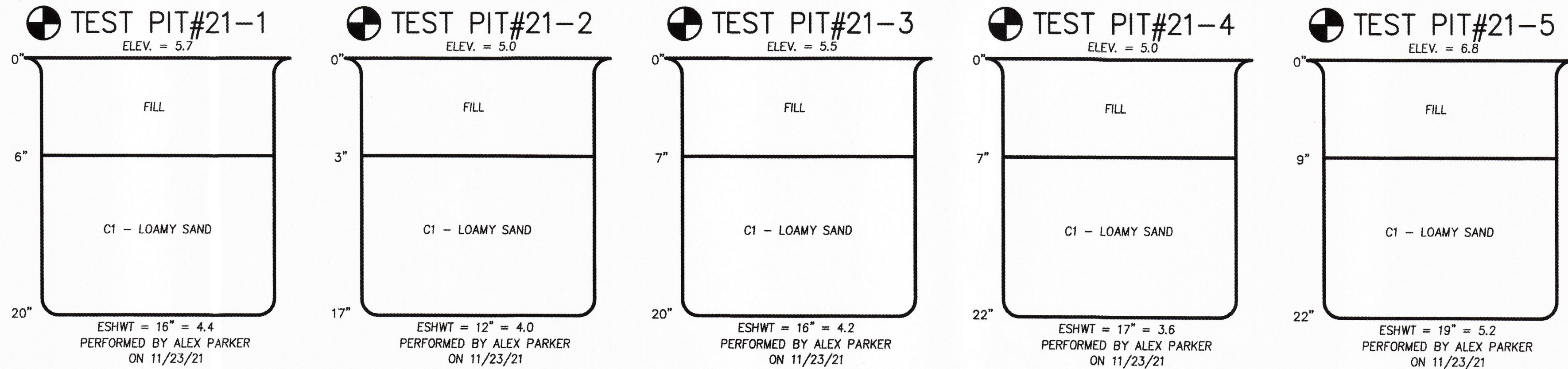


NOTES

- ALL MATERIAL SHALL MEET SPECIFICATIONS BY FILTREXX OR APPROVED EQUAL.
- SILT SOCK SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- THE CONTRACTOR SHALL REMOVE SEDIMENT AT THE BASE OF THE UPSLOPE SIDE OF THE SILT SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE SILT SOCK.
- SILT SOCK SHALL BE MAINTAINED UNTIL DISTURBED AREA ABOVE THE DEVICE HAS BEEN PERMANENTLY STABILIZED AND CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
- SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE SOCK HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

SILT SOCK
INSTALLATION

N.T.S.

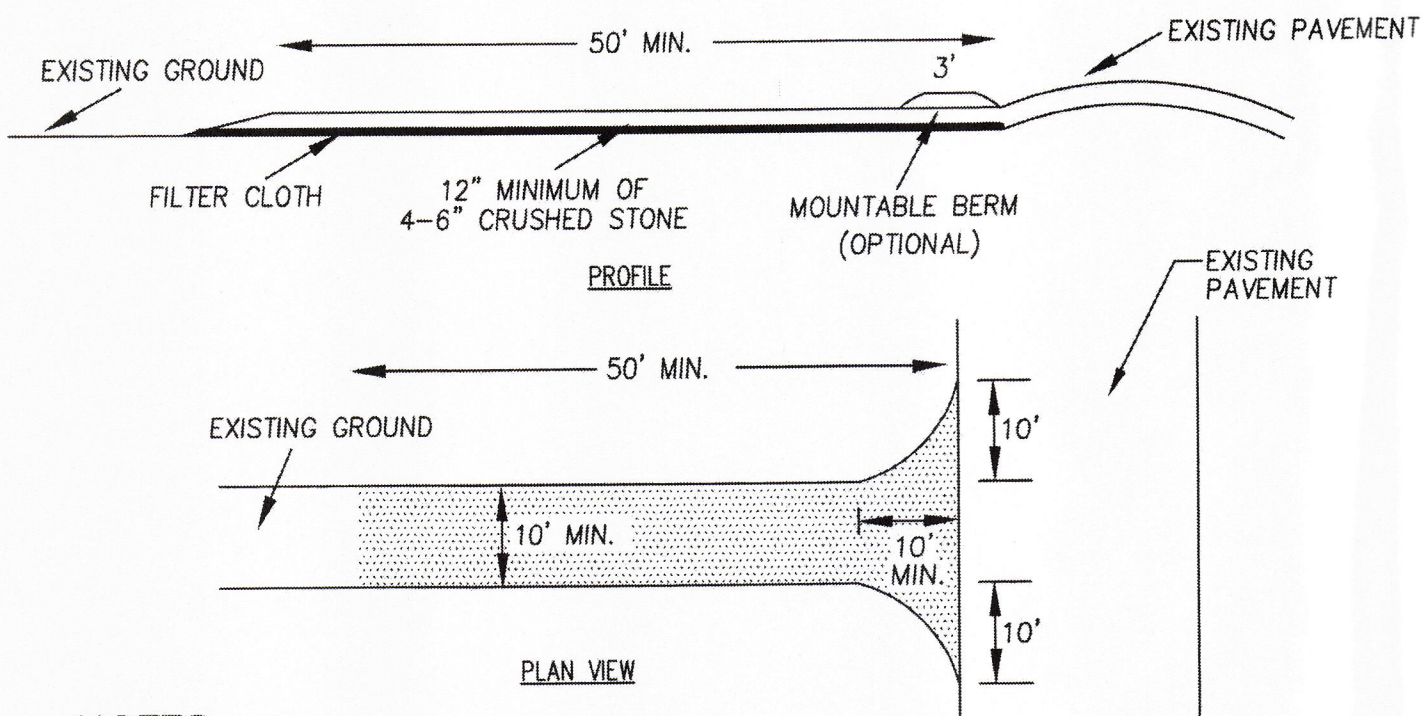


GENERAL EROSION
CONTROL NOTES

- ALL EROSION CONTROL SHALL BE INSTALLED BEFORE THE START OF CONSTRUCTION. EROSION CONTROL SHALL BE REMOVED UPON COMPLETION OF THE PROJECT AND STABILIZATION OF ALL SOIL.
- ALL FILL SHALL BE FREE OF STUMPS AND LARGE STONES.
- ANY STANDING BODIES OF WATER CREATED DURING EXCAVATION SHALL BE ELIMINATED.
- EROSION CONTROL BARRIERS SHALL BE INSPECTED WEEKLY AND AFTER EVERY 0.5\"/>

CONSTRUCTION
SEQUENCE

- INSTALL EROSION CONTROL AT LIMIT OF WORK & STAKE OUT STORMWATER AREA.
- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AS DEPICTED.
- CLEAR AND GRUB DEBRIS AND DISPOSE OF PROPERLY.
- STRIP, SOREN AND STOCKPILE TOPSOIL. TOPSOIL CAN BE TEMPORARILY STOCKPILED ON SITE PROVIDING THAT THE PERIMETER OF THE STOCKPILES ARE PROPERLY STAKED WITH EROSION CONTROL AT THE TOE OF SLOPE.
- ROUGH GRADE CONSTRUCTED WETLAND.
- CLEAR AND EXCAVATE FOR BUILDING FOUNDATION.
- BEGIN BUILDING CONSTRUCTION.
- INSTALL PROPOSED UTILITIES TO BUILDING FOOTPRINT INCLUDING DRAINAGE SYSTEM, WATER/SEWER SERVICES AND PRIVATE UTILITIES.
- GRADE PAVEMENT TO TOP OF SUBGRADE ELEVATIONS. ALL ROADWAYS MUST BE STABILIZED IMMEDIATELY AFTER GRADING.
- PLACE RIPRAP WHERE SHOWN ON PLANS. LOAM AND HYDROSEED SIDESLOPES AND ALL DISTURBED AREAS WITHIN 72 HOURS.
- ADD PLANTINGS TO CONSTRUCTED WETLAND.
- SPREAD, SHAPE, AND COMPACT PAVEMENT SUBBASE AS PER TYPICAL ROADWAY SECTION TO ATTAIN FINAL DESIGN ELEVATIONS.
- INSTALL CURBING AND PROPOSED PAVEMENT TO BINDER GRADE.
- INSTALL TOP COURSE PAVEMENT.
- INSTALL LANDSCAPING AND LOAM AND HYDROSEED ANY DISTURBED SURFACES ALONG EDGES OF PAVEMENT AS REQUIRED.
- REMOVE EROSION CONTROL.

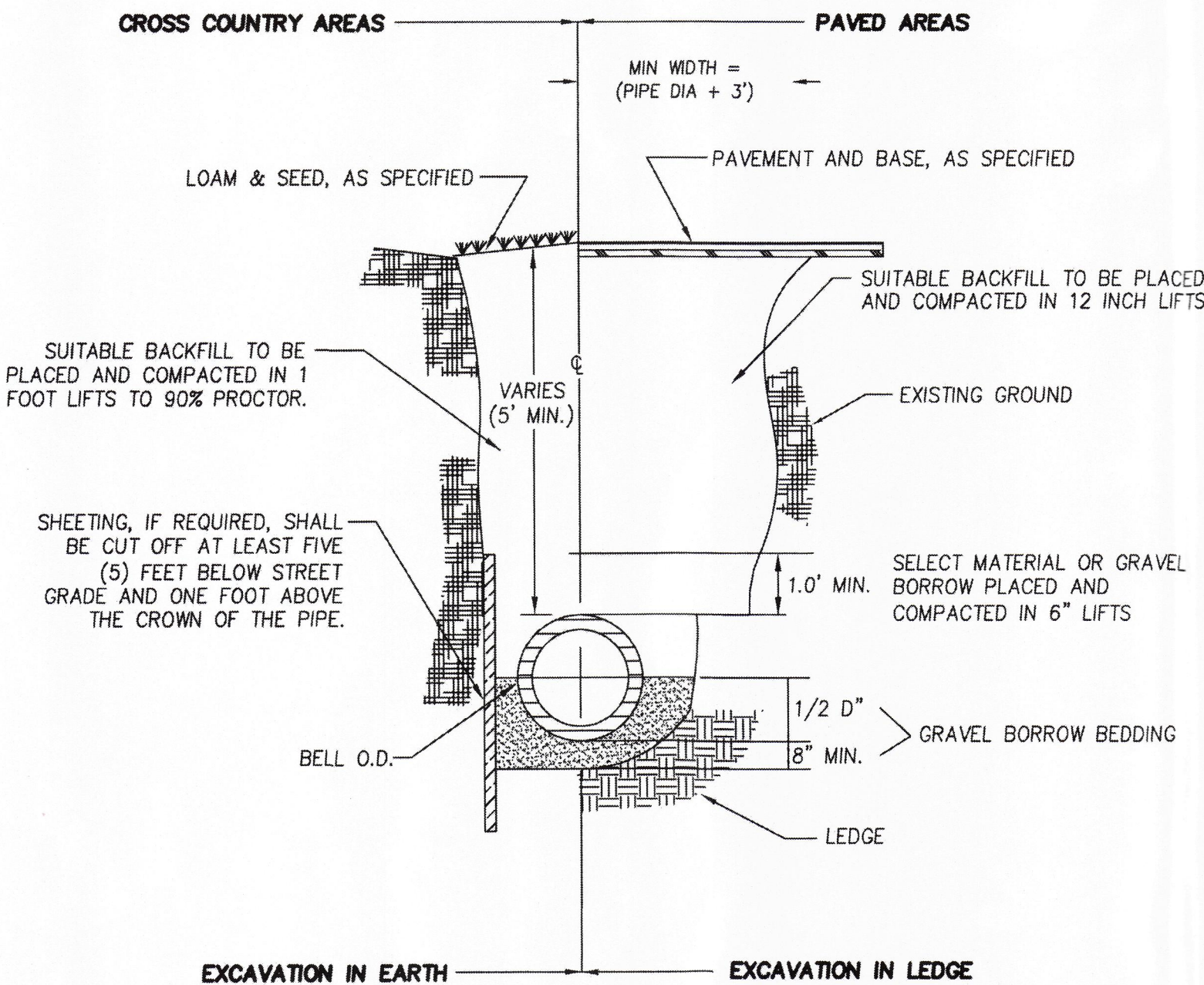


NOTES

- STONE SHALL BE 4-6\"/>

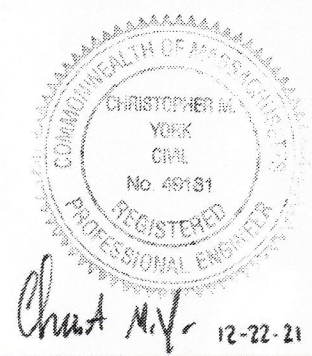
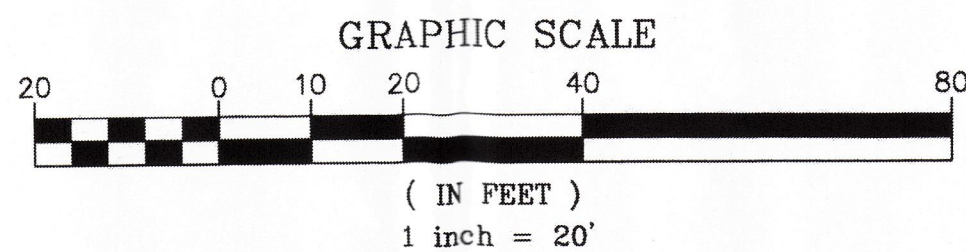
STABILIZED CONSTRUCTION
ENTRANCE

N.T.S.



TYPICAL TRENCH
DETAIL

N.T.S.



PREPARED FOR
JAMIL JOURAJ
21 MASON LANE
SALISBURY, MA 01952

NO.	DATE	DESCRIPTION	BY

MEI **MILLENNIUM ENGINEERING, INC.**
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=20'	DESC. BY: C.M.Y.	PROJECT: M214038
DATE: DEC. 22, 2021	CHKD. BY: E.W.B.	

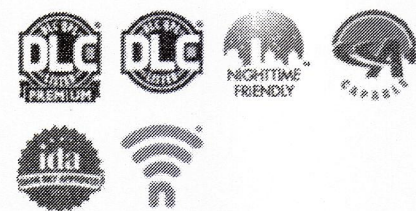
PLAN OF LAND
IN
SALISBURY, MA
SHOWING
PROPOSED SITE IMPROVEMENTS
AT
156 BRIDGE ROAD

**EROSION
CONTROL
DETAILS**

SHEET: C-6

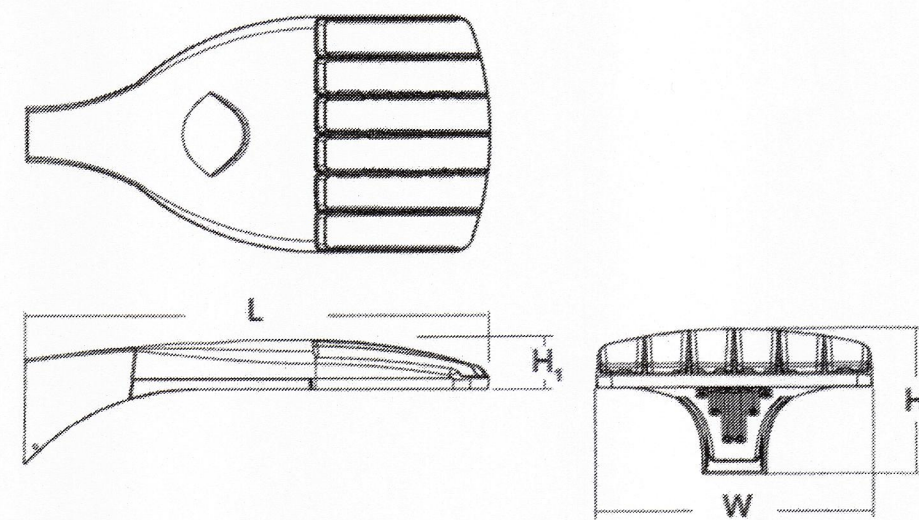


D-Series Size 0 LED Area Luminaire



Specifications

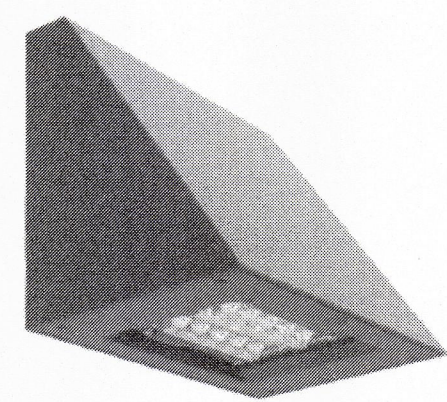
EPA: 0.95 ft²
(.09 m²)
Length: 26"
(66.0 cm)
Width: 13"
(33.0 cm)
Height₁: 3"
(7.62 cm)
Height₂: 7"
(17.8 cm)
Weight
(max): 16 lbs
(7.2 kg)



Catalog Number	
Notes	
Type	

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.



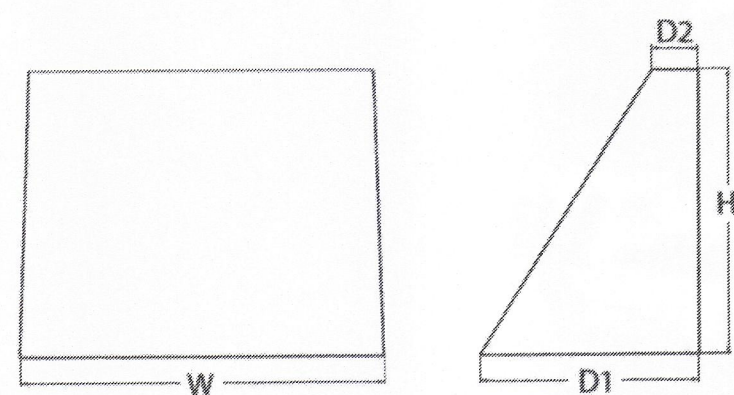
WDGE2 LED Architectural Wall Sconce Precision Refractive Optic



Buy American

Specifications

Depth (D1): 7"
Depth (D2): 1.5"
Height: 9"
Width: 11.5"
Weight:
(without options) 13.5 lbs

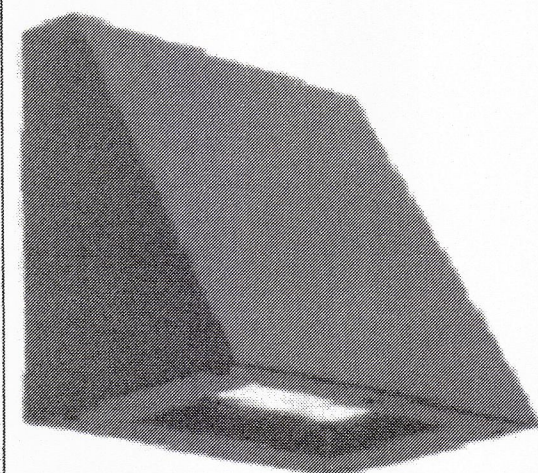


Catalog Number	
Notes	
Type	

Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE family provides additional energy savings and code compliance.

WDGE2 with industry leading precision refractive optics provides great uniform distribution and optical control. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

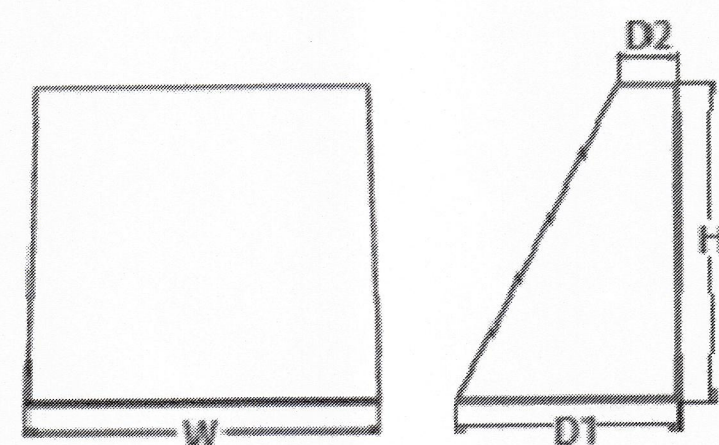


WDGE1 LED Architectural Wall Sconce



Specifications

Depth (D1): 5.5"
Depth (D2): 1.5"
Height: 8"
Width: 9"
Weight:
(without options) 9 lbs



Catalog Number	
Notes	
Type	

Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

WDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

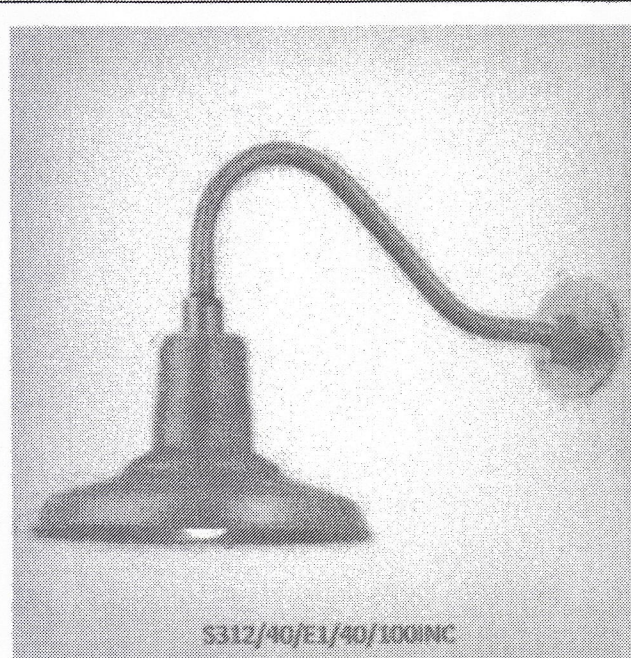


BASELITE - SHALLOW SHADE - LED - SPEC SHEET

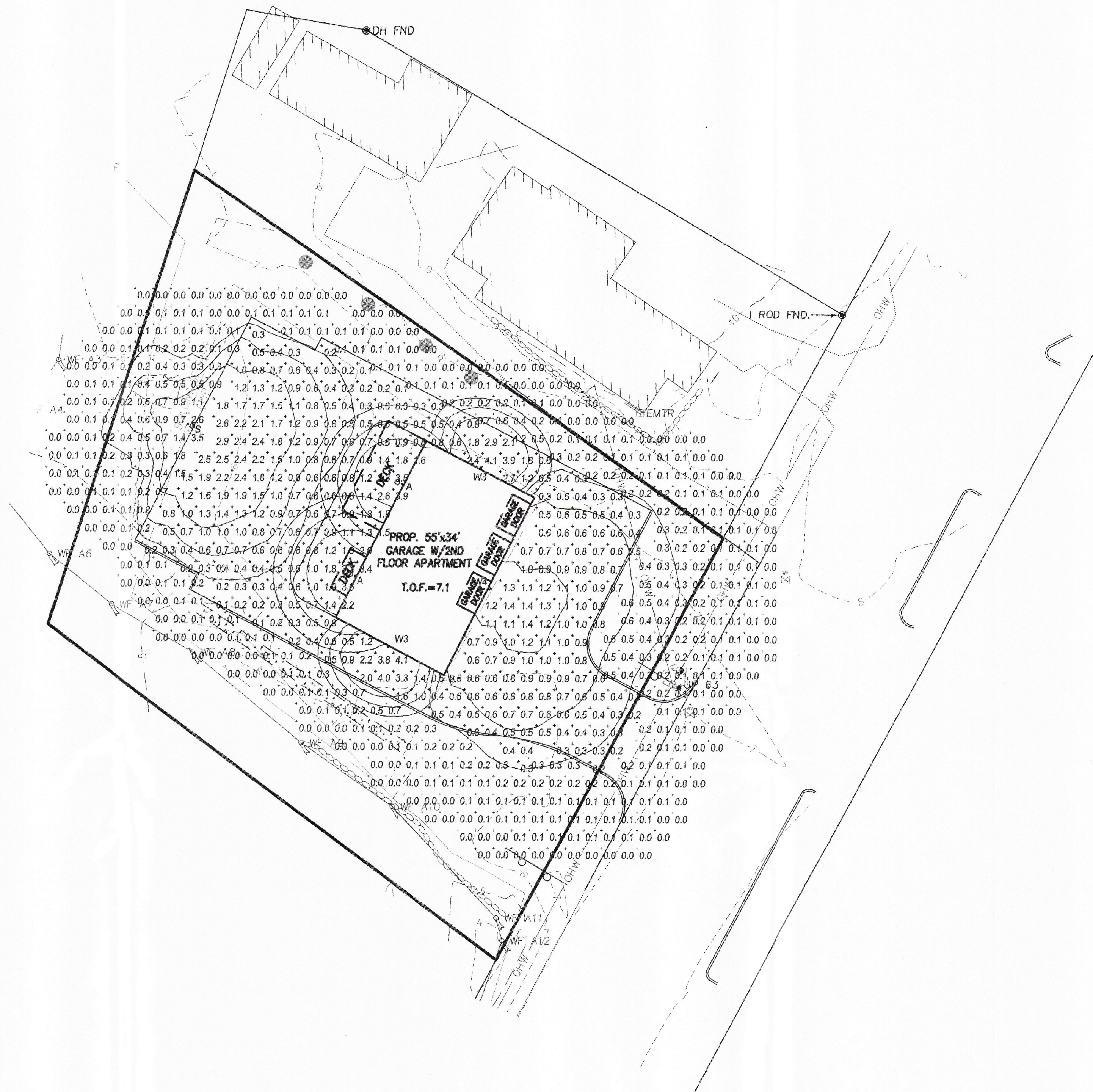
PROJECT NAME: PROJECT TYPE:

MODEL #	A	B	C	D	E	F	G	H	I	J	K
EXAMPLE:	S312	4L	E16	SQ11"	43	45W	3K	LDM120	PR3	GR32	46

NOTES:	



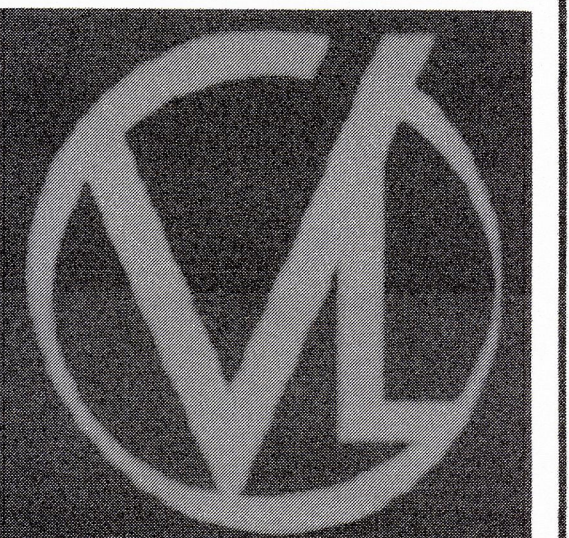
S312/40/E1/40/100INC



Schedule										
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens per Lamp	LLF	Distribution
	A	2	Baselite Corp	S318 E1 LWTM 25WLED 3K LDM-10 120/277	Shallow Shade LED Wall Sconce, mounted at 20 ft	LED	LED25W-3K-120/277.ies	1820	1819.715	
	S	1	Lithonia Lighting	DSX0 LED P1 30K TFTM MVOLT	DSX0 Area Fixture, mounted at 12ft	LED	DSX0_LED_P1_30K_TFTM_MVOLT.ies	4373	4373.052	TYPE IV, SHORT, BUG RATING: B1 - U0 - G1
	W3	2	Lithonia Lighting	WDGE1 LED P1 30K 80CRI VWR SRM DDBXD	WDGE1 LED Wall pack, mounted at 10ft	LED	WDGE1_LED_P1_30K_80CRI_VWR.ies	1163	1163.101	TYPE II, VERY SHORT, BUG RATING: B0 - U0 - G0
	W4	1	Lithonia Lighting	WDGE2 LED P4 30K 80CRI TFTM SRM DDBXD	WDGE2 LED Area Fixture, mounted at 18ft	LED	WDGE2_LED_P4_30K_80CRI_TFTM.ies	4002	4002.034	TYPE IV, SHORT, BUG RATING: B1 - U0 - G1

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Outside of Parking Lot	+	0.1 fc	3.5 fc	0.0 fc	N/A	N/A
Parking Lot	+	1.0 fc	4.1 fc	0.1 fc	41.0:1	10.0:1



Site Lighting Layout At 156 BRIDGE ROAD

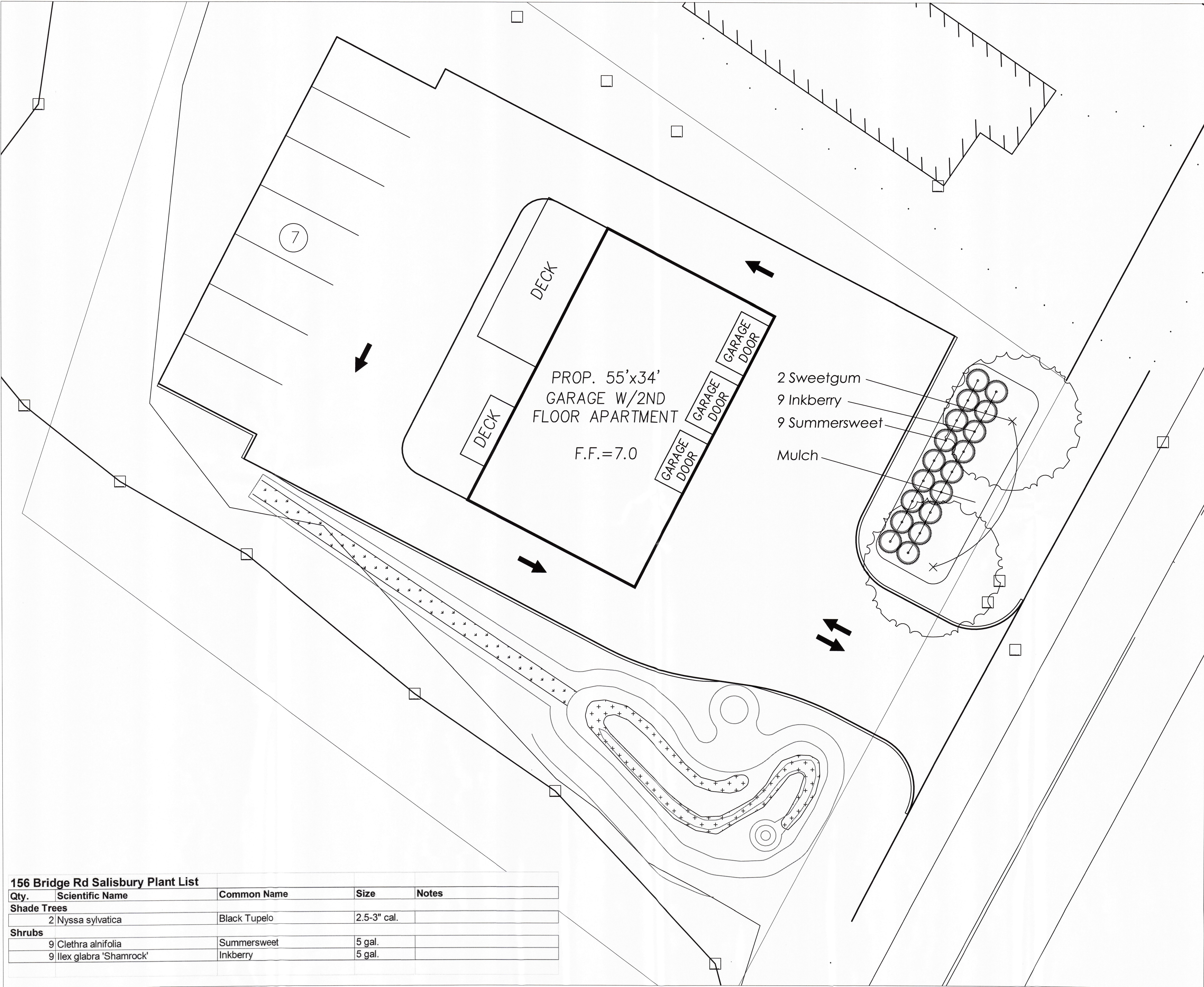
Designer
Heidi G. Connors
Visible Light, Inc.
24 Stickney Terrace
Suite 6
Hampton, NH 03842
Date
12/22/2021
Scale
1"=20'
Drawing No.

Summary

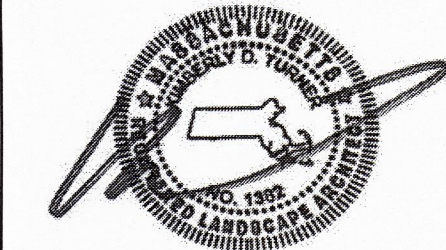
E-1

156 Bridge Rd Salisbury Plant List

Qty.	Scientific Name	Common Name	Size	Notes
Shade Trees				
2	Nyssa sylvatica	Black Tupelo	2.5-3" cal.	
Shrubs				
9	Clethra alnifolia	Summersweet	5 gal.	
9	Ilex glabra 'Shamrock'	Inkberry	5 gal.	



Issued:	1	2	3	4	5	6	7
	12-21-21	For review					



LANDSCAPE PLAN

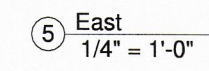
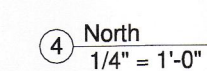
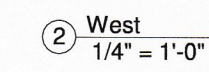
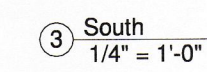
Scale: 1"=10'-0"

156 Bridge Rd.
Salisbury, MA

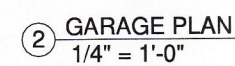
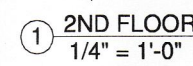
KD Turner Design
landscape architecture
27 High St.
Newburyport, MA 01950
ph) 781.632.6004

L-1

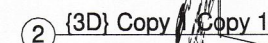
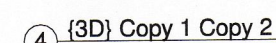
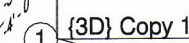
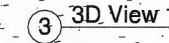
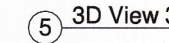
Consultant	
Address	
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