

## **SALISBURY PLANNING BOARD** **SITE PLAN REVIEW FILING CHECKLIST**

*Applicants encouraged to meet with planning department for review of application prior to filing. Applications will not be stamped in at the Town Clerk's office for the Planning Board, until the Planning Department determines that the following items are included with the application:*

1. Application must be filled out completely and correctly. (Map and Parcel must be included. Can be found in the Assessor's Office.) **Attachment 1**
2. Planning Dept. reviews application & plans for completeness prior to receiving fees and copies for the Board
3. A complete **REQUIREMENTS AND WAIVER REQUEST FORM** **must** be submitted along with copies of site plan filings: **Attachment 2**  
The waiver request goes to the planning board as a preliminary SPR to only decide on waivers. After decision is made, applicant then submits 8 copies of plans, along with fees and application, and can be stamped in by Town Clerk.
4. Abutters List Request form must be completed at the Assessor's Office (if applicable-check with planning dept.) (\$15-checks payable to the Town of Salisbury).
5. Treasurer's Office signature to ensure all Taxes are paid up to date on the property in question and any applicable betterments are paid in full: **Attachment 3**
6. A complete site plan submittal checklist **must** be submitted along with copies of site plans: **Attachment 4**
7. When plans ready to be stamped in by Town Clerk:
  - a. Site Plan Review Application & Review Fee - Checks payable to the Town of Salisbury.
  - b. Registered Plan drawn to scale and in conformance with Section II.B.1 of the site plan review requirements. (8 Copies)

\_\_\_\_\_  
Planning Department

\_\_\_\_\_  
Town Clerk

### **\*\*\* Note to Applicants \*\*\***

- ☐ Applicants shall bear the cost of advertising the legal notices in the Newburyport Daily News, and will be directly billed by that publication.
- ☐ Planning Board will schedule a Public Hearing within 30 Days of complete submission. For major projects, they will have 60 Days from the date the public hearing was opened to reach a decision. For minor projects, the board has 45 days from the date the application was stamped in by the Town Clerk to reach a decision.
- ☐ All conditions must be met and required changes made to the plan, then submitted to the Planning Board for review before a building permit will be assigned.

Attachment 1

**TOWN OF SALISBURY**  
**APPLICATION FOR SITE PLAN REVIEW**

***A REGISTERED SITE PLAN MUST BE FILED WITH THIS APPLICATION FORM***

Date **03/17/23**

Applicant's Name Our Neighbors' Table

Applicant's Address 114 Bridge Road, Salisbury MA 01952

Telephone # & Fax # 978-388-1907

E-mail Address lyndsey@ourneighborstable.org

Application is hereby made for Site Plan Review. This application is for property located at 114 Bridge Road, Salisbury, Massachusetts.

Tax Map # 14 Lot # 10

1. Owner of Property: Our Neighbors' Table

Owner's Address: 114 Bridge Road, Salisbury MA

2. Zoning District: Commercial C

3. Lot Size: 3.76 Acres

4. Existing Use: B-Business and S-2 Storage

5. Proposed Use: B-Business and S-2 Storage

6. Description of Proposed Work: Renovation of existing building for use as office space and storage for Our Neighbors' Table Seacoast Food Hub. A small addition on the North side will accommodate receiving at a new depressed 3bay loading dock.

7. Square Footage of All Proposed Work: New Space: 400sf at loading dock, Renovated Interior Space: approximately 6,000sf

8. Other Permits Required and Status of Applications: Building Permit—submit for initial

Review in March 2023

9. Site Plan Waivers Requested: Stormwater Drainage Calculations, Certified Landscape Plan and Full Traffic Analysis

10. Reason for Waiver Request Drainage and Landscape to remain as is, and Applicant is submitting a Traffic Memo Showing no discernible impact



Signature of Applicant



Signature of Owner

**Planning Board****REQUIREMENTS AND WAIVER REQUEST FORM**Applicant Our Neighbors Table Map and Parcel # 14-10Property Owner Our Neighbors Table Project Address 114 Bridge Road

Plan Requirements	Included in Application	Requesting Waiver
A. Plans drawn by registered professional	<u>X</u>	
B. Existing site conditions:		
1. All waterbodies	<u>X</u>	
2. Wetland and Boundaries	<u>X</u>	
3. Topography	<u>X</u>	
4. Vegetation types	<u>X</u>	
5. Other natural features	<u>X</u>	
C. Location of:		
1. Proposed landscaping		<u>X</u>
2. Existing landscaping and open space	<u>X</u>	
D. Use Plan indicating locations of		
1. Proposed building and additions	<u>X</u>	
2. Parking	<u>X</u>	
3. Service and loading areas	<u>X</u>	
4. Curbing and driveway locations	<u>X</u>	
5. Trash and receptacles or dumpsters	<u>X</u>	
6. Lighting	<u>X</u>	
7. Other site alterations	<u>X</u>	
E. Architectural plans of all proposed buildings		
1. Floor plans	<u>X</u>	
2. Elevation plans	<u>X</u>	
F. Utility Plans showing		
1. Water and sewer connection	<u>X</u>	
2. Stormwater Drainage Plan		<u>X</u>
G. Luminaire Plan showing		
1. Foot Candles	<u>X</u>	
Full Traffic Study (Providing Traffic Memo Herein)		<u>X</u>

**SITE PLAN APPLICATION**  
**TAX AND BETTERMENT PAYMENT CERTIFICATION**

Date 2/24/23

Map 14 Parcel 10

Owner's Name: Our Neighbors Table

Property Address: 114 Bridge Road Salisbury, MA

I, Laura Humphreys, certify that all taxes and applicable betterment's have been paid in full for the property located at Map 14 Parcel 10. The next billing date is Exempt.

Convincible

Laura Humphreys  
Signature: Treasurer or Treasurer's Clerk Date: 2/24/23



**SITE PLAN REVIEW SUBMITTAL CHECKLIST**

*Before any Site Plan Review application can be filed at the town clerk's office, the following departments must receive the specified information and sign below that the information has been received. Departments have 14 days within which they may approve, disapprove, or comment on the proposed plan.*

**Board of Health**

(1 Set of Plans & application) Received By: \_\_\_\_\_ Date: \_\_\_\_\_

**Fire Department**

(1 Set of Plans & application) Received By: \_\_\_\_\_ Date: \_\_\_\_\_

**Department of Public Works**

(3 Sets of Plans & application) Received By: \_\_\_\_\_ Date: \_\_\_\_\_

**Building Department**

(1 Set of Plans & application) Received By: \_\_\_\_\_ Date: \_\_\_\_\_

**Conservation Commission**

(1 Set of Plans & application) Received By: \_\_\_\_\_ Date: \_\_\_\_\_

**Police Department**

(1 Set of Plans & application) Received By: \_\_\_\_\_ Date: \_\_\_\_\_

**Assessor's Department**

(1 Set of Plans & application) Received By: \_\_\_\_\_ Date: \_\_\_\_\_

**Planning Department**

(8 Set of Plans & application) Received By: \_\_\_\_\_ Date: \_\_\_\_\_

**~~Design Review Committee (if Beach Overlay District Applies)~~**

(3 Sets of Plans & application to Planning Department)

Received By: \_\_\_\_\_ Date: \_\_\_\_\_

**~~Housing Partnership Committee (if Inclusionary Zoning Applies)~~**

(1 Set of Plans & application to Town Clerk)

Received By: \_\_\_\_\_ Date: \_\_\_\_\_

**Attachments(17 copies of each—updated in bold):**

1. MTC Cover Letter and Narrative 2/21/23
2. MTC Waiver Request Letter 2/21/23
3. **Millenium Engineering Response to Town of Salisbury Comments 3/16/23**
4. **Floodplain Certification dated 01/22/22**
5. **114 Bridge Road/Our Neighbors' Table Deed**
6. Bayside Engineering Traffic Memo dated 11/04/2022
7. **Millenium Engineering Drawings(updated) dated 3/16/2023: Existing Conditions Plan, Site Plan, Details**
8. Visible Light, Inc Photometric Drawing dated 2/20/2023
9. Merrimack Design Architects Drawings dated 2/13/2023: Cover Sheet, D1-1, D1-2, A1-1, A1-2, A1-3, A2-1, A2-2



Mead, Talerman & Costa, LLC  
Attorneys at Law

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30 Green Street  
Newburyport, MA 01950  
Phone 978.463.7700  
Fax 978.463.7747

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**COVER LETTER &  
NARRATIVE**

February 21, 2023

By Email

Marty Doggett, Chair  
Salisbury Planning Board  
5 Beach Road  
Salisbury, Massachusetts 01952

RE: Major Site Plan Review  
114 Bridge Road (the "Property")  
Assessors Map 14 Lots 10

Dear Chair and Members of the Board:

Reference is made to the above captioned matter. In that connection this firm represents Our Neighbors' Table (the "Applicant") for approval of a Major Site Plan Review in accordance with Article XVIII, Section 300-109-120 of the Salisbury Zoning Bylaw ("SZB") and accompanying regulations of the Planning Board governing Site Plan Review.

The Property is located in the Commercial ("C") zoning district and currently is classified under the table of uses as B-Business and S-2 Storage and will continue to be classified as such after the renovations to the building. The Applicant proposes to renovate the interior of the building and construct a small 8 feet x 51 feet addition on the north side of the building to accommodate a new depressed loading dock in that area. Additionally, there is a modest relocation of the westerly wall of the patio area on the north side of the structure in order to accommodate a generator and transformer for the upgraded electrical service to the building.

The Applicant proposes to operate a regional seacoast food hub and market similar to the Applicant's facility in Amesbury. As you are aware, food insecurity is an epidemic problem in northeast Massachusetts and the Applicant aims to service those families which attempt to meet their food needs by alternative means. One of

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*New Bedford Office*

227 Union Street, Suite 606  
New Bedford, MA 02740

the reasons the Applicant purchased this property is due to its location and prior permitting history which had been completed as recently as 2014<sup>1</sup>. The Applicant is proposing no changes to the exterior of the building but for that noted above. Additionally, there are no changes proposed to the parking layout and traffic flow on the Property but for the delineations on the pavement related to handicap access and walkways. Finally, the Applicant proposes no changes to the previously approved Site Plan landscaping.

As a result, the Applicant has submitted a request for three waivers, Stormwater Analysis, Certified Landscape Plan and Full Traffic Impact Analysis. Said waiver request is attached hereto.

In accordance with the Board's Regulations, I submit the following:

1. Site Plan: the Site Plan attached hereto by Millennium Engineering, Inc. includes the location and boundaries of the Property, the structures, signage, pedestrian access and parking and internal vehicular access, the location of parking, there is no public access as this is a private property, lighting, topography, and water, waste and stormwater utilities.
2. Project Narratives:
  - a. Surface and ground water pollution: A waiver has been requested.
  - b. Soils: A waiver has been requested as part of the storm water analysis.
  - c. Environmental and Community Impact Analysis: The building and use are existing and recently permitted on site. There are no changes to impervious surfaces. There is no discernible change to the landscaping on the Property. The ingress and egress and traffic flow on site remains unchanged. From the bricks and mortar of the Property there will be no negative environmental or community impact. However, there will be a significant benefit to the community from the change of operations on site. The most recent use of the site was a hazardous waste clean-up operation. The risk of those trucks and that material on site will no longer impact the community. The new operations on site,

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<sup>1</sup> Please note, the Applicant is aware of the one outstanding item from prior Site Plan approval which does not go to the physical characteristics of the site and which is being addressed with the Town.

on the other hand will greatly benefit the community, namely the location of the regional food hub for the Applicant. The centralized location of the operations of the Applicant will greatly benefit the residents of Salisbury and the residents of the surrounding community providing a more direct way to address food insecurity in the region. The proposed project will have a net positive impact on the environment and benefits of the community.

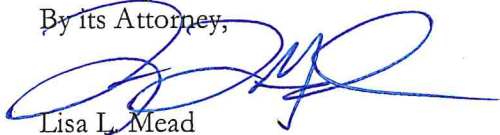
d. Traffic Impacts: The Applicant seeks a waiver for a formal submission of a full traffic impact analysis. However, the Applicant has provided a Traffic Memorandum which states “Compared to the existing office building, the proposed project would have less of an impact during the weekday morning peak hour and a comparable impact during the weekday evening peak hour compared to the former office use.” Ultimately, there is no negative or adverse pedestrian and vehicular impact from the Applicant’s use on the Property.

e. Architectural Style: The Applicant is not proposing any changes to the existing structure.

f. Other Permits: No other permits are required.

We look forward to presenting the plan to the Board.

Respectfully submitted,  
Our Neighbors’ Table  
By its Attorney,



Lisa L. Mead

cc: Client



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Attorneys at Law

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## WAIVER REQUEST

February 21, 2023

By Email

Marty Doggett, Chair  
Salisbury Planning Board  
5 Beach Road  
Salisbury, Massachusetts 01952

RE: Major Site Plan Review  
Waiver Request  
114 Bridge Road (the "Property")  
Assessors Map 14 and Lot 10

Dear Chair and Members of the Board:

Reference is made to the above captioned matter. In that connection this firm represents Our Neighbors' Table (the "Applicant") for approval of a Major Site Plan Review in accordance with Article XVIII, Section 300-109-120 of the Salisbury Zoning Bylaw ("SZB") and accompanying regulations of the Planning Board governing Site Plan Review. This letter shall serve as a formal request for Waivers in accordance with section 300-112(D) of the SZB.

**Request:** Landscape Plan Certified by Landscape Architect: As you are aware, the Property has been previously developed and has received Major Site Plan approval from this Board as recently as 2014 and has achieved a full certificate of compliance but for an unrelated issue as to an easement for the Property. The proposed work will not be impacting any of the previous approved landscaping improvements on the site but for one. That is, on the north side of the building there is a patio which will be slightly reduced in size to accommodate a generator and transformer for the updated electrical service.. This change will not impact the over all landscaping to the extent that a new certified landscape plan should be submitted. Further, while there is proposed to be a new loading dock area on the rear northwest corner of the

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building this does not impact the landscape plan to any great extent. Both the transformer change and the loading area change will not have a discernable impact on the approved landscaping of the Property such that it justifies the creation of a new landscape plan. The provision of a certified landscaping plan is not necessary to serve the public interest and no public benefit would result if one were required.

**Request: Traffic Impacts Report:** The Applicant requests a waiver from providing a full traffic report. The Applicant is providing a Traffic Memo that notes a slight reduction in overall trip generation. Please note, while the use of the Property is changing to some extent, the changes do not justify a full Traffic Impact Report. The parking layout and circulation are not changing to any great extent and the size of the building likewise has a nominal increase in square footage. As a result, the Applicant is providing a traffic memorandum to address the changes which are occurring. The Site Plans include all necessary pedestrian access and vehicular access to and from the site. There is no change to the public infrastructure and no sidewalks exist on Bridge Road. The provision of a formal traffic study is not necessary to serve the public interest given the proposed use and negligible changes to the site.

**Request: Provision of a Stormwater Analysis Memorandum:** The Applicant is not making changes to the Property which would impact or change the current stormwater flow or treatment on site. There is no increase in impervious surface and therefore no analysis is required. While there is a grade change at the new loading dock, that area is already impervious and a trench drain will be added as set forth on the plans. No public benefit will be served by requiring a stormwater analysis given that there is no new impervious surface proposed.

Respectfully submitted,  
Our Neighbors' Table  
By its Attorney,



Lisa L. Mead

cc: Client



**MILLENNIUM ENGINEERING, INC.**  
*Land Surveyors and Civil Engineers*

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March 16, 2023

Salisbury Department of Community Development  
Town Hall  
5 Beach Road  
Salisbury, MA. 01952

Attn: Lisa Pearson, Planning Dept.

Re: 114 Bridge Road Departmental Review Comments, dated March 9, 2023

Ms. Pearson,

The following provides our response to peer review comments referenced above. We have included the departmental review comments and our response to facilitate the Board's review.

<i>Comment / Response</i>	
<b>Application</b>	
<i>Comment 2:</i>	<i>Abutters list is needed.</i>
Response:	The abutters list will be provided as part of the official filing.
<i>Comment 3:</i>	<i>Copy of Current deed for parcels is needed.</i>
Response:	A copy of the current deed will be provided as part of the official filing.
<i>Comment 4:</i>	<i>The applicant will have to work with the Town of Salisbury to get the proper easements in place to comply with the previous Site Plan Approval that is currently still active.</i>
Response:	The applicant will work with the Town of Salisbury regarding the easement.
<b>Existing Conditions Plan (Sheet 1):</b>	
<i>Comment 5:</i>	<i>Please have existing conditions plan signed and stamped by a Professional Land Surveyor.</i>
Response:	The plan has been stamped by a Professional Land Surveyor.
<i>Comment 6:</i>	<i>Additional grading is needed west of the dumpster.</i>
Response:	Additional topography has been provided.
<b>Site Plan (C-3):</b>	
<i>Comment 7:</i>	<i>The proposed dewatering area would feed water south through the swale and into the basin. If the dirt bag were to fail for some reason there would be not protection for the silt laden water. Please move the silt sock so the proposed dewatering area is within the silt sock or add additional silt sock around it.</i>





**MILLENNIUM ENGINEERING, INC.**  
*Land Surveyors and Civil Engineers*

Response:	Additional erosion controls have been provided around the dewatering area.
Comment 8:	<i>Digging for the loading dock, depending on the time of year, the contractor will be 2ft into the groundwater table. This will lead to constant dewatering and the dirt bag will be under constant pressure. For this reason, comment #5 is very important. Please make sure contract has additional dirt bags on site.</i>
Response:	The contractor that will be installing the trench and loading dock has many years of experience working with construction within water. Additional erosion controls have been added around the dewatering area and additional dirt bags can be on site in the event the dirt bag needs to be replaced.
Comment 9:	<i>The proposed depressed loading dock shows a bottom elevation of 6.2 and there will be a trench drain which will feed into a pump station. Based on the test pit information shown on Sheet -3, the ESHWT is at EL 8.3. This means that at certain times of the year that concrete around the drain will be within the groundwater. How will the concrete be affected by the groundwater?</i>
Response:	Concrete is commonly placed within groundwater either for foundations or footings. There is no concern over the concrete being within groundwater during certain times of the year.
Comment 10:	<i>If the loading dock were to be affected by a flood, where would all the water go? Detail: The pump station would dump the water out through the riprap and based on the grades it would follow the arrows shown above. It would then pool behind the dumpster. It won't continue north due to the grades going up in elevation and we don't have enough grades west of the dumpster to know what the grades look like back there. So, the water will either go west towards the wetland or east back to the pavement and back into the loading dock.</i>
Response:	The area of the loading dock is located outside of the 100-yr floodplain. The flow from the pump station would discharge to the west of the building and ultimately flow to the wetland located off-site. Additional grades have been provided.
Comment 11:	<i>The addition of this trench and pump station is enough of a change that we will require a stormwater report to ensure no adverse impacts.</i>
Response:	We disagree that the installation of the pump station would require a Stormwater Report. The extent of the changes to the site includes the installation of the loading dock and trench drain. The grades will be modified in this area but will not change the flow paths or subcatchments for the site. The entirety of the area that is being modified is currently impervious surface and is proposed to remain impervious. There is no net increase in impervious area, no change to the flow paths of the site, and there is no connection being made to the Town's drainage system, therefore providing a stormwater report is not required.
<b>Site Lighting Layout Plan:</b>	
Comment 12:	No Comments.
Response:	No response required.
<b>Landscape Plan</b>	
Comment 13:	<i>A waiver has been requested from the Landscape Plan based on the fact that the landscaping will remain the same. The Planning Board may require a landscape plan.</i>



**MILLENNIUM ENGINEERING, INC.**  
*Land Surveyors and Civil Engineers*

Response:	No response required.
<b>Stormwater Report</b>	
Comment 14:	<i>The applicant has requested a waiver from providing a stormwater report. The applicant is proposing to add a trench at the bottom of the proposed depressed loading dock. That trench will feed into a pump station that will regulate the stormwater coming out. Based on concerns in comments #9, #10, and #11, as well as the MS4 State permit requirement for a stormwater report, the Planning Department would request a stormwater report be submitted with the Site Plan Review Submission. If the applicant would like to get a waiver, they would be advised to make that request to the Planning Board prior to making their submission. This may delay your Site Plan Review submission date if the Planning Board requires a stormwater report.</i>
Response:	It is our opinion that there is no change to the runoff for the site and thus a Stormwater Report is not required. It is our intent to file for Site Plan Review and discuss the waiver with the Board during the permitting process and not ahead of the filing of the SPR.
<b>Traffic Impact Analysis</b>	
Comment 15:	<i>The Police Chief provided a comment on the waiver request for the Traffic Impact Study. The Police Chief has requested that a traffic impact study be completed so that we can properly understand the impact on Bridge Road and how to properly mitigate it. This will need to be reviewed by a Traffic Engineer to determine whether a full Traffic Impact Study is needed.</i>
Response:	This item was discussed with the Assistant Planner and it was determined that the Traffic Memo that was provided will be reviewed to determine whether a Traffic Impact Study would be necessary.

We trust this response letter provides the necessary information for the Board's consideration of the request for completeness. If you have any questions or comments, please feel free to contact our office at your convenience.

Sincerely,

Millennium Engineering, Inc.

  
James Melvin, P.E.  
Project Manager

w/ Attachments

DEPARTMENT OF HOMELAND SECURITY  
Federal Emergency Management Agency  
**STANDARD FLOOD HAZARD DETERMINATION FORM (SFHDF)**

OMB Control No. 1660-0040  
Expires: 10/31/18

**SECTION I - LOAN INFORMATION**

1. LENDER/SERVICER NAME AND ADDRESS <b>Newburyport Five Cents Savings Bank</b> 63 State St Newburyport, MA 01950  <b>Branch:</b> 63 State Street <b>Requested By:</b> Shelly Prentiss		2. COLLATERAL DESCRIPTION (Building/Mobile Home/Property) (See instructions for more information.) <b>114 BRIDGE RD</b> <b>SALISBURY, MA 01952</b>  <b>Borrower:</b> Our Neighbors' Table, Inc, or Nominee	
3. LENDER/SERVICER ID # <b>90251</b>	4. LOAN IDENTIFIER	5. AMOUNT OF FLOOD INSURANCE REQUIRED	

**SECTION II**

**A. NATIONAL FLOOD INSURANCE PROGRAM (NFIP) COMMUNITY JURISDICTION**

1. NFIP Community Name <b>SALISBURY, TOWN OF</b>	2. County(ies) <b>ESSEX</b>	3. State <b>MA</b>	4. NFIP Community Number <b>250103</b>
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**B. NATIONAL FLOOD INSURANCE PROGRAM (NFIP) DATA AFFECTING BUILDING/MOBILE HOME**

1. NFIP Map Number or Community-Panel Number (Community name, if not the same as "A") <b>25009C 0128F</b>	2. NFIP Map Panel Effective/Revised Date <b>07/03/12</b>	3. Is there a Letter of Map Change (LOMC)? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES (if yes, and LOMC date/no. is available, enter date and case no. below).  Date <b>03/28/13</b> Case No. <b>13-01-1272A</b>	
4. Flood Zone <b>X500*</b>	5. No NFIP Map		

**C. FEDERAL FLOOD INSURANCE AVAILABILITY (Check all that apply.)**

1. ☒ Federal Flood Insurance is available (community participates in the NFIP). ☒ Regular Program ☐ Emergency Program of NFIP

2. ☐ Federal Flood Insurance is not available (community does not participate in the NFIP).

3. ☐ Building/Mobile Home is in a Coastal Barrier Resources Area (CBRA) or Otherwise Protected Area (OPA). Federal Flood Insurance may not be available.  
CBRA/OPA Designation Date: \_\_\_\_\_

**D. DETERMINATION**

**IS BUILDING/MOBILE HOME IN SPECIAL FLOOD HAZARD AREA (ZONES CONTAINING THE LETTERS "A" OR "V") ?** ☐ YES ☒ NO

If yes, flood insurance is required by the Flood Disaster Protection Act of 1973.  
If no, flood insurance is not required by the Flood Disaster Protection Act of 1973. Please note, the risk of flooding in this area is only reduced, not removed.

This determination is based on examining the NFIP map, any Federal Emergency Management Agency revisions to it, and any other information needed to locate the building/mobile home on the NFIP map.

**E. COMMENTS (Optional)**

**\* The subject property IS PARTIALLY WITHIN a Special Flood Hazard Area. The existing STRUCTURE, however, is not affected and is not in the floodplain.**

**THIS FLOOD DETERMINATION IS PROVIDED TO THE LENDER PURSUANT TO THE FLOOD DISASTER PROTECTION ACT. IT SHOULD NOT BE USED FOR ANY OTHER PURPOSE.**

**F. PREPARER'S INFORMATION**

NAME, ADDRESS, TELEPHONE NUMBER (If other than Lender) <b>CoreLogic Flood Services</b> <b>1825A Kramer Lane</b> <b>Austin, TX 78758</b> <b>1-800-447-1772</b>	DATE OF DETERMINATION <b>01/25/22 at 09:35 AM CST</b> <b>FloodCert #: 2201817792</b> <b>*** LIFE-OF-LOAN ***</b>
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## QUITCLAIM DEED



SO.ESSEX #448 Bk:40805 Pg:587  
03/21/2022 03:26 PM DEED Pg 1/3  
eRecorded

BRUDAC, LLC, a Massachusetts Limited Liability Company with a principal place of business at 79 Parker Street, Newburyport, MA 01950

For consideration paid, and in full consideration of Three Million Four Hundred Thousand and no/100 (U.S. \$3,400,000.00) Dollars,

Grant to OUR NEIGHBORS' TABLE, INC., a Massachusetts nonprofit corporation with an address of 194 Main Street, P.O. Box 592, Amesbury, MA 01913

with ***QUITCLAIM COVENANTS*** the following property in Essex County, Massachusetts.

PROPERTY: 108 BRIDGE ROAD, SALISBURY, MA

MASSACHUSETTS EXCISE TAX  
Southern Essex District ROD  
Date: 03/21/2022 03:26 PM  
ID: 1518688 Doc# 20220321004480  
Fee: \$15,504.00 Cons: \$3,400,000.00

A certain parcel of land with the buildings thereon situate on the Westerly side of Bridge Road, in the Town of Salisbury, Essex County, Massachusetts described as follows:

Beginning at an iron stake where the state highway known as Bridge Road, and the land of Hodgdon, formerly of George Liverey, and the land of the grantors meet and running in a Southerly direction by said state highway, known as Bridge Road, to an iron stake and remaining land of the grantors one hundred (100) feet; thence turning and running in a Westerly direction by remaining land of the grantors to an iron post and land of the Boston and Main Railroad about three hundred thirty (330) feet; thence turning and running in a Northerly direction by land of the Boston and Maine Railroad to an iron stake and land of Hodgdon, formerly of George Liverey, ninety-two (92) feet; thence turning and running in an Easterly direction by land of Hodgdon, formerly of George Liverey, to an iron stake and Bridge Road about three hundred and thirty-four (334) feet to the point of beginning.

PROPERTY: 114 BRIDGE ROAD, SALISBURY MA

The land in the Town of Salisbury with the buildings thereon, containing three acres and one hundred forty seven rods, being the same more or less, bounded and described as follows:

EASTERLY: by State Highway leading from Newburyport to Salisbury Square;  
NORTHERLY: by land now or formerly of George Liverey, thence measuring twenty rods and six links;  
WESTERLY: by the Boston and Maine Railroad; and  
SOUTHERLY: by land now or formerly of John Dow.

Also see plan recorded on November 15, 2005 at the Essex South District Registry of Deeds in Plan book 393, Plan 12.

108 Bridge Road, Salisbury and 114 Bridge Road Salisbury, MA

The above-described premise are conveyed subject to and together with the benefit of the following:

1. Rights reserved in a deed from George A. Dow to Elizabeth Houle dated January 29, 1902 and recorded with the Essex South District Registry of Deeds in Book 1664, Page 389.
2. Terms of a Special permit issued by the Salisbury Zoning Board of Appeals, a notice of which is recorded with the said Registry of Deeds in Book 19782, Page 121.
3. Matters set forth in that certain Affidavit from David A. Cowie dated March 31, 2014 and recorded with the said Registry of Deeds in Book 33207, Page 535.

For title, see Foreclosure Deed recorded in Book 31727, Page 437.

*[SIGNATURE PAGES TO FOLLOW]*

Witness my hand and seal this 21<sup>st</sup> day of March, 2022.

BRUDAC, LLC,




By: David A. Cowie, Manager

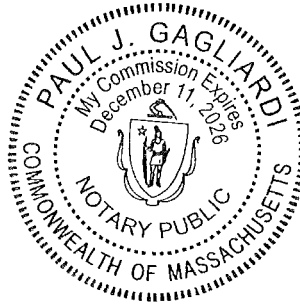
**COMMONWEALTH OF MASSACHUSETTS**

Essex, ss.

On this 21<sup>st</sup> day of March, 2022, before me, the undersigned notary public, personally appeared **David A. Cowie, Manager of BRUDAC, LLC**, and proved to me through satisfactory evidence of identification, which was Driver's License, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that he signed it voluntarily for stated purpose as the free act and deed of BRUDAC, LLC.



Notary Public  
My commission expires:





600 Unicorn Park Drive σ Woburn, MA 01801

Phone: 781-932-3201 σ Fax: 781-932-3413

## MEMORANDUM

**TO:** Lyndsey Haight  
Our Neighbors' Table

**FROM:** Kenneth P. Cram, P.E.

**DATE:** November 4, 2022

**RE:** Proposed Food Pantry  
Salisbury, MA

---

Bayside Engineering has prepared this traffic memorandum to qualitatively assess the traffic impacts associated with the re-use of the existing building at 114 Bridge Road in Salisbury, MA.

As currently proposed, the Project will consist of the renovation of the existing 23,438 square foot (sf) building into a Food Hub (the 'Project'). Parking will be provided for 86 vehicles. Access will be provided by way of the existing two full movement driveways to Bridge Road.

This memorandum identifies existing conditions on Bridge Road, performed crash research for the length of Bridge Road in the site vicinity, compared trip generation projections, and offers an opinion on the expected Project's impacts. Based on the analysis, compared to the existing office building, the proposed project would have less of an impact during the weekday morning peak hour and a comparable impact during the weekday evening peak hour compared to the former office use.

### EXISTING CONDITIONS

Bridge Road (Route 1) is under the jurisdiction of the Massachusetts Department of Transportation (MassDOT) in the vicinity of the site. Bridge Road is functionally classified as a Rural Major Collector. Bridge Road provides one travel lane per direction that runs through Salisbury from the intersection with Beach Road southerly to the Merrimack River where the name changes to Newburyport Turnpike. Travel lanes are separated by a double yellow centerline, with marked shoulders provided. The posted speed limit in the vicinity of the site is 45 miles per hour (mph). Illumination is provided by luminaries mounted on poles. The pavement is in good condition having recently been resurfaced. There are no sidewalks along Bridge Road in the site vicinity. Land use along Bridge Road consists primarily of commercial uses.

Figure 1 shows the site in relation to Bridge Road.





**Figure 1**  
**Site Location Map**

## **COLLISION ANALYSIS**

### **Motor Vehicle Crash Data**

Motor vehicle crash data for the study area was researched through MassDOT's IMPACT website. Crash data from 2017 through October 31, 2022 was reviewed. The motor vehicle crash data was reviewed to determine crash trends along Bridge Road in the site vicinity. No crashes were reported over the almost six-year period at the site driveways or on Bridge Road in the site vicinity.

## **TRAFFIC GENERATION**

The site was previously used as a car dealership (building footprint was approximately 13,660 sf). Then, the building was converted and expanded by 9,778 sf to become an office building. The current proposal is to convert the existing 23,348 sf into a food pantry/delivery service company. There will also be a food market in the building with about 100 visitors per day.

### **Former Site Traffic Generation**

Site generated traffic was based on trip-generation data published by the ITE *Trip Generation* manual<sup>1</sup> for the existing vacant office/contractor's building, assuming it were to be re-occupied. It was owned and occupied by ENPRO, an environmental clean-up/project company which had an office component, but also had many trucks on site that were going back and forth to their project sites.

Trip generation data for Land Use Code (LUC) 710 – General Office Building was reviewed. The existing building comprises approximately 23,348 sf of space. The trip generation for the existing building is summarized in Table 1. The trip generation worksheets are included in the Appendix.

**TABLE 1**  
**PREVIOUS TRIP GENERATION SUMMARY**

	Former Use as an Office Building Trips <sup>a</sup>
Average Weekday Daily Traffic	328
<i>Weekday Morning Peak Hour:</i>	
Entering	42
<u>Exiting</u>	<u>6</u>
Total	48
<i>Weekday Evening Peak Hour:</i>	
Entering	9
<u>Exiting</u>	<u>41</u>
Total	50

<sup>a</sup>Based on ITE LUC 710 – General Office Building; 23,438 ksf.

<sup>1</sup>*Trip Generation*, Eleventh Edition; Institute of Transportation Engineers; Washington, DC; 2021.

On a typical weekday, the existing office would have been expected to generate 328 daily vehicle trips (164 vehicles entering and 164 vehicles exiting). During the weekday morning peak hour, 48 vehicle trips (42 vehicles entering and 6 vehicles exiting) would have been expected. During the weekday evening peak hour, 50 vehicle trips (9 vehicles entering and 41 vehicles exiting) would be expected.

### **Proposed Site Traffic Generation**

Site generated traffic for the proposed food pantry was based on characteristics of the proposed food pantry as there is no corresponding land use code in the current ITE *Trip Generation* manual<sup>2</sup>. The trip generation for the proposed food pantry was determined based on the expected number of employees, expected site operations and delivery activities. These characteristics are summarized in Table 2.

**TABLE 2**  
**PROPOSED FOOD HUB CHARACTERISTICS <sup>a</sup>**

Food Hub Characteristics
Maximum of 50 employees, eight (8) to ten (10) per day in the food market.
Two to three tractor trailer trucks per week.
Five (5) to six (6) box trucks in/out, two (2) to three (3) times per week.
Three (3) small box trucks in/out daily, Monday to Friday.
Food Market within building with 100 visitors per day. Food Market expected to be open up to six (6) hours per day, up to four (4) days per week, including Saturday. Hours expected to vary between 9:00 AM and 6:30 PM.
Office Hours for administrative staff are 8:00 AM to 4:00 PM. Up to fifteen (15) employees per day.

<sup>a</sup>Staffing estimates provided by Our Neighbors' Table.

Using the above information from Table 2 and increasing the daily numbers to account for miscellaneous trips (10% contingency), the Project's traffic generation was determined as summarized in Table 3. The trip generation worksheets are included in the Appendix.

<sup>2</sup>Ibid.

**TABLE 3**  
**PROPOSED TRIP GENERATION SUMMARY**

	Proposed Food Hub Trips <sup>c</sup>
Average Weekday Daily Traffic	298
<i>Weekday Morning Peak Hour:</i>	
Entering	20
<u>Exiting</u>	<u>2</u>
Total	22
<i>Weekday Evening Peak Hour:</i>	
Entering	14
<u>Exiting</u>	<u>32</u>
Total	46

<sup>a</sup>Based on expected food pantry characteristics.

On a typical weekday, the proposed Project is expected to generate 298 daily vehicle trips (149 vehicles entering and 149 vehicles exiting). During the weekday morning peak hour, 22 vehicle trips (20 vehicles entering and 2 vehicles exiting) are expected. During the weekday evening peak hour, 46 vehicle trips (14 vehicles entering and 32 vehicles exiting) are expected.

Table 4 compares the former office trip generation to those of the proposed Project.

**TABLE 4**  
**TRIP GENERATION COMPARISON**

	Former Use as an Office Building Trips <sup>a</sup>	Proposed Food Hub Trips <sup>b</sup>
Average Weekday Daily Traffic	328	298
<i>Weekday Morning Peak Hour:</i>		
Entering	42	20
<u>Exiting</u>	<u>6</u>	<u>2</u>
Total	48	22
<i>Weekday Evening Peak Hour:</i>		
Entering	9	14
<u>Exiting</u>	<u>41</u>	<u>32</u>
Total	50	46

<sup>a</sup>From Table 1.

<sup>b</sup>From Table 3.

Compared to the existing office building, the proposed project would have less of an impact during the weekday morning peak hour and a comparable impact during the weekday evening peak hour compared to the former office use.



## **APPENDIX**

### **TRIP GENERATION WORKSHEETS**

## Former Office Space, Salisbury, MA

### Land Use Code (LUC) 710 - General Office Building

Source: Institute of Transportation Engineers (ITE) - 11th Edition

Average Vehicle Trips Ends vs: 1,000 Sq. Feet Gross Floor Area  
Independent Variable (X): 23.438 ksf

#### AVERAGE WEEKDAY DAILY

$\ln T = 0.87 \ln (X) + 3.05$   $R^2 = 0.78$   
 $\ln T = 0.87 \ln (23.438) + 3.05$  59 Studies, Average Rate = 10.84 trips/ksf  
 $\ln T = 5.79$  Avg size = 163 ksf  
 $T = 328.42$   
 $T = 328$  vehicle trips  
with 50% (164 vph) entering and 50% (164 vph) exiting.

#### WEEKDAY MORNING PEAK HOUR OF ADJACENT STREET TRAFFIC

$\ln T = 0.86 \ln (X) + 1.16$   $R^2 = 0.78$   
 $\ln T = 0.86 \ln (23.438) + 1.16$  221 Studies, Average Rate = 1.52 trips/ksf  
 $\ln T = 3.87$  Avg size = 201 ksf  
 $T = 48.07$   
 $T = 48$  vehicle trips  
with 88% (42 vph) entering and 12% (6 vph) exiting.

#### WEEKDAY EVENING PEAK HOUR OF ADJACENT STREET TRAFFIC

$\ln T = 0.83 \ln (X) + 1.29$   $R^2 = 0.77$   
 $\ln T = 0.83 \ln (23.438) + 1.29$  232 Studies, Average Rate = 1.44 trips/ksf  
 $\ln T = 3.91$  Avg size = 199 ksf  
 $T = 49.81$   
 $T = 50$  vehicle trips  
with 17% (9 vph) entering and 83% (41 vph) exiting.

#### SATURDAY DAILY

$T = 2.21 * (X)$  No Formula  
 $T = 2.21 * (23.438)$  5 Studies, Average Rate = 2.21 trips/ksf  
 $T = 51.80$  Avg size = 94 ksf  
 $T = 52$  vehicle trips  
with 50% (26 vpd) entering and 50% (26 vpd) exiting.  
1.11 1.11

#### SATURDAY MIDDAY PEAK HOUR OF GENERATOR

$T = 0.53 * (X)$  No Formula  
 $T = 0.53 * (23.438)$  3 Studies, Average Rate = 0.53 trips/ksf  
 $T = 12.42$  Avg size = 82 ksf  
 $T = 12$  vehicle trips  
with 54% (6 vpd) entering and 46% (6 vpd) exiting.  
0.26 0.26



## **Former Office Space, Salisbury, MA**

### **Land Use Code (LUC) 710 - General Office Building**

**Source: Institute of Transportation Engineers (ITE) - 11th Edition**

Average Vehicle Trips Ends vs:	1,000 Sq. Feet Gross Floor Area
Independent Variable (X):	23.438 ksf

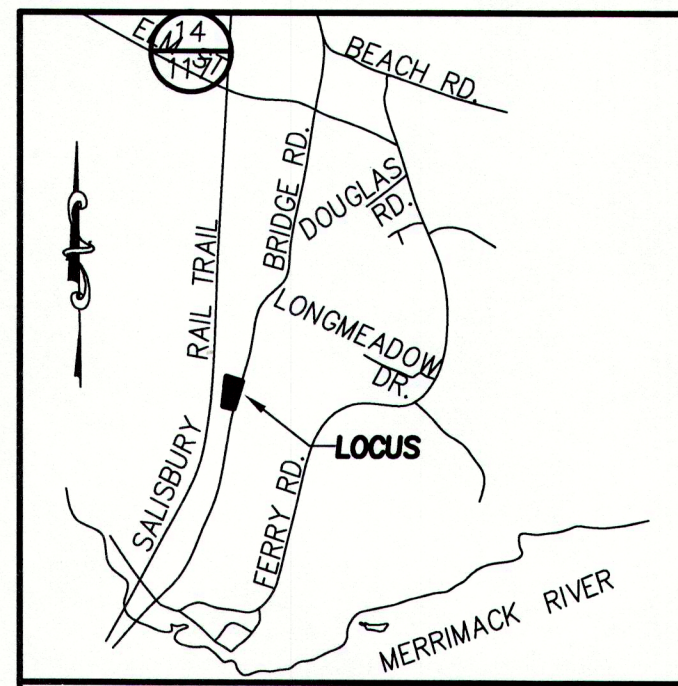
## Salisbury, MA

## Weekday Food P

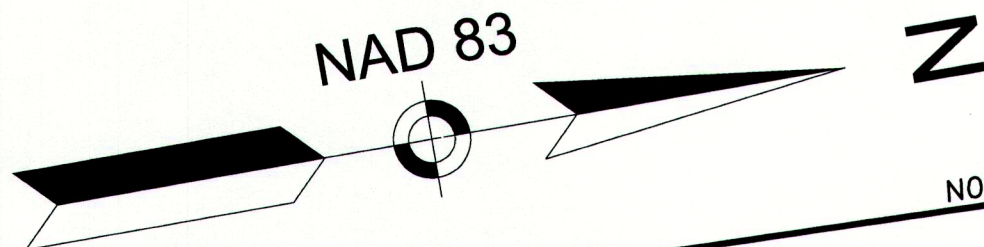
Weekday	Food Pantry Employees			2-3 TTT/wk		5-6 Box Trucks		3 Small Box Trucks		Food Market Visitors		Administration		Total	
	In	Out		In2	Out2	In3	Out3	In4	Out4	In5	Out5	In6	Out6	In10	Out10
12:00-12:15 AM														0	0
12:15-12:30 AM														0	0
12:30-12:45 AM														0	0
12:45-1:00 AM														0	0
1:00-1:15 AM														0	0
1:15-1:30 AM														0	0
1:30-1:45 AM														0	0
1:45-2:00 AM														0	0
2:00-2:15 AM														0	0
2:15-2:30 AM														0	0
2:30-2:45 AM														0	0
2:45-3:00 AM														0	0
3:00-3:15 AM														0	0
3:15-3:30 AM														0	0
3:30-3:45 AM														0	0
3:45-4:00 AM														0	0
4:00-4:15 AM														0	0
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4:30-4:45 AM														0	0
4:45-5:00 AM														0	0
5:00-5:15 AM														0	0
5:15-5:30 AM														0	0
5:30-5:45 AM														0	0
5:45-6:00 AM														0	0
6:00-6:15 AM														0	0
6:15-6:30 AM														0	0
6:30-6:45 AM														0	0
6:45-7:00 AM														0	0
7:00-7:15 AM														0	0
7:15-7:30 AM														0	0
7:30-7:45 AM														0	0
7:45-8:00 AM												15		15	0
8:00-8:15 AM														0	0
8:15-8:30 AM									1					0	1
8:30-8:45 AM	5								1					5	1
8:45-9:00 AM									1					0	1
9:00-9:15 AM														0	0
9:15-9:30 AM														0	0
9:30-9:45 AM														0	0
9:45-10:00 AM										10				10	0
10:00-10:15 AM														0	0
10:15-10:30 AM		1		1						8	10			10	10
10:30-10:45 AM														0	0
10:45-11:00 AM							1			5	8			5	9
11:00-11:15 AM														0	0
11:15-11:30 AM						1				9	5			10	5
11:30-11:45 AM														0	0

Weekday	Food Pantry Employees			2-3 TTT/wk			5-6 Box Trucks			3 Small Box Trucks			Food Market Visitors			Administration			Total	
	Time	In	Out	In2	Out2	In3	Out3	In4	Out4	In5	Out5	In6	Out6	In10	Out10					
	11:45-12:00 PM	5					1			5	9			10	10					
	12:00-12:15 PM		5											0	5					
	12:15-12:30 PM					1				8	5			9	5					
	12:30-12:45 PM													0	0					
	12:45-1:00 PM						1			8	8			8	9					
	1:00-1:15 PM													0	0					
	1:15-1:30 PM					1				8	8			9	8					
	1:30-1:45 PM													0	0					
	1:45-2:00 PM					1	1			8	8			9	9					
	2:00-2:15 PM													0	0					
	2:15-2:30 PM						1	1		8	8			9	9					
	2:30-2:45 PM					1		1						2	0					
	2:45-3:00 PM				1			1		9	8			10	9					
	3:00-3:15 PM		5				1							0	6					
	3:15-3:30 PM									8	9			8	9					
	3:30-3:45 PM													0	0					
	3:45-4:00 PM									6	8			6	8					
	4:00-4:15 PM												15	0	15					
	4:15-4:30 PM										6			0	6					
	4:30-4:45 PM													0	0					
	4:45-5:00 PM													0	0					
	5:00-5:15 PM													0	0					
	5:15-5:30 PM													0	0					
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	9:45-10:00 PM													0	0					
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	10:30-10:45 PM													0	0					
	10:45-11:00 PM													0	0					
	11:00-11:15 PM													0	0					
	11:15-11:30 PM													0	0					
	11:30-11:45 PM													0	0					
	11:45-12:00 AM													0	0					
	TOTAL	10	10	1	1	6	6	3	3	100	100	15	15	135	135					





ZONING TABLE		
114 BRIDGE ROAD - ASSESSORS MAP 14 LOT 10 ZONING DISTRICT COMMERCIAL C		
	REQUIRED	EXISTING
LOT AREA:	½ AC.	3.76 AC.
LOT FRONTAGE:	100 FT.	587.14 FT
FRONT SETBACK:	50 FT	75.2 FT
SIDE SETBACK:	20 FT.	103.3 FT
REAR SETBACK:	20 FT.	82.1 FT
LOT COVERAGE:	25% MAX	10.3%
OPEN SPACE:	**	**
BLDG HEIGHT:	35 FT.	< 35 FT



**OWNER OF RECORD**

OUR NEIGHBORS' TABLE, INC.  
194 MAIN STREET  
P.O. BOX 592  
AMESBURY, MA 01913  
BK. 40805 PG. 587

**BASIS OF BEARINGS**

MSPCS-NAD83

**PLAN REFERENCE**

PLAN BOOK 393 PLAN 12

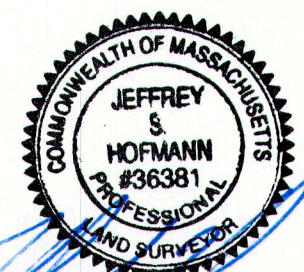
**NOTES:**

- 1.) A PORTION OF THE SUBJECT LOT IS IN ZONE AE AS SHOWN ON FEMA MAP #25009C0128 F, WITH AN EFFECTIVE DATE OF JULY 3, 2012. THE BASE FLOOD ELEVATION IS ELEVATION 9 (NAVD 88).
- 2.) VERTICAL DATUM IS NAVD 1988.
- 3.) SEE LETTER OF MAP AMENDMENT DETERMINATION DOCUMENT (REMOVAL) DATED MARCH 28, 2013, CASE # 13-01-1272A, DEPICTING LOCATION SHOWN HEREON. AREA WITHIN LOMA = 48,744 S.F.±.

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN OF SALISBURY ASSESSORS RECORDS.

I CERTIFY:  
THAT THE PROPERTY LINES SHOWN ARE THE LINES OF EXISTING OWNERSHIP AND THE LINES OF STREETS AND WAYS SHOWN ARE THE LINES OF STREETS AND WAYS ALREADY EXISTING AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW STREETS OR WAYS ARE SHOWN.

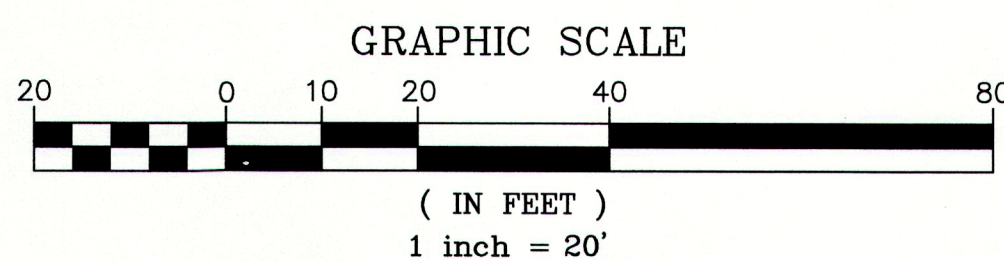
I CERTIFY:  
THAT THIS ACTUAL SURVEY WAS MADE ON THE GROUND IN MAY 27, 2021.



PROFESSIONAL LAND SURVEYOR DATE 3/14/23

**LEGEND**

- |          |                            |         |                |
|----------|----------------------------|---------|----------------|
| ■ E.C.B. | ESSEX COUNTY BOUND         | ⊙       | SEWER MAN HOLE |
| ● D.H.   | DRILL HOLE                 | ⊙       | DRAIN MAN HOLE |
| ● I ROD  | IRON ROD                   | □       | CATCH BASIN    |
| ○ FND.   | FOUND                      | ⊙       | WELL           |
| —        | STONE WALL                 | ⊙ UP 7  | UTILITY POLE   |
| WF A-29  | WET FLAG DESIGNATION       | — D —   | DRAINAGE       |
| —        | WETLAND AREA               | — W —   | WATER          |
| — 10 —   | EXISTING ELEVATION CONTOUR | — S —   | SEWER          |
| 0/00     | ASSESSORS MAP              | — G —   | GAS            |
|          | ASSESSORS PARCEL           | — OHW — | OVERHEAD WIRE  |



PREPARED FOR  
**OUR NEIGHBOR'S TABLE**  
P.O. BOX 592  
AMESBURY, MA 01913

1	3/16/23	RESPONSE TO TOWN COMMENTS	J.T.M.
NO.	DATE	DESCRIPTION	BY



**MILLENNIUM ENGINEERING, INC.**  
ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=20'  
DATE: MARCH 15, 2023  
DESC. BY: P.D.B.  
CHKD. BY: J.S.H.  
PROJECT: M224077

**SITE PLAN**  
IN  
**SALISBURY, MA**  
AT  
**114 BRIDGE ROAD**

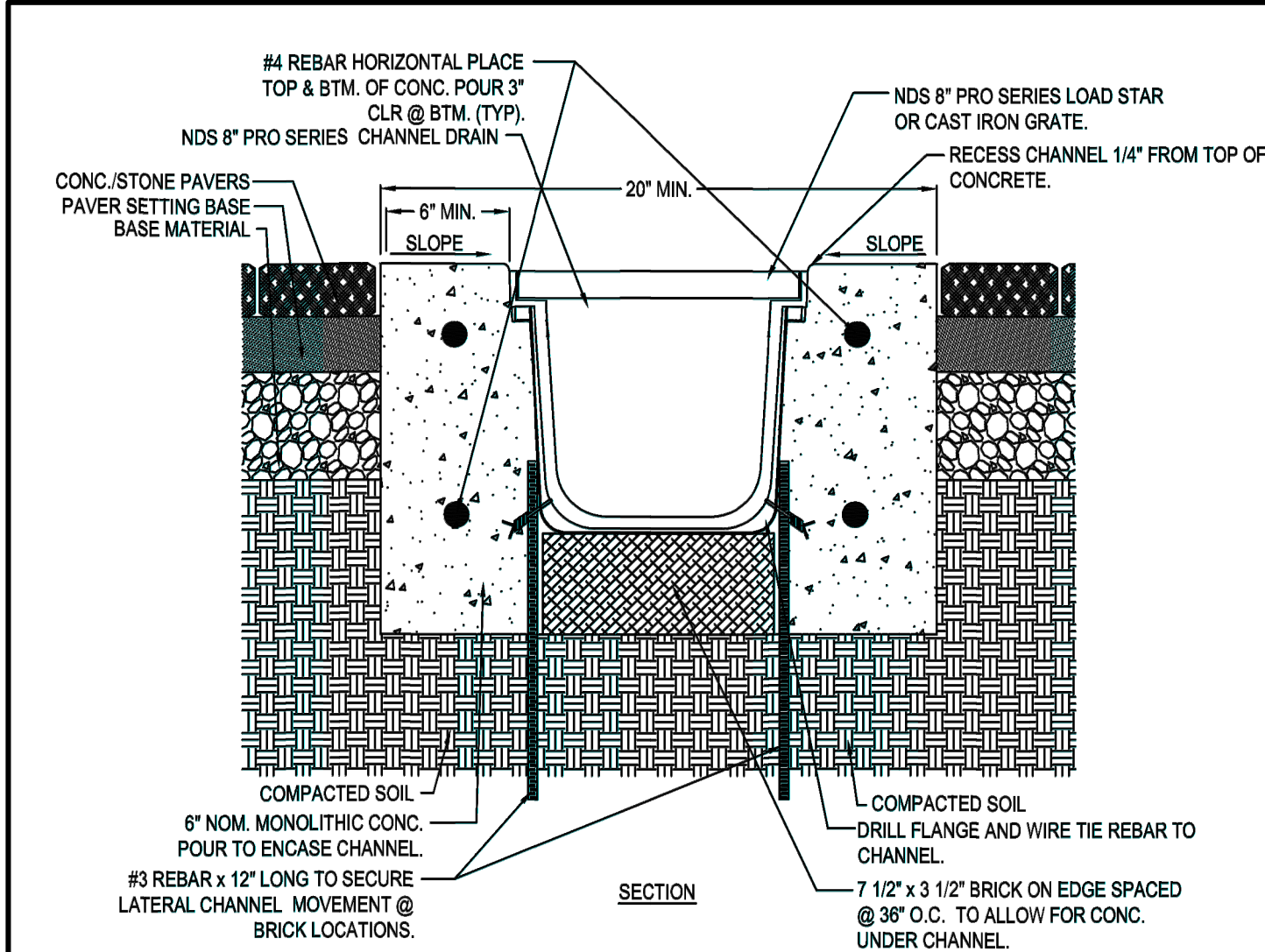
**EXISTING  
CONDITIONS**

SHEET: 1 OF 3



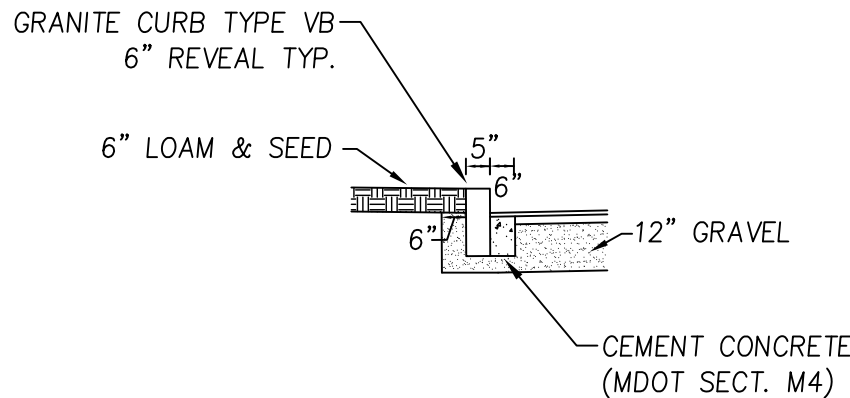






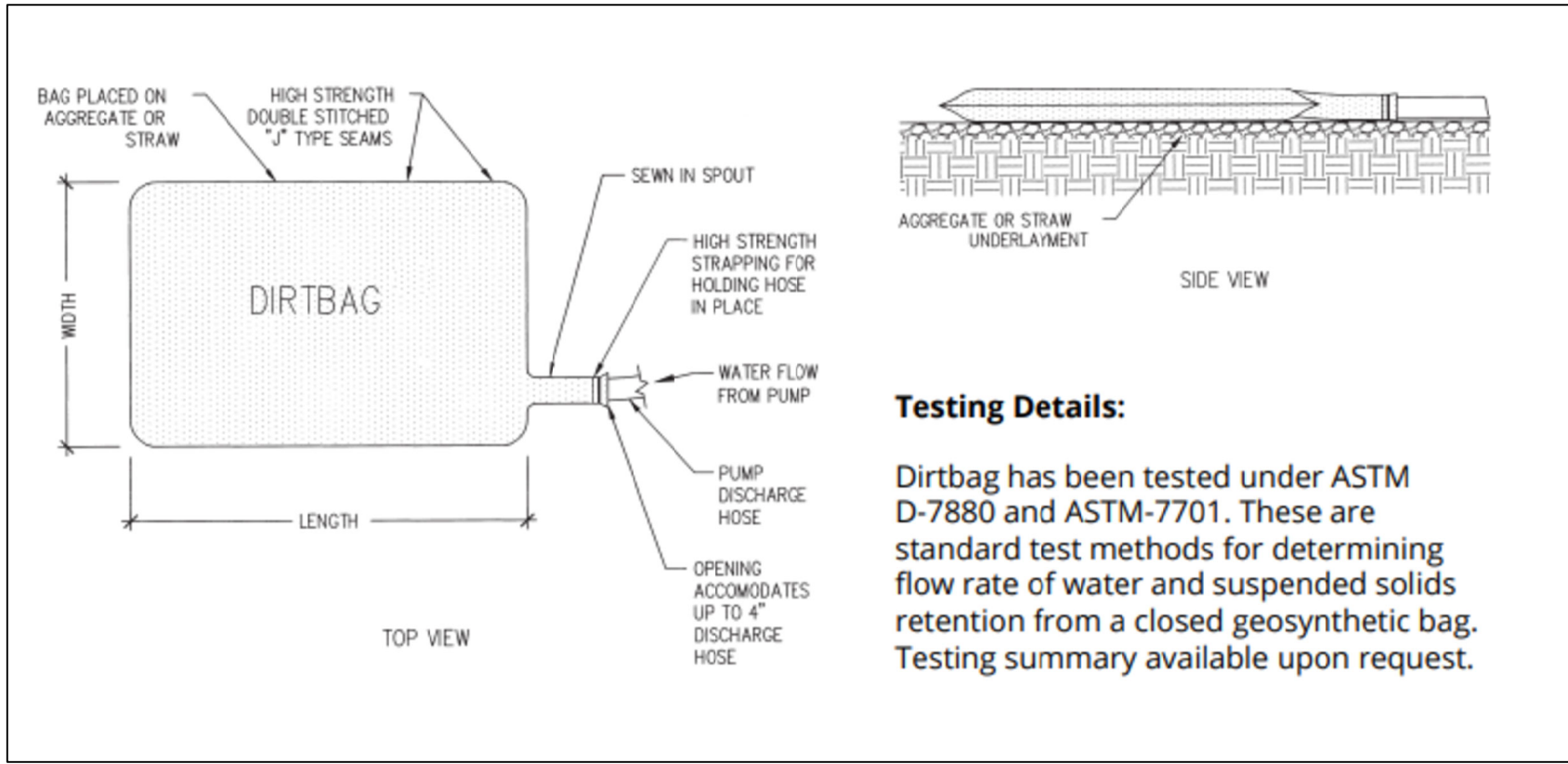
TRENCH DRAIN  
DETAIL

N.T.S.



TYPICAL GRANITE CURBING  
INSTALLATION DETAIL

N.T.S.



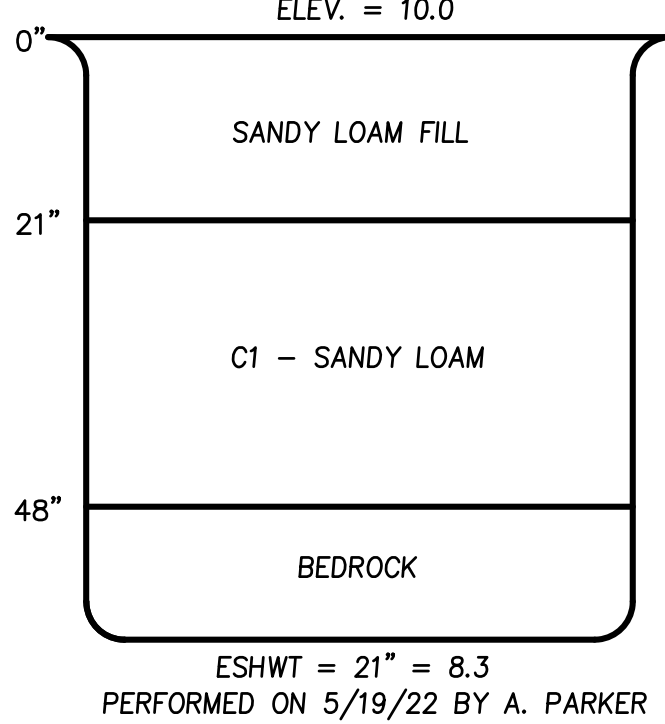
NOTE

1. "DIRTBAG" DEWATERING BAG BY ACF ENVIRONMENTAL OR APPROVED EQUAL.

TYPICAL DEWATERING  
DETAIL

N.T.S.

TEST PIT#22-1

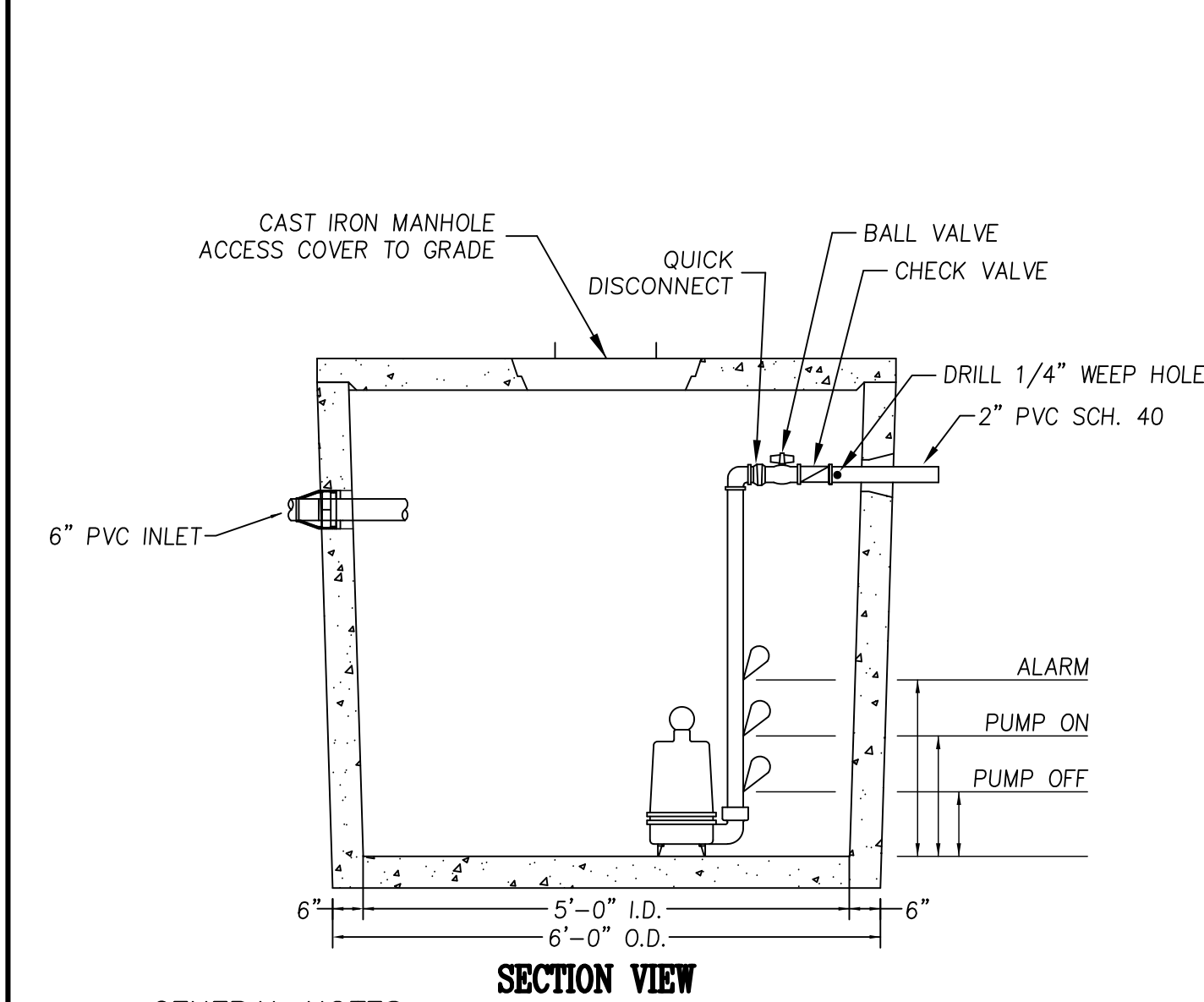


NOTES

- ALL MATERIAL SHALL MEET SPECIFICATIONS BY FILTREXX OR APPROVED EQUAL.
- SILT SOCK SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- THE CONTRACTOR SHALL REMOVE SEDIMENT AT THE BASE OF THE UPSLOPE SIDE OF THE SILT SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE SILT SOCK.
- SILT SOCK SHALL BE MAINTAINED UNTIL DISTURBED AREA ABOVE THE DEVICE HAS BEEN PERMANENTLY STABILIZED AND CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
- SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE SOCK HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

SILT SOCK  
INSTALLATION

N.T.S.



GENERAL NOTES:

- CONCRETE TO BE 5,000 P.S.I. AFTER 28 DAYS.
- REINFORCING: WALLS 4X4/4X4 W.W.M.; FLOOR & SLAB TOP #5'S @ 8" O.C.
- JOINTS TO BE SEALED WITH BUTYL RUBBER SEALANT.
- PUMP STATION SHALL BE INSTALLED AT GRADE.
- PUMP SHALL BE NON-CLOG PUMP WITH THE FOLLOWING SPECIFICATIONS:

PUMP INFORMATION

LIBERTY SUMP PUMP HEAD: 0-22.5 FEET  
MODEL#: 251 FLOW: 0-50 GPM  
SOLIDS HANDLING: 1/2" IMPELLER: VORTEX  
HORSE POWER: 0.33HP

DISCHARGE PIPE SIZE = 2"  
GROUND ELEV. = 9.8  
INVERT IN ELEV. = 4.8  
INVERT OUT ELEV. = 5.3  
HIGH WATER ALARM ELEV. = 2.8  
PUMP ON ELEV. = 2.3  
PUMP OFF ELEV. = 1.3  
PUMP FLOOR ELEV. = 0.0

DESIGN NOTES:

- Steel Reinforcement - ASTM A-615, Grade 60 Rebar  
ASTM A-185, Grade 65 Welded Wire Fabric  
1" Minimum Cover
- Design Loading - AASHTO HS20-44
- Design Specifications - ACI 318-99  
AASHTO Load Factor Design Method

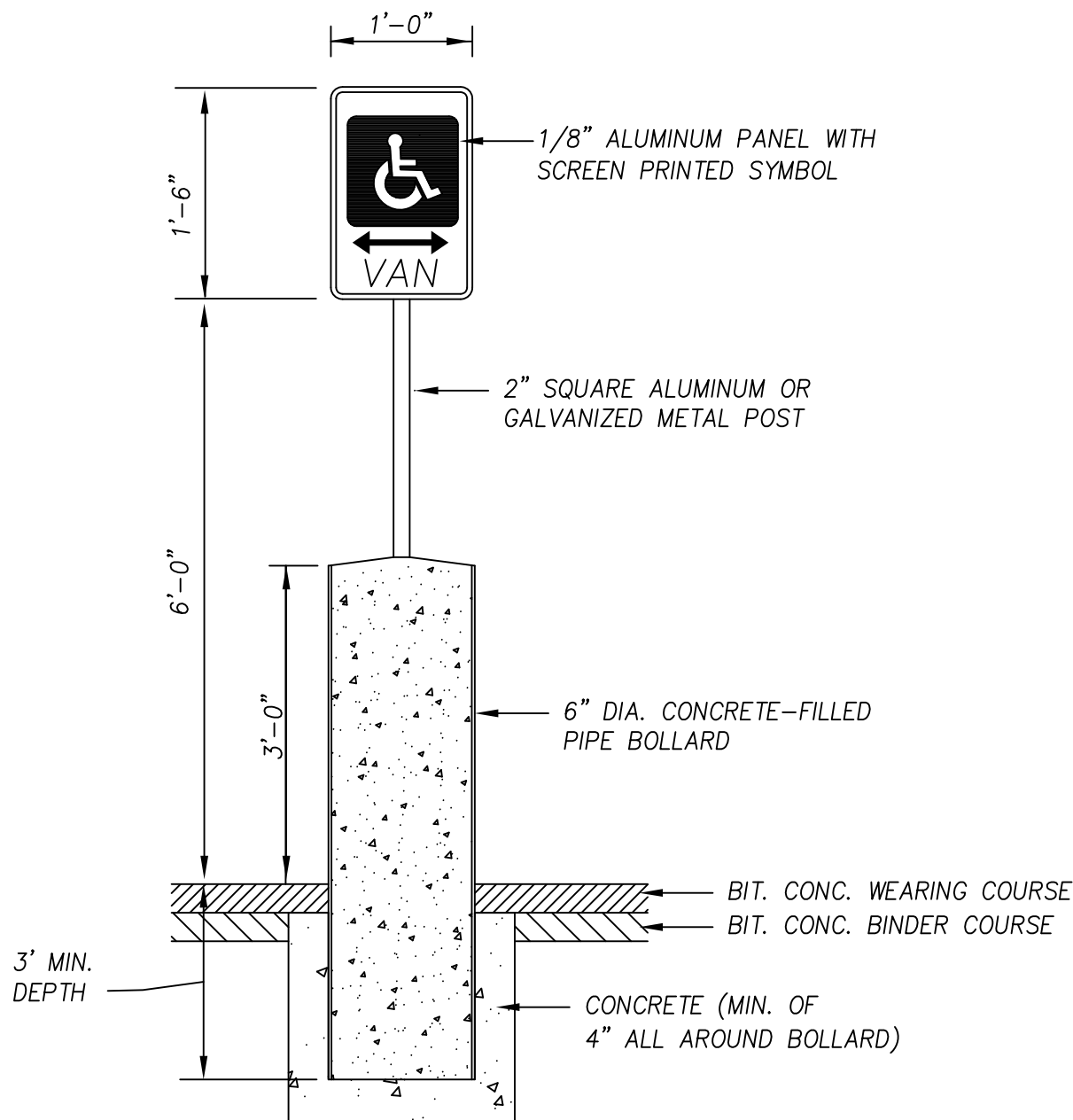
PUMP

STATION DETAIL

N.T.S.

PAINTED HANDICAP  
PARKING SYMBOL

N.T.S.

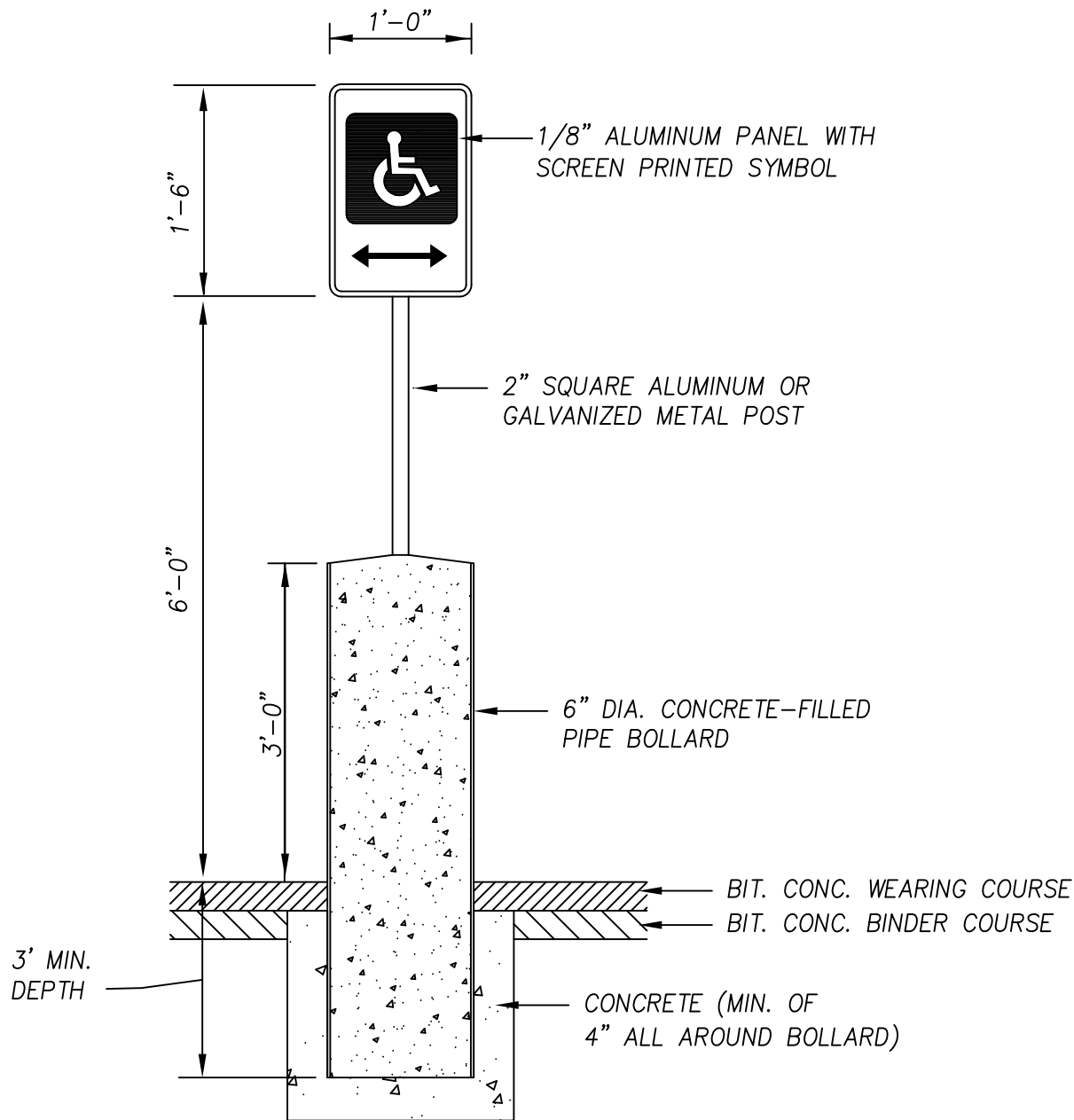


HANDICAP PARKING VAN-ACCESSIBLE  
SIGN DETAIL

N.T.S.

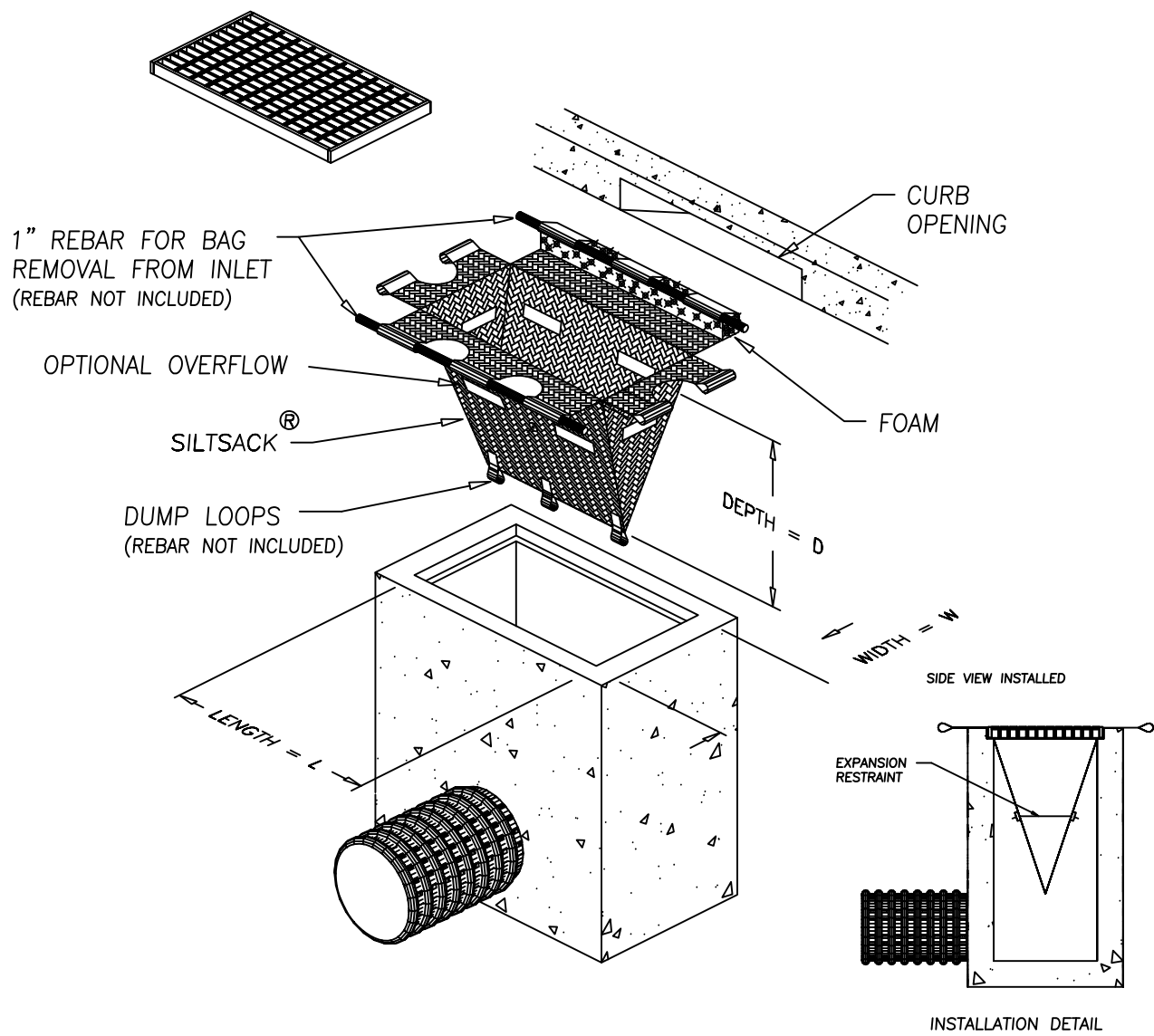
CEMENT CONCRETE WHEELCHAIR  
RAMP DETAIL

N.T.S.



HANDICAP PARKING  
SIGN DETAIL

N.T.S.

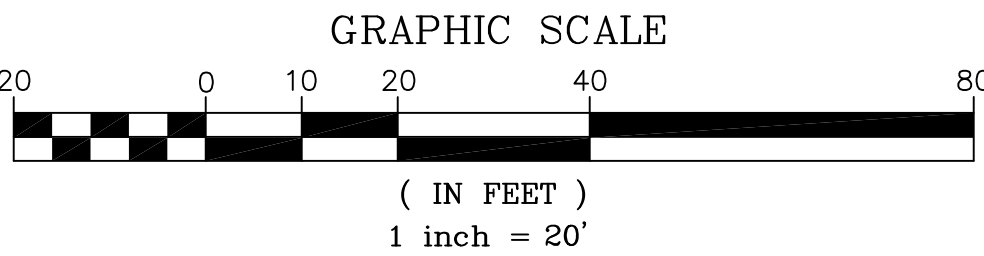


NOTES

- TO INSTALL SILTSACK IN THE CATCH BASIN, REMOVE THE GRATE AND PLACE THE SACK IN THE OPENING. HOLD APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME. THIS IS THE AREA OF THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
- WHEN THE RESTRAINT CORD IS NO LONGER VISIBLE, SILTSACK IS FULL AND SHOULD BE EMPTIED.
- TO REMOVE SILTSACK, TAKE TWO PIECES OF 1" DIAMETER REBAR AND PLACE THROUGH THE LIFTING LOOPS ON EACH SIDE OF THE SACK TO FACILITATE THE LIFTING OF SILTSACK.
- TO EMPTY SILTSACK, PLACE UNIT WHERE THE CONTENTS WILL BE COLLECTED. PLACE THE REBAR THROUGH THE LIFT STRAPS (CONNECTED TO THE BOTTOM OF THE SACK) AND LIFT. THIS WILL LIFT SILTSACK FROM THE BOTTOM AND EMPTY THE CONTENTS. CLEAN OUT AND RINSE. RETURN SILTSACK TO ITS ORIGINAL SHAPE AND PLACE BACK IN THE BASIN.
- SILTSACK IS REUSABLE. ONCE THE CONSTRUCTION CYCLE IS COMPLETE, REMOVE SILTSACK FROM THE BASIN AND CLEAN. SILTSACK SHOULD BE STORED OUT OF SUNLIGHT UNTIL NEXT USE.

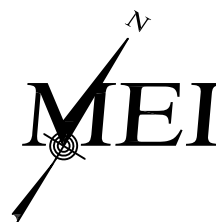
SILT SACK  
DETAIL

N.T.S.



PREPARED FOR

OUR NEIGHBOR'S TABLE  
P.O. BOX 592  
AMESBURY, MA 01913



MILLENNIUM ENGINEERING, INC.  
ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SITE PLAN  
IN  
SALISBURY, MA  
AT  
114 BRIDGE ROAD

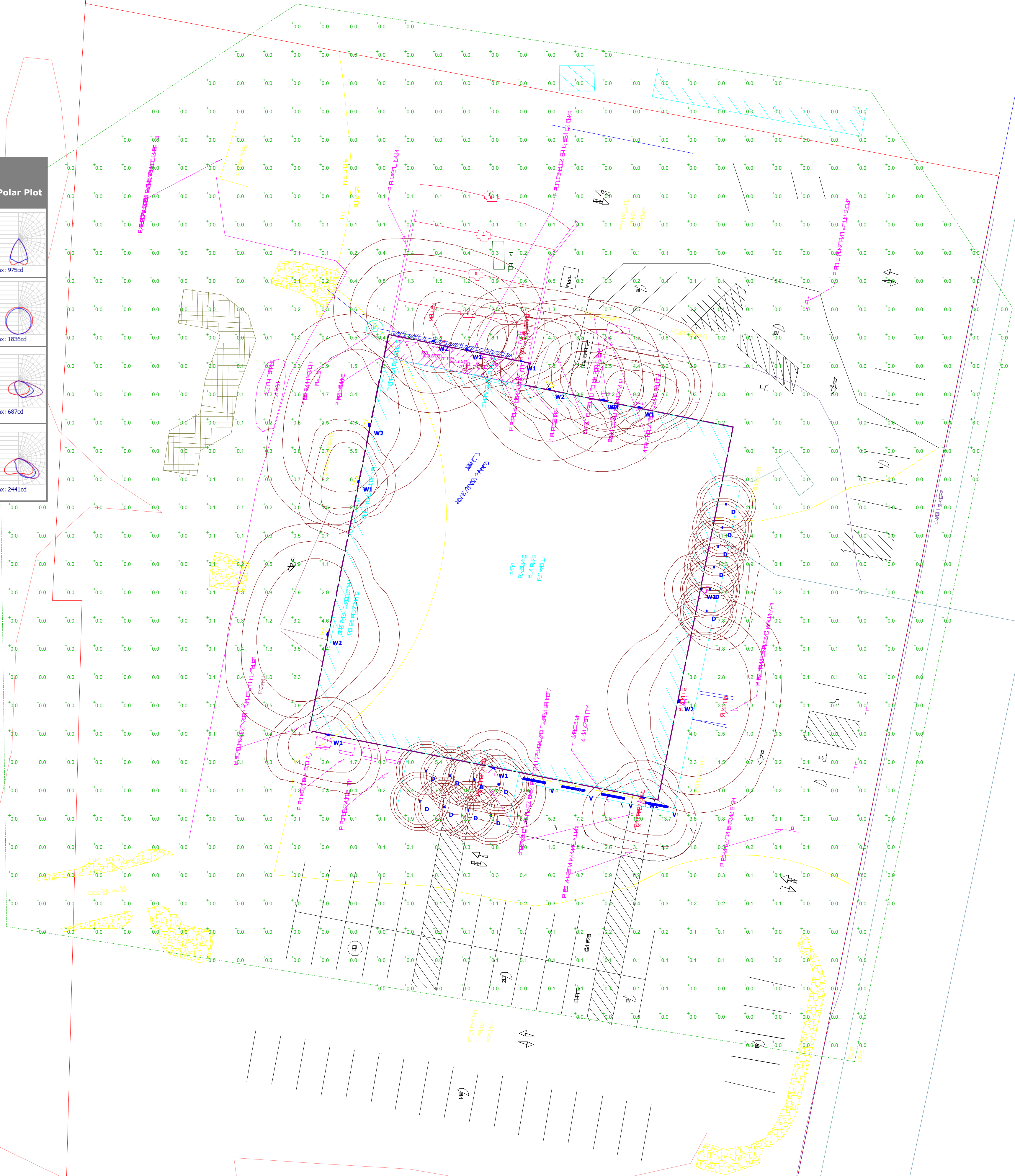
CONSTRUCTION  
DETAILS

SHEET: 3 OF 3



Schedule													
Symbol	Label	Image	QTY	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens per Lamp	LLF	Wattage	Distribut ion	Polar Plot
	D		14	Lithonia Lighting	LDN4 30/10 LO4AR LD	4IN LDN, 3000K, 1000LM, CLEAR, MATTE DIFFUSE REFLECTOR, 80CRI; mounted at 11ft	LED	LDN4_30_10_LO4AR_LD.ies	922	0.9	10.58	DIRECT, SC-0=1.04, SC-90=1.06	
	V		4	Lithonia Lighting	XXXXXXXX	Represents existing 8ft Vaportights; mounted at 11ft	LED	CSV_T_L96_6000LM_MVOLT_SWW3_80CRI.ies	6268	0.9	48.5179	DIRECT, SC-0=1.27, SC-90=1.31	
	W1		9	Lithonia Lighting	WPX1 LED P1 30K Mvolt	WPX1 LED wallpack 1500lm 3000K color temperature 120-277 Volts; mounted at 8.5ft	LED	WPX1_LED_P1_30K_Mvolt.ies	1537	0.9	11.49	TYPE III, SHORT, BUG RATING: B1 - U0 - G1	
	W2		6	Lithonia Lighting	WPX2 LED 30K Mvolt	WPX2 LED wallpack 6000lm 3000K color temperature 120-277 Volt; mounted at 17ft	LED	WPX2_LED_30K_Mvolt.ies	5719	0.9	47.21	TYPE III, VERY SHORT, BUG RATING: B1 - U0 - G1	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Ground	+	0.6 fc	16.2 fc	0.0 fc	N/A	N/A



114 BRIDGE RD  
Site Lighting Layout

Designer  
Heidi G. Connors  
Visible Light, Inc.  
24 Stickney Terrace  
Suite 6  
Hampton, NH 03842  
Date  
02/20/2023  
Scale  
1"=20'  
Drawing No.  
Summary



# Seacoast Food Hub

## Alterations to 114 Bridge Road Salisbury, Massachusetts 01952

Architect	Project Manager	Structural Engineer	MEP/FP Engineer	Civil Engineer	Construction Manager
MERRIMACK DESIGN <i>Architects</i> 85 North Main Street, suite 222 White River Junction, Vermont 05001  contact: Gregory Colling, AIA telephone: 802-281-6478 e-mail: gcolling@merrimackdesign.com URL: www.merrimackdesign.com	Fishbone Project Management 34 Toppans Lane Newburyport, MA 01950 tel: (978) 335-0745  contact: Sarah Holden, LEED AP BD+C email: holden@fishboneprojectmanagement.com	Tripi Engineering Services, LLC 433 Main Street, Suite 4 Hudson, MA 01749 tel: (781) 287-0077  contact: Joaquin A. Denoya, P.E. email: jad@tripiengineering.com	CSI Engineering, LLC 125 Aviation Avenue #4 Portsmouth, NH 03801 tel: (603) 319-8244  contact: James R. O'Brien, LEED AP email: JOBRIEN@csi-engineers.com	Millenium Engineering, Inc. 62 Elm Street Salisbury, MA 01952 tel: 978-463-8980  contact: Eric Botterman, P.E. email: EBotterman@Mei-MA.com	Artisan Building Group 189 North Main Street, Suite 201 Middleton, MA 01949 tel: 978-767-8578  contact: Christopher Leitz email: cleitz@artisanbgi.com

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S2-2 Sections and Details	
S2-3 Sections and Details	

ACT ADJ AFF AL	-A- Acoustic Tile Adjustable Above Finished Floor Aluminum	ID IN INSUL INT	-I- Inside Diameter Inches Insulation Interior
BD BIT B.O. BLDG BLKG BOT	-B- Board Bituminous Bottom Of Building Blocking Bottom	JAN JST JT	-J- Janitor Joist Joint
CAB CPT CJ CL CLG CLO CLR CMU CT CT JT CO COL COMP CONC CONST CONT CONTR CPT CT	-C- Cabinet Carpet (Wall to Wall) Construction Joint Center Line Ceiling Closet Clear Concrete Masonry Unit Control Joint Cased Opening Columns Composition Concrete Construction Continuous Contractor Carpet Ceramic Tile	LAV LVL MAX MECH MIN MISC MO MR GWB MTL NIC NO NOM NTS	-L- Lavatory Laminated Veneer Lumber Maximum Mechanical Minimum Miscellaneous Masonry Opening Moisture Resistant Gypsum Wall Board Metal
D BD DBL DF DI DIA DIM DN DRN DWG DISP DNSP	-D- Drawing Board Double Drinking Fountain Drain Inlet Diameter Dimension Down Drain Drawing Dispenser Downspout	OC OD OFCI OFI OPP H OPNG OPP P&M PL PLAS PLMBG PLYWD PREFAB PT PTD	-N- Not In Contract Number Nominal Not To Scale
EA EL ELEC ENTR EPXY EQ ETR EXTG EXP EXP JT EXT	-E- Each Elevation Electric Entrance Epoxy Equal Existing To Remain Existing Expansion Expansion Joint Exterior	OD OFI OPP H OPNG OPP P&M PL PLAS PLMBG PLYWD PREFAB PT PTD	-O- On Center Outside Dimension Owner Furnished Contractor Installed Owner Furnished & Installed Opposite Hand Opening Opposite
FD FDN FE FIN FL FLASH FTG	-F- Floor Drain Foundation Fire Extinguisher Finish Floor Flashing Footing	REINF REQ'D RM RO SCHED SHT SIM SPEC'S SS STL STOR STRUCT SUSP	-P- Patch & Match Plaster Plumbing Plywood Prefabricated Pressure Treated Painted
G GA GALV GB GRND GL GR GWB GWB PTD GYP	-G- Gauge Galvanized Grab Bar Ground Glass Grade Gypsum Wall Board Gypsum Wall Board Painted Gypsum	REINF REQ'D RM RO SCHED SHT SIM SPEC'S SS STL STOR STRUCT SUSP	-R- Reinforcing Required Room Rough Opening
HDWD HGT HM HORIZ HR HVAC HW	-H- Hardwood Height Hollow Metal Horizontal Handrail Heating, Ventilation & Air Conditioning Hot Water	UNO VCT VERT VEST VIF VT VW VWC	-S- Schedule Sheet Similar Specifications Stainless Steel Steel Storage Structural Suspended
		TBD T.O. TYP	-T- To Be Determined Top Of Typical
		UNO	-U- Unless Noted Otherwise
		VCT VERT VEST VIF VT VW VWC	-V- Vinyl Compression Tile Vertical Vestibule Verify In Field Vinyl Tile View Window Vinyl Wall Covering
		W/ W/O WC WD WP	-W- With Without Water Closet Wood Work Point

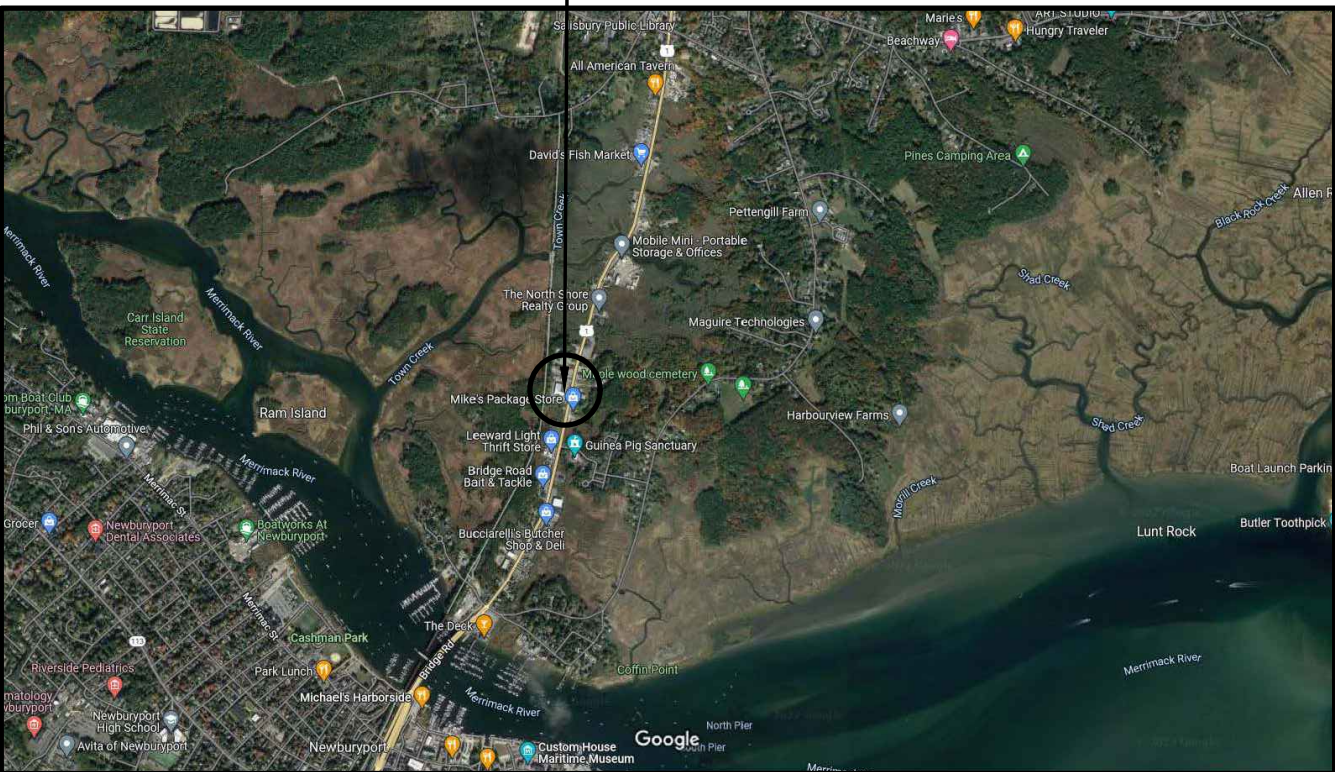
	BUILDING ELEVATION
	DETAIL
	BUILDING SECTION
	WALL SECTION
	ENLARGED PLAN
	WORK POINT
	PLUMBING FIXTURE TAG
	INTERIOR ELEVATION KEY
	DOOR NUMBER
	WINDOW NUMBER
	PARTITION TYPE
	COLUMN CENTER LINE
	REVISION KEY
	ELEVATION

### ADA Statement

I HEREBY CERTIFY TO THE BEST OF MY UNDERSTANDING THAT THE PLANS AND DRAWINGS FOR THIS PROJECT WERE DRAWN IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS, INCLUDING, BUT NOT LIMITED TO, THE AMERICANS WITH DISABILITIES ACT (THE "ADA"), THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND ANY STATE OR LOCAL ACCESSIBILITY CODES, REGULATIONS, OR STANDARDS	
ARCHITECT'S SIGNATURE HERE	Date:

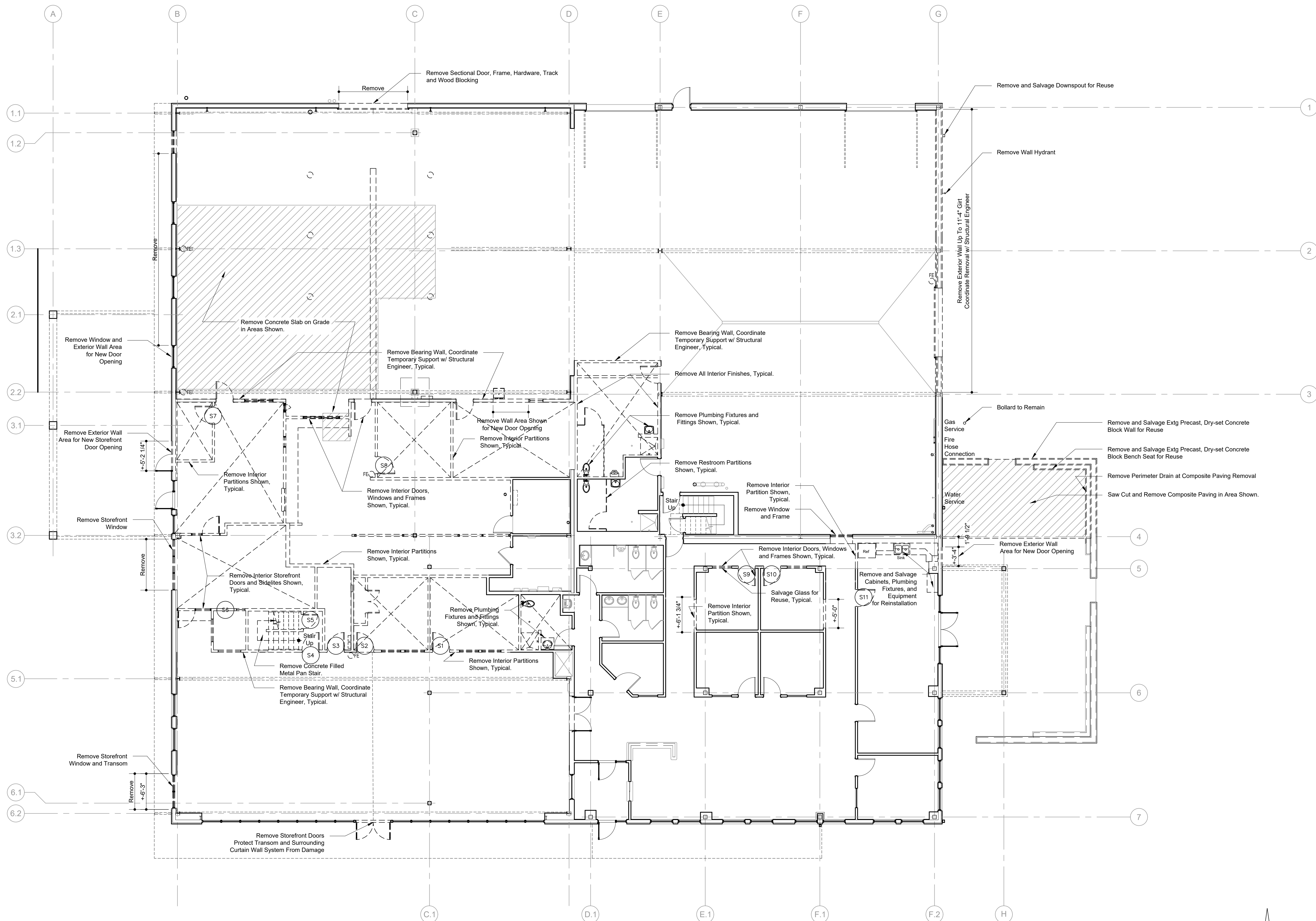
Parcel ID:	14-10
LOT AREA:	3.759 Acres (163,742 Sq. Ft.)
LOT FRONTAGE:	587.14 Ft.
ZONING DISTRICT:	C-Commercial
BUILDING CODES:	MA STATE BUILDING CODE, NINTH EDITION 2015 INTERNATIONAL BUILDING CODE 2015 INTERNATIONAL EXISTING BUILDING CODE 2015 INTERNATIONAL ENERGY CONSERVATION CODE
ACCESSIBILITY CODE:	THE COMMONWEALTH OF MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (521 CMR) 2006 EDITION
USE GROUP CLASSIFICATION:	B-BUSINESS, S-2 STORAGE
OCCUPANT LOAD:	B-Business 100 GROSS FLOOR AREA/OCCUPANT 12,454/100 = 124 OCCUPANTS  S-2 Storage 300 GROSS FLOOR AREA/OCCUPANT 10,030/300 = 33 OCCUPANTS
TYPE OF CONSTRUCTION:	IIB
GROSS FLOOR AREA:	EXISTING PROPOSED
FIRST FLOOR	16,294 16,695
SECOND FLOOR	5,682 5,789
TOTAL	21,976 22,484

### Locus Plan



ISSUED FOR PERMIT 2/13/2023





**Legend:**

- Existing Construction to Remain
- Existing Construction to be Removed
- Existing Door and Frame to be Removed
- Existing Flooring to be Removed
- Existing Ceiling to be Removed

**General Notes:**

- Coordinate removal and temporary support of all structural building elements with Structural Engineer.
- Confirm removal, salvage, storage or donation of all equipment, built-in items and furniture with Owner.
- Protect all existing finishes to remain.

ISSUED FOR PERMIT  
13 February 2023

**Seacoast Food Hub**

114 Bridge Road  
Salisbury, Massachusetts 01952

Drawing Title

**Selective Demolition-  
First Floor Plan**

Date  
8 November 2022

Drawing Number

Scale  
1/8" = 1'-0"

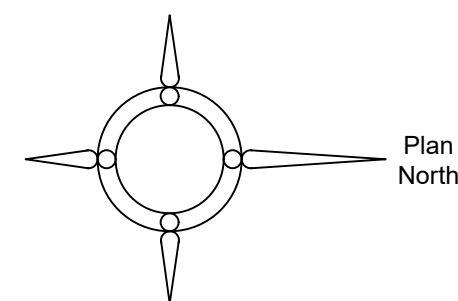
Project No.  
220624

**D1-1**

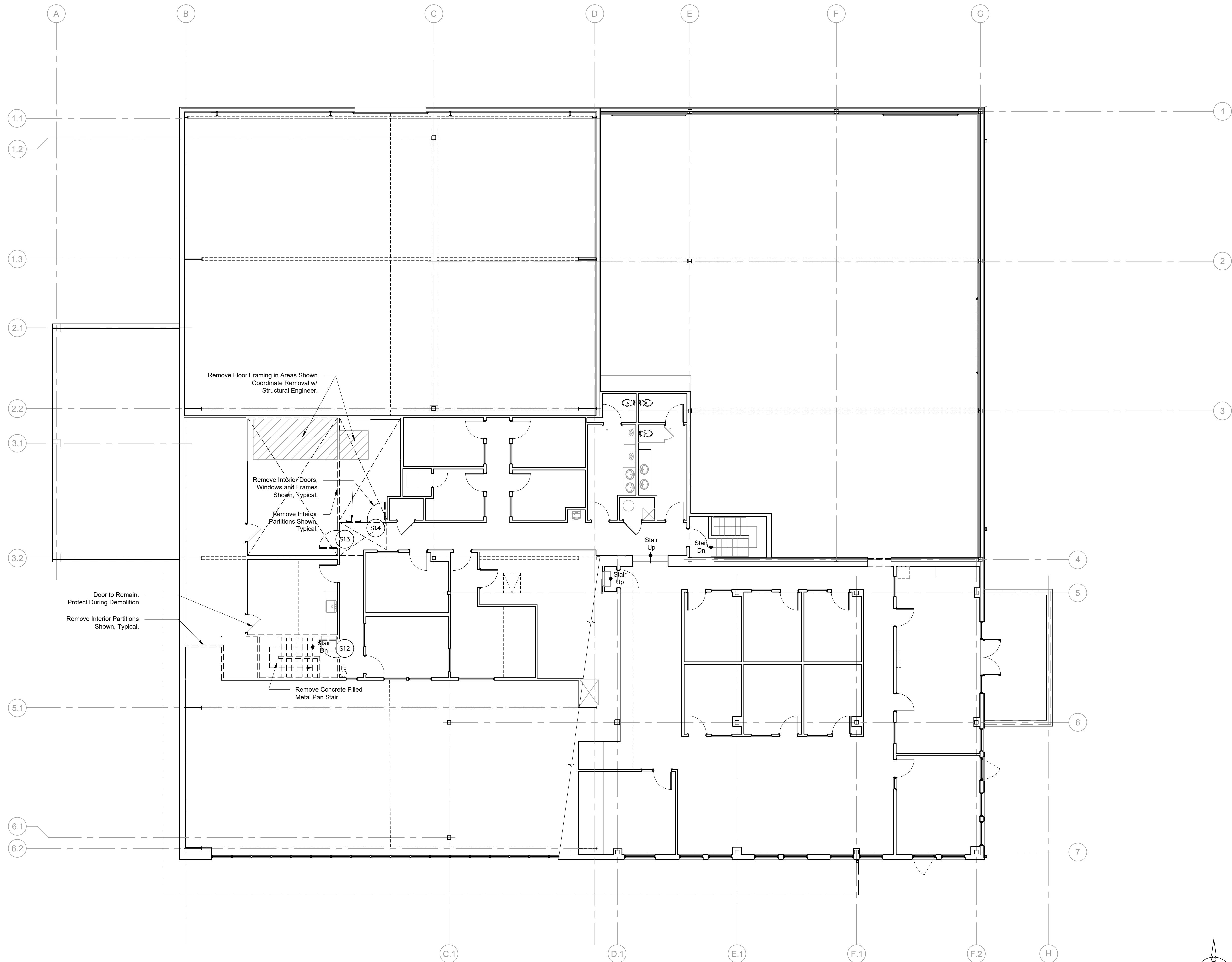
**MERRIMACK DESIGN**  
*Architects*

85 North Main Street, Suite 222  
White River Junction, Vermont 05001-7159

telephone: 802-281-6478  
e-mail: info@merrimackdesign.com  
URL: www.merrimackdesign.com  
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**① Selective Demolition - First Floor Plan**  
Scale: 1/8"=1'-0"



**Legend:**

- Existing Construction to Remain
- Existing Construction to be Removed
- Existing Door and Frame to be Removed
- Existing Flooring to be Removed
- Existing Ceiling to be Removed

- General Notes:**
- Coordinate removal and temporary support of all structural building elements with Structural Engineer.
  - Confirm removal, salvage, storage or donation of all equipment, built-in items and furniture with Owner.
  - Protect all existing finishes to remain.

ISSUED FOR PERMIT  
13 February 2023

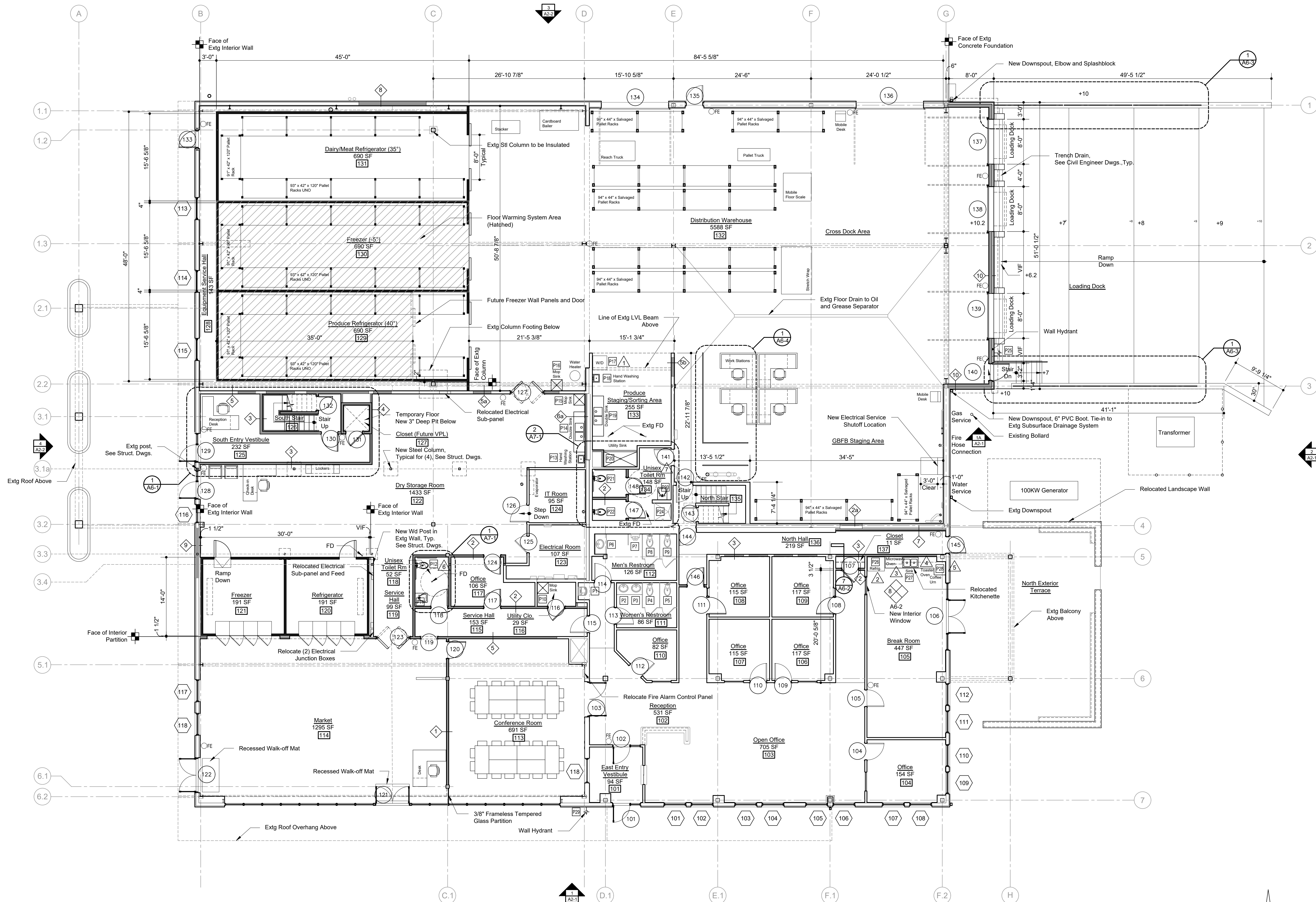
**Seacoast Food Hub**  
114 Bridge Road  
Salisbury, Massachusetts 01952

Drawing Title  
**Selective Demolition-  
Second Floor Plan**

Date 8 November 2022	Drawing Number
Scale 1/8" = 1'-0"	<b>D1-2</b>
Project No. 220624	

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White River Junction, Vermont 05001-7159  
telephone: 802-281-6478  
e-mail: info@merrimackdesign.com  
URL: www.merrimackdesign.com  
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**② Selective Demolition - Second Floor Plan**  
Scale: 1/8"=1'-0"



- Legend**
- Existing Wall Construction to Remain
  - Patch Existing Wall Construction at New Work
  - New Furring on Existing Wall Construction
  - New Wood/Metal Frame Wall Construction
  - New Masonry Wall Construction
  - New Reinforced Concrete Wall Construction
  - Wall Mounted Portable Fire Extinguisher
  - New Reinforced Concrete Slab on Grade w/ Radiant Heating System

**General Notes**

1. All Dimensions Shown are to Rough Framing Unless Noted Otherwise.

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13 February 2023

**Seacoast Food Hub**

114 Bridge Road  
Salisbury, Massachusetts 01952

Drawing Title

**Proposed New Construction  
First Floor Plan**

Date  
6 May 2022

Scale  
1/8" = 1'-0"

Project No.  
220624

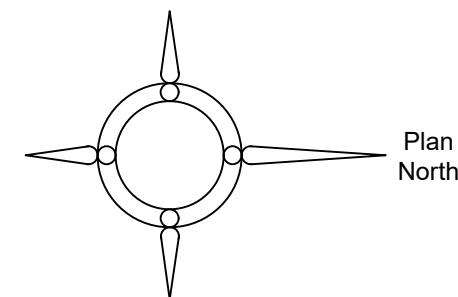
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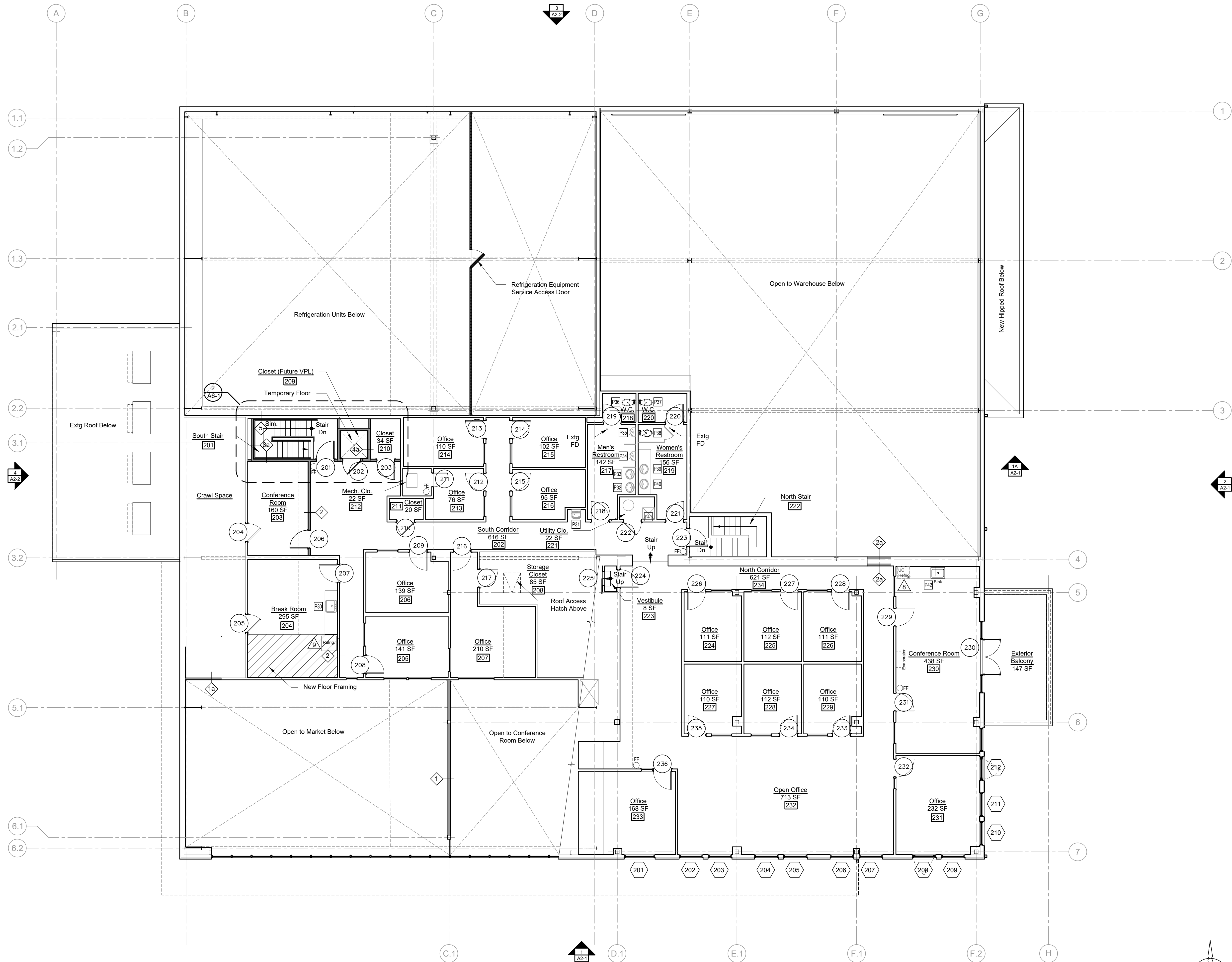
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URL: www.merrimackdesign.com  
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**1 Proposed New Construction - First Floor Plan**  
Scale: 1/8"=1'-0"





- Legend**
- Existing Wall Construction to Remain
  - Patch Existing Wall Construction at New Work
  - New Furring on Existing Wall Construction
  - New Wood/Metal Frame Wall Construction
  - New Masonry Wall Construction
  - New Reinforced Concrete Wall Construction
  - FE Wall Mounted Portable Fire Extinguisher

- General Notes**
- All Dimensions Shown are to Rough Framing Unless Noted Otherwise.

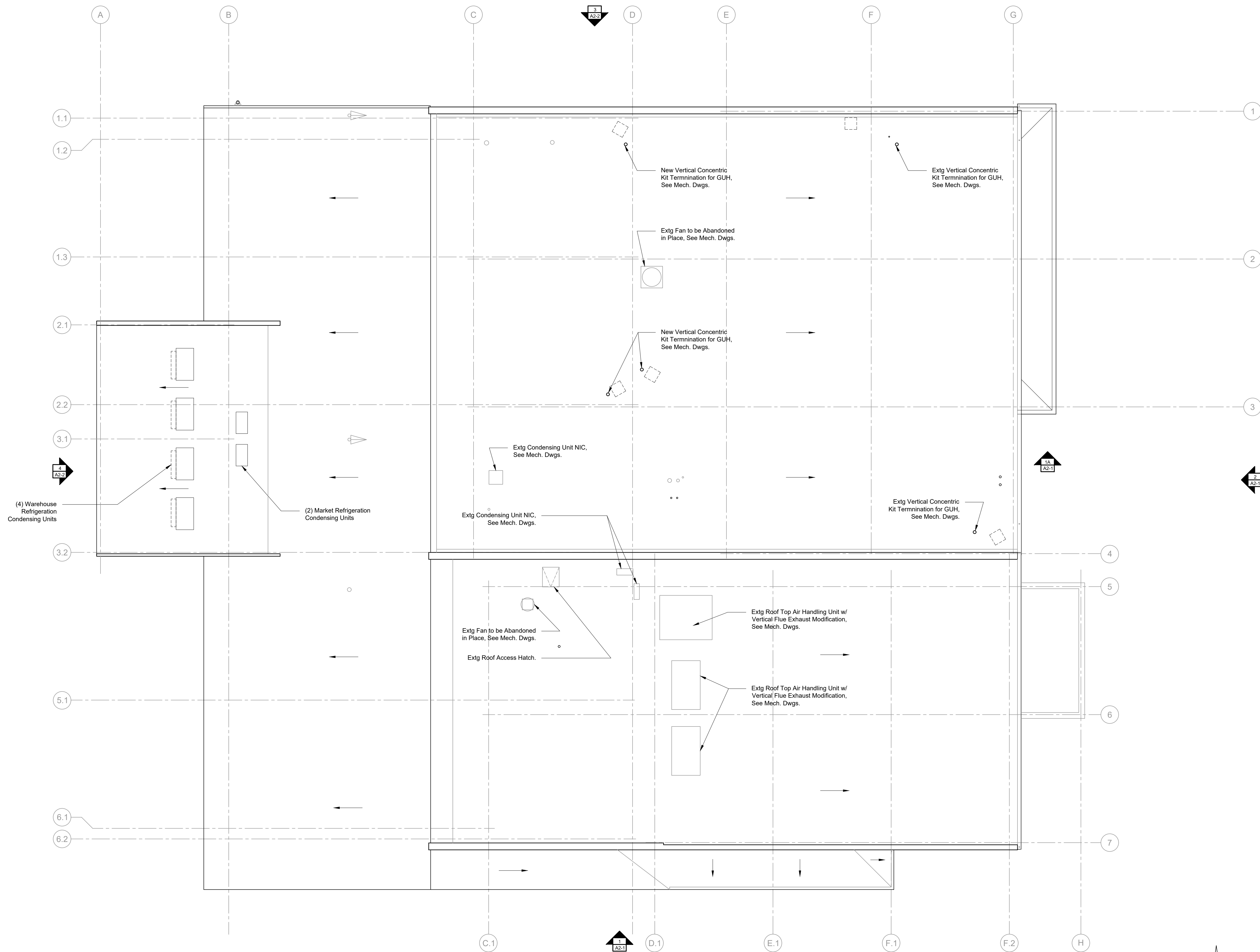
ISSUED FOR PERMIT  
13 February 2023

**Seacoast Food Hub**  
114 Bridge Road  
Salisbury, Massachusetts 01952

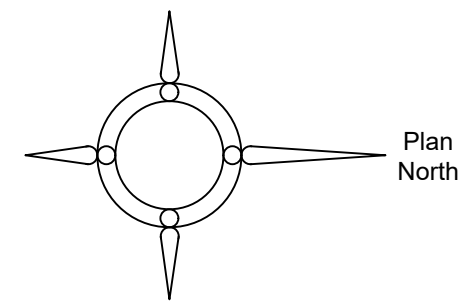
Drawing Title  
**Proposed New Construction  
Second Floor Plan**

Date 10 May 2022	Drawing Number
Scale 1/8" = 1'-0"	<b>A1-2</b>
Project No. 220624	

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URL: www.merrimackdesign.com  
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② Proposed New Construction - Roof Plan  
Scale: 1/8"=1'-0"



- Legend**
- Existing Wall Construction to Remain
  - Patch Existing Wall Construction at New Work
  - New Furring on Existing Wall Construction
  - New Wood/Metal Frame Wall Construction
  - New Masonry Wall Construction
  - New Reinforced Concrete Wall Construction

- General Notes**
- All Dimensions Shown are to Rough Framing Unless Noted Otherwise.

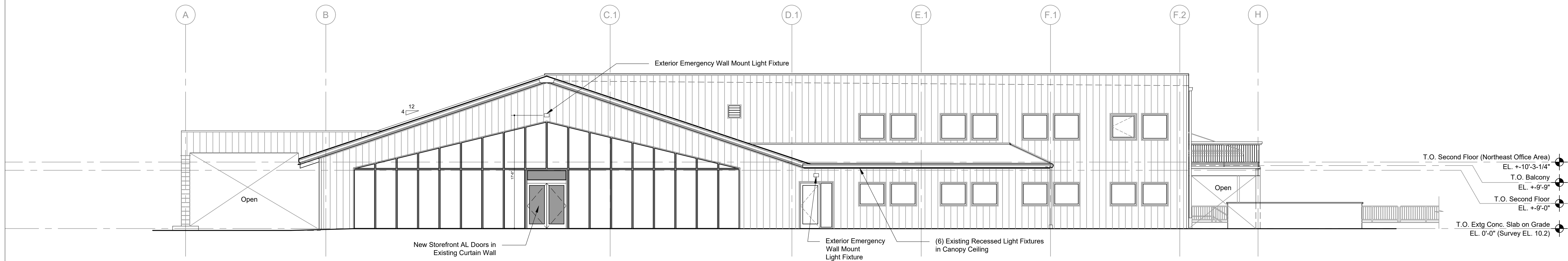
ISSUED FOR PERMIT  
13 February 2023

**Seacoast Food Hub**  
114 Bridge Road  
Salisbury, Massachusetts 01952

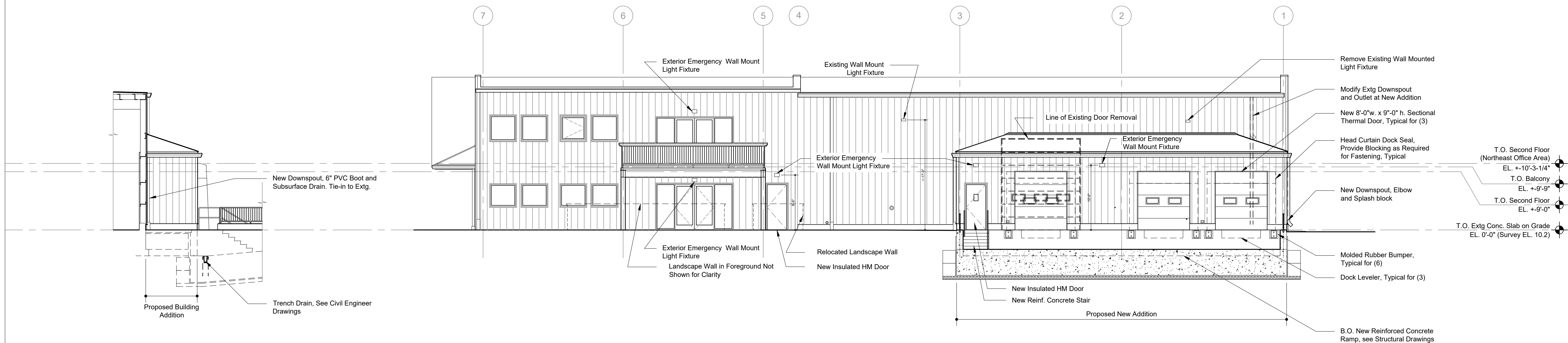
Drawing Title  
**Proposed New Construction  
Roof Plan**

Date 22 September 2022	Drawing Number
Scale 1/8" = 1'-0"	<b>A1-3</b>
Project No. 220624	

**MERRIMACK DESIGN**  
*Architects*  
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URL: www.merrimackdesign.com  
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**1** New Construction East Elevation  
Scale: 1/8"=1'-0"



**2** New Construction North Elevation  
Scale: 1/8"=1'-0"

**1A** Partial East Elevation @ Proposed Addition  
Scale: 1/8"=1'-0"

- Legend**
- Existing Window/Storefront Window and Door
  - New Window/Storefront Door
  - New Insulated Metal Panels

ISSUED FOR PERMIT  
13 February 2023

## Seacoast Food Hub

114 Bridge Road  
Salisbury, Massachusetts 01952

Drawing Title  
**New Construction East  
and North Building  
Elevations**

Date  
9/20/2022

Drawing Number

Scale  
1/8" = 1'-0"

Project No.  
220624

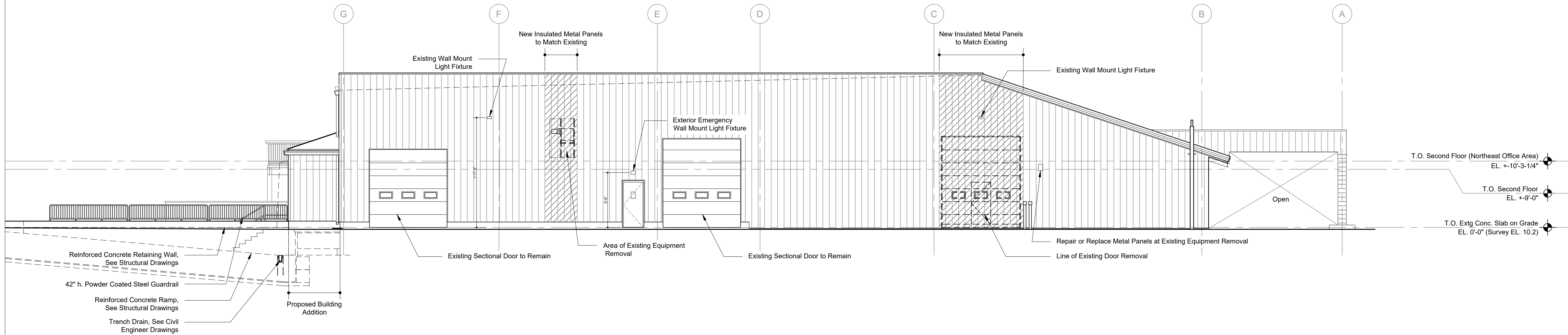
**A2-1**

**MERRIMACK DESIGN**  
*Architects*

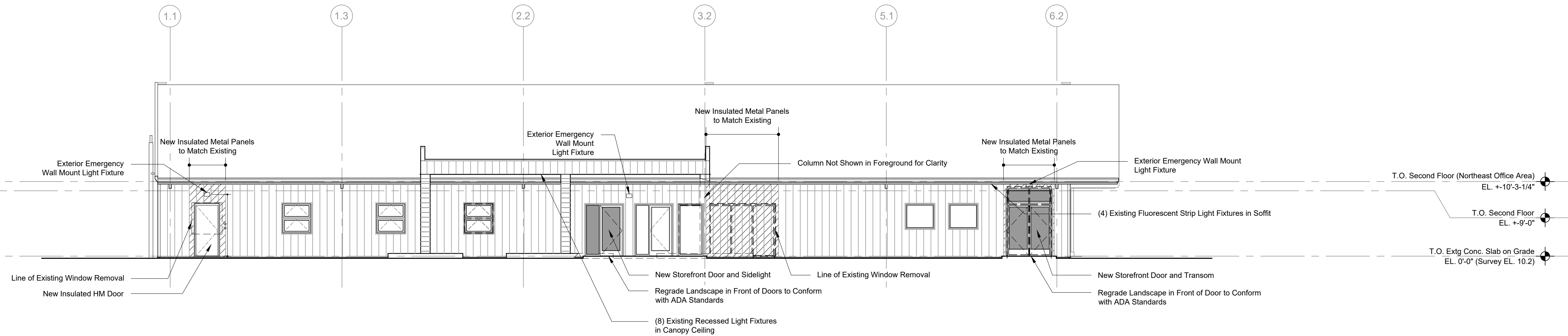
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③ **New Construction West Elevation**  
Scale: 1/8"=1'-0"



④ **New Construction South Elevation**  
Scale: 1/8"=1'-0"

- Legend**
- Existing Window/Storefront Window and Door
  - New Window/Storefront Door
  - New Insulated Metal Panels

ISSUED FOR PERMIT  
13 February 2023

## Seacoast Food Hub

114 Bridge Road  
Salisbury, Massachusetts 01952

Drawing Title  
**New Construction West and  
South Building Elevations**

Date  
9/20/2022

Scale  
1/8" = 1'-0"

Project No.  
220624

Drawing Number

**A2-2**

**MERRIMACK DESIGN**  
*Architects*

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